

SURVEY INFORMATION TAKEN FROM:
 PART OF LOT 33 CONCESSION 3 (OTTAWA FRONT)
 (GEOGRAPHIC TOWNSHIP OF NEPEAN)
 LOT 36 REGISTERED PLAN 444
 CITY OF OTTAWA

SITE SUMMARY:
 PROPERTY ADDRESS: 70 RICHMOND RD.
 ZONING: TM (B3) H(15)
 SITE AREA (SURVEY): 1581 m²
 PROPOSED USE: MIXED-USE RESIDENTIAL MIDRISE APARTMENT BUILDING 9 FLOORS + ROOFTOP AMENITY

BUILDING FOOTPRINT (GRND FLOOR PLAN): 1131 m²
 TOTAL FLOORS: 9
 TOTAL RESIDENTIAL UNITS: 46 UNITS
 TOTAL GROSS BUILDING AREA: 9140 m²
 TOTAL GROSS FLOOR AREA (CITY DEFINITION): - m²
 TOTAL RETAIL GFA: 135 m²

ZONING SUMMARY: EXISTING
 TM[XXXX] SYYY - SUBJECT TO ZBLA D02-02-20-0102

YARDS:	REQUIRED	PROVIDED
SUBJECT TO ZONING SCHEDULE		
RICHMOND RD (FRONT)	-	0 m
ISLAND PARK DRIVE (CORNER SIDE)	-	0 m
LANEWAY (CORNER SIDE)	-	0 m
SIDE YARD (REAR YARD)	3.93m	3.93m
MIN WIDTH OF LANDSCAPE ABUTTING A RESIDENTIAL ZONE	3m	3m
TRANSPARENT WINDOWS & ACTIVE ENTRANCES	50% OF GROUND FLOOR MEASURED TO 4.5m HIGH	>50%

VEHICULAR PARKING:	REQUIRED	PROVIDED
RESIDENTIAL PARKING 46 UNITS (- 12UNITS)	0.5 / UNIT 42 SPACES	0.76 / UNIT 63 SPACES
VISITOR PARKING 46 UNITS (- 12UNITS)	0.1 / UNITS 8 SPACES	0.1 / UNITS 8 SPACES
TOTAL PARKING	50 SPACES	71 SPACES
PARKING DISTRIBUTION		
LEVEL P1		32 SPACES
LEVEL P2		34 SPACES
TOTAL		71 SPACES

BICYCLE PARKING	REQUIRED	PROVIDED
BICYCLE PARKING	1 / UNIT	1 / UNIT
46 UNITS x 1	46 SPACES	46 SPACES
PARKING DISTRIBUTION		
LEVEL P1		46 SPACES
LEVEL P2		50 SPACES
TOTAL		96 SPACES

AMENITY	REQUIRED	PROVIDED
MINIMUM AMENITY SPACE 6m ² / UNIT (46 UNITS X 6m ²)	516 m ²	1,344 m ²
PRIVATE AMENITY (MIN. OF 50% OF REQ'D)	288 m ²	462 m ²
COMMON AMENITY SUMMARY		
GROUND FLOOR RES. LOBBY LOUNGE		34 m ²
ROOF AMENITY (INDOOR)		154 m ²
ROOF AMENITY (OUTDOOR)		184 m ²
COMMON AMENITY 50% OF REQ'D	288 m ²	382 m ²
TOTAL AMENITY	558 m ²	1,344 m ²

BUILDING SUMMARY	GBA (Gross bldg area)	GFA (city definition)
LEVEL 10 (MECH & ROOF AMENITY)	313.45 m ²	-
LEVEL 9	607.96 m ²	521.19 m ²
LEVEL 8	646.31 m ²	607.21 m ²
LEVEL 7	857.50 m ²	751.03 m ²
LEVEL 6	845.68 m ²	740.60 m ²
LEVEL 5	487.93 m ²	837.61 m ²
LEVEL 4	487.93 m ²	837.61 m ²
LEVEL 3	1,042.74 m ²	843.54 m ²
LEVEL 2	1,018.12 m ²	868.83 m ²
MEZ	618.56 m ²	618.56 m ²
GROUND LEVEL RES	1,104.34 m ²	571.63 m ²
TOTAL	9,140.53 m ²	7,443 m ²
LEVEL P1	1,481.61 m ²	-
LEVEL P2	1,481.61 m ²	-



TRINITY

PROJECT TEAM

ARCHITECT
 HOBIN ARCHITECTURE
 REAL LABELLE
 613.238.7200 EXT-112

PLANNING
 FOTENN
 PAUL BLACK/ TIM BEED
 BLACK@FOTENN.COM/ BEED@FOTENN.COM
 613.295.4395/ 902.440.3282

CIVIL ENGINEER
 LITHOS
 SARRA KARAVASILI
 SARRA@LITHOSGROUP.CA
 647.366.9610-EXT 1

TRANSPORTATION
 CGH
 ANDREW HARTE
 ANDREW.HARTE@CGHTRANSPORTATION.COM
 613.697.3797

LANDSCAPE ARCHITECT
 GLA INC.
 Gino Aiello
 gino@glainc.com
 613.286.5130

ENVIRONMENTAL
 PATERSON
 MANDY WITTEMAN/ MARK D'ARCY
 MWITTEMAN@PATERSONGROUP.CA/
 MDARCY@PATERSONGROUP.CA
 403.921.11.57/ 613.226.7381 EXT-207

GEOTECHNICAL/ HYDROGEOLOGICAL
 PATERSON
 DAVE GILBERT
 DGILBERT@PATERSONGROUP.CA
 613.226.7381 EXT-205

WIND
 GRADIENT
 JUSTIN FERRARO/ ANDREW SLASAS
 JUSTIN.FERRARO@GRADIENTWIND.COM
 ANDREW.SLASAS@GRADIENTWIND.COM
 613.836.0934/ 613.836.0934 EXT-113

ACOUSTIC/ NOISE
 GRADIENT
 JOSHUA FOSTER
 JOSHUA.FOSTER@GRADIENTWIND.COM
 613.266.5273

HERITAGE
 COMMONWEALTH
 JOHN STEWART
 JS@CHRM.COM
 613.267.7040

SURVEYOR
 STANTEC
 CHARLES TAILLEFER
 CHARLES.TAILLEFER@STANTEC.COM
 613.617.5132

no.	date	revision
03	15/NOV/22	RE-ISSUED FOR SPA
02	03/OCT/22	RE-ISSUED FOR SPA
01	13/MAY/22	ISSUED FOR SPA

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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Hobin Architecture Incorporated
 43 Pamela Street
 Ottawa, Ontario
 Canada K1S3K7
 T: 613-238-7200
 F: 613-235-2065
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION:
 70 RICHMOND

DRAWING TITLE:
 SITE PLAN

DRAWN BY: RL & CH	DATE: 2022-05-13	SCALE: 1:125
PROJECT: 1909		DRAWING NO.: A1.01
REVISION NO.: PLAN NO. #18851		

1 SITE PLAN
 A1.01 1:125

DATE PLOT

DWG NAME

FILE NO. D07-12-22-0082

BUILDING SUMMARY

BUILDING AREA BREAKDOWN:

TOTAL GFA = 98,926 ft²
 NET RETAIL = 1,455 ft²
 NET RES. = 79,013 ft²
 TOTAL NET = 80,468 ft²

OF STOREYS = 9 (ABOVE GRADE)

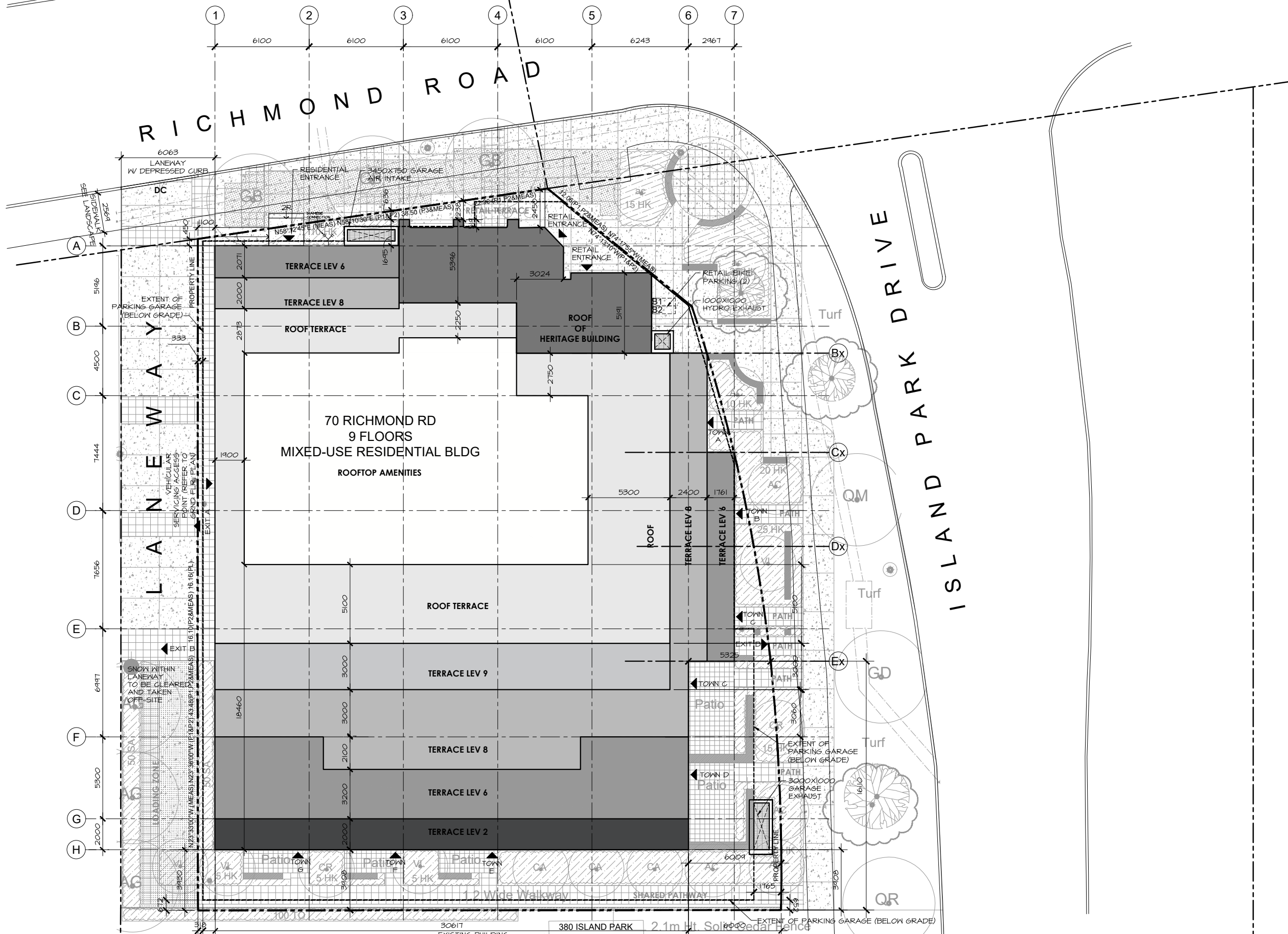
UNITS BREAKDOWN:

TOWNS = 8
 SUITES = 88
 TOTAL = 96

VEHICLE PARKING BREAKDOWN:

RESIDENT = 63 (0.75 PARKING RATE)
 VISITORS = 8 (0.1 PARKING RATE)
 TOTAL = 71 PARKING SPACES

TOTAL BIKE PARKING = 96
 TOTAL LOCKERS = 101



70 RICHMOND RD

SITE PLAN

SCALE 1:250
 Issued for SPA / November 15, 2022

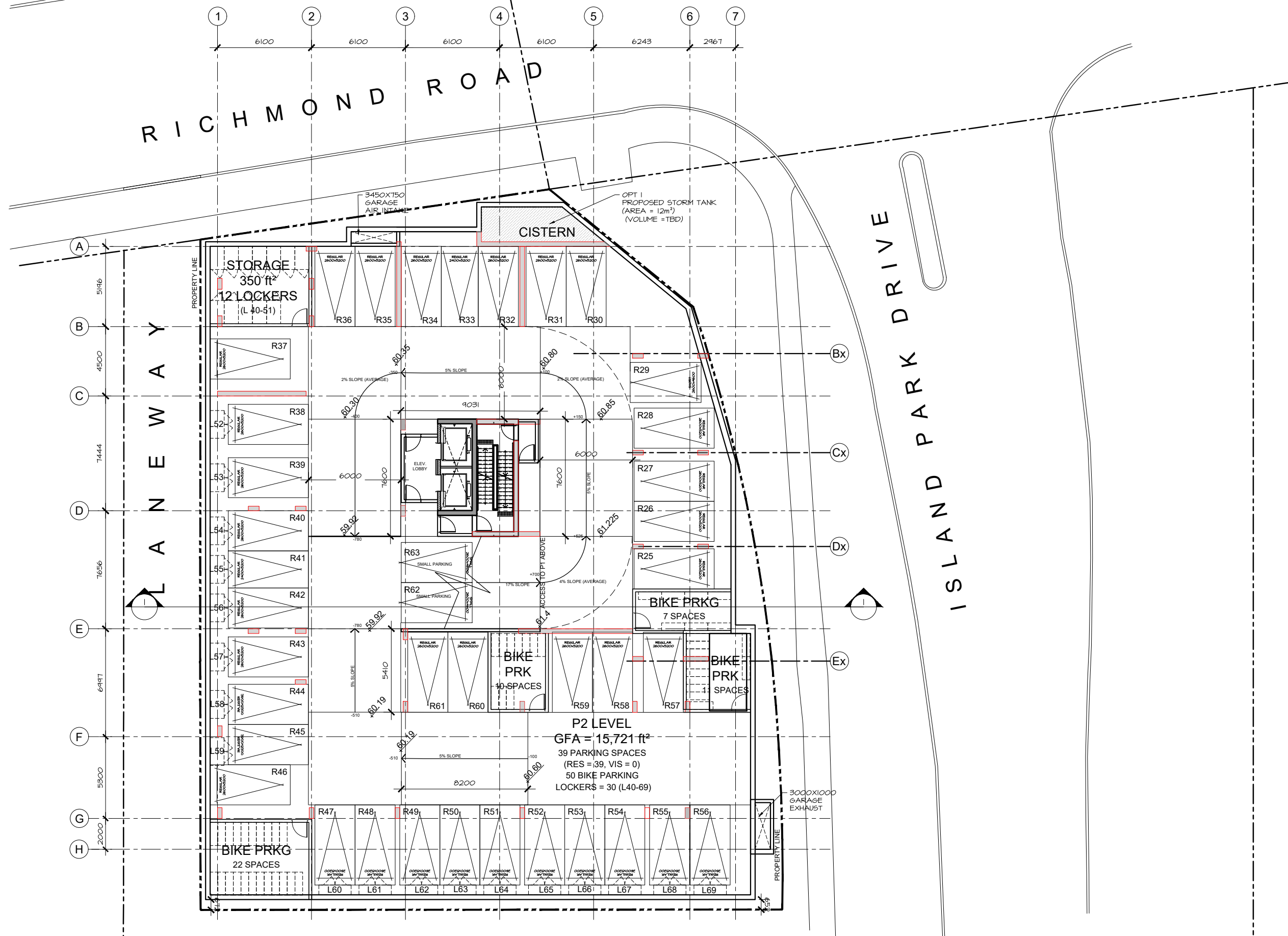
LEVEL P2

GFA = 15,948 ft²

VEHICLE PARKING:

RESIDENT = 39
 VISITORS = 0
 TOTAL = 39

BIKE PRKG = 50
 LOCKERS = 30



70 RICHMOND RD

LEVEL P2

SCALE 1:250
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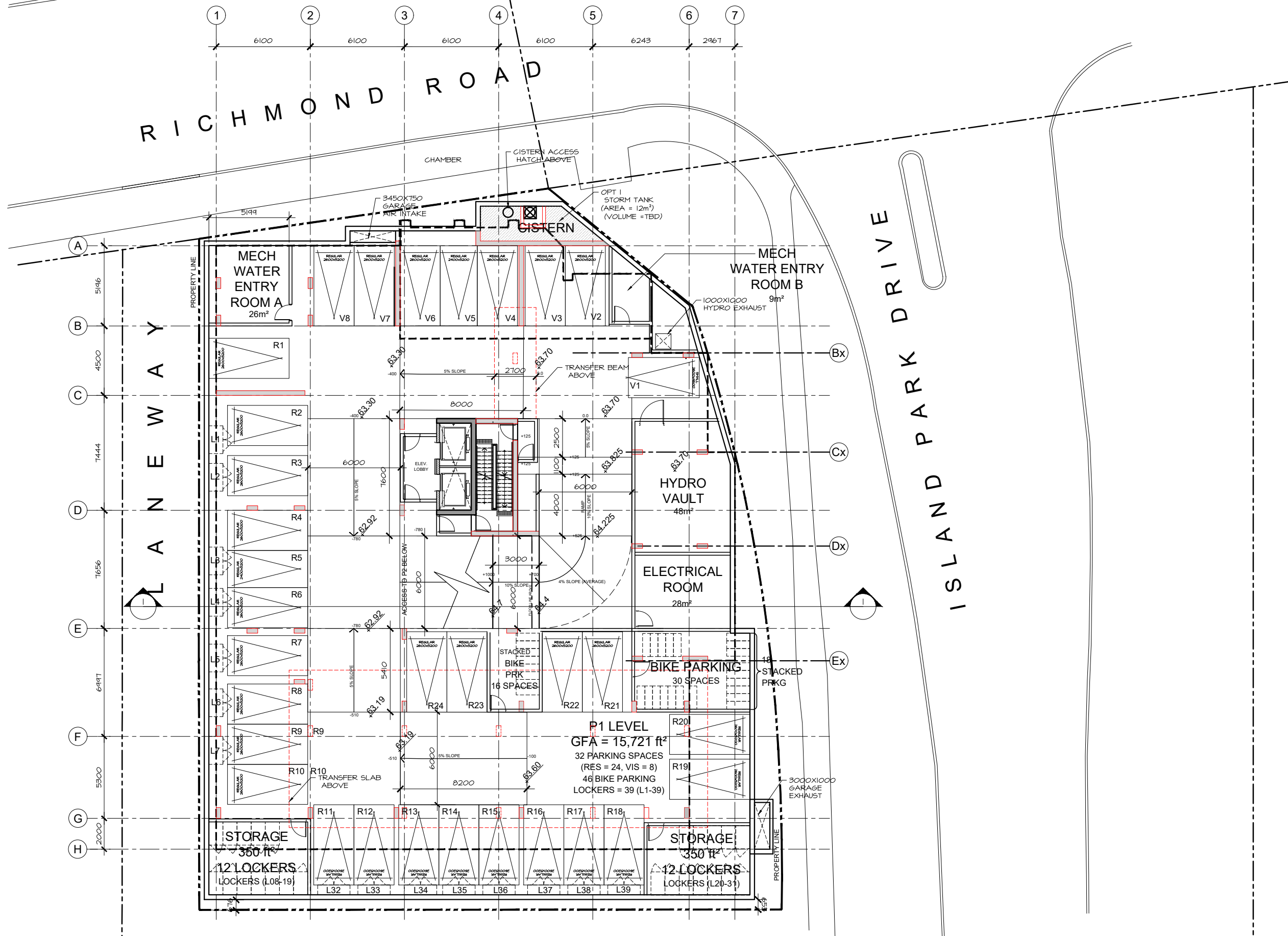
LEVEL P1

GFA = 15,948 ft²

VEHICLE PARKING:

RESIDENT = 24
 VISITORS = 8
 TOTAL = 32

BIKE PRKG = 46
 LOCKERS = 39



70 RICHMOND RD

LEVEL P1

SCALE 1:250
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GROUND FLOOR

MIXED-USE BLDG GFA = 10,794 ft²
 HERITAGE BLDG = 1,093 ft²
 TOTAL GFA = 11,887 ft²
 (MIXED-USE + HERITAGE BLDG)

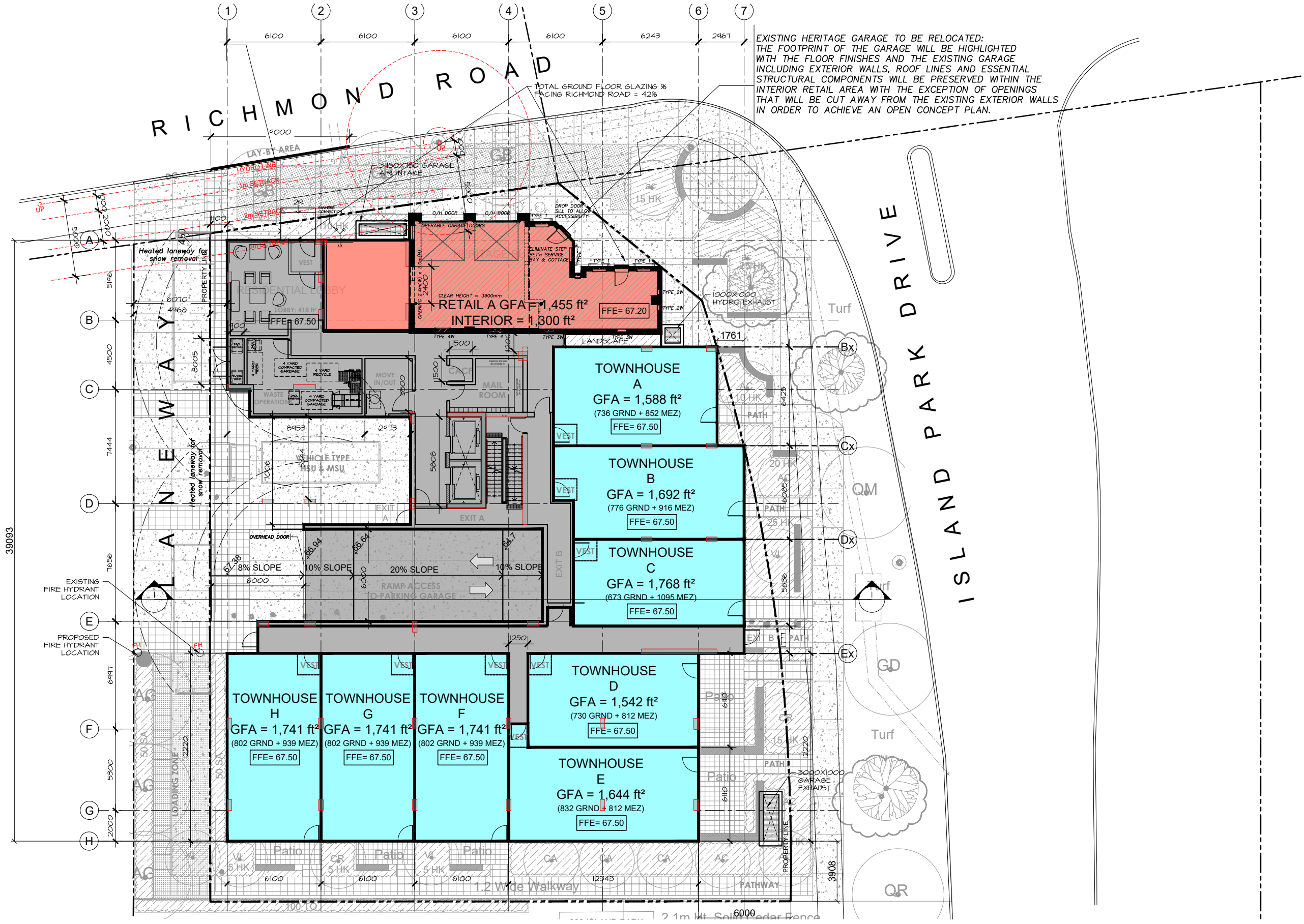
RESIDENTIAL:
 NET RES. = 6,153 ft²
 (GROUND LEVEL TOWNS, 8 UNITS)

RETAIL:
 NET RETAIL A = 1,455 ft²

EFF. = 64% (RES./RET.)

AMENITY BREAKDOWN:
 RES. LOBBY LOUNGE = 418 ft²

Proposed Lay-By:
 Changing the existing signage from no parking to a 5-minute parking zone for 9 metres between the laneway and the bus stop limits. This would reduce the need for any physical modifications, preserve the bus stop and locate the drop off at the front door.



EXISTING HERITAGE GARAGE TO BE RELOCATED:
 THE FOOTPRINT OF THE GARAGE WILL BE HIGHLIGHTED WITH THE FLOOR FINISHES AND THE EXISTING GARAGE INCLUDING EXTERIOR WALLS, ROOF LINES AND ESSENTIAL STRUCTURAL COMPONENTS WILL BE PRESERVED WITHIN THE INTERIOR RETAIL AREA WITH THE EXCEPTION OF OPENINGS THAT WILL BE CUT AWAY FROM THE EXISTING EXTERIOR WALLS IN ORDER TO ACHIEVE AN OPEN CONCEPT PLAN.

TOTAL GROUND FLOOR GLAZING % FACING RICHMOND ROAD = 42%

RETAIL A GFA = 1,455 ft²
 INTERIOR = 1,300 ft²
 FFE = 67.20

TOWNHOUSE A
 GFA = 1,588 ft²
 (736 GRND + 852 MEZ)
 FFE = 67.50

TOWNHOUSE B
 GFA = 1,692 ft²
 (776 GRND + 916 MEZ)
 FFE = 67.50

TOWNHOUSE C
 GFA = 1,768 ft²
 (673 GRND + 1095 MEZ)
 FFE = 67.50

TOWNHOUSE D
 GFA = 1,542 ft²
 (730 GRND + 812 MEZ)
 FFE = 67.50

TOWNHOUSE H
 GFA = 1,741 ft²
 (802 GRND + 939 MEZ)
 FFE = 67.50

TOWNHOUSE G
 GFA = 1,741 ft²
 (802 GRND + 939 MEZ)
 FFE = 67.50

TOWNHOUSE F
 GFA = 1,741 ft²
 (802 GRND + 939 MEZ)
 FFE = 67.50

TOWNHOUSE E
 GFA = 1,644 ft²
 (832 GRND + 812 MEZ)
 FFE = 67.50

70 RICHMOND RD

GROUND FLOOR

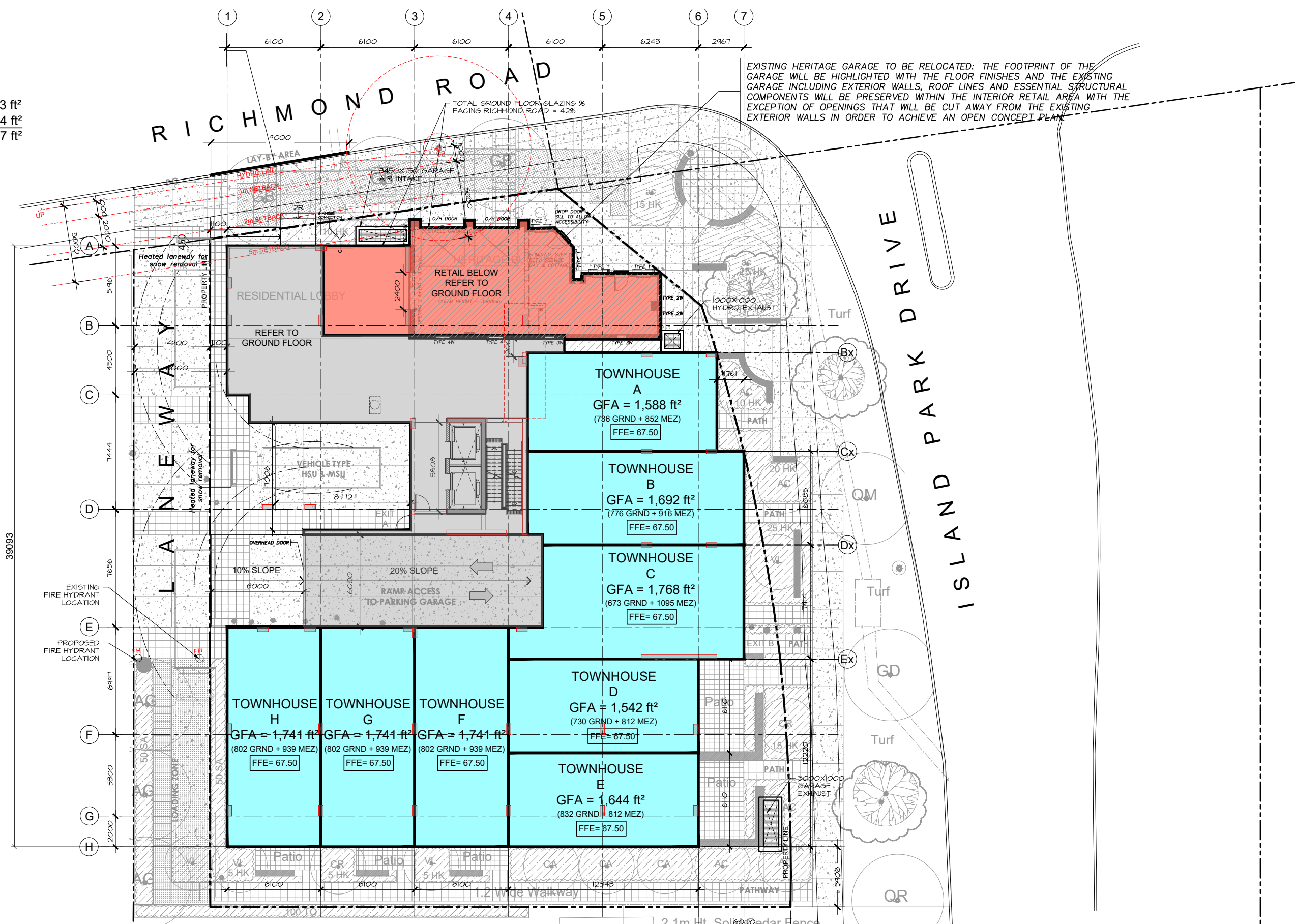


MEZZANINE LEVEL (TOWNS)

NET AREA BREAKDOWN:
 GRND LEVEL TOWNS = 6,153 ft²
 MEZZ. LEVEL TOWNS = 7,304 ft²
 TOTAL TOWNS NET AREA = 13,457 ft²

TOTAL UNITS = 8 (TOWNS)

EFF. = 100%



Proposed Lay-By:
 Changing the existing signage from no parking to a 5-minute parking zone for 9 metres between the laneway and the bus stop limits. This would reduce the need for any physical modifications, preserve the bus stop and locate the drop off at the front door.

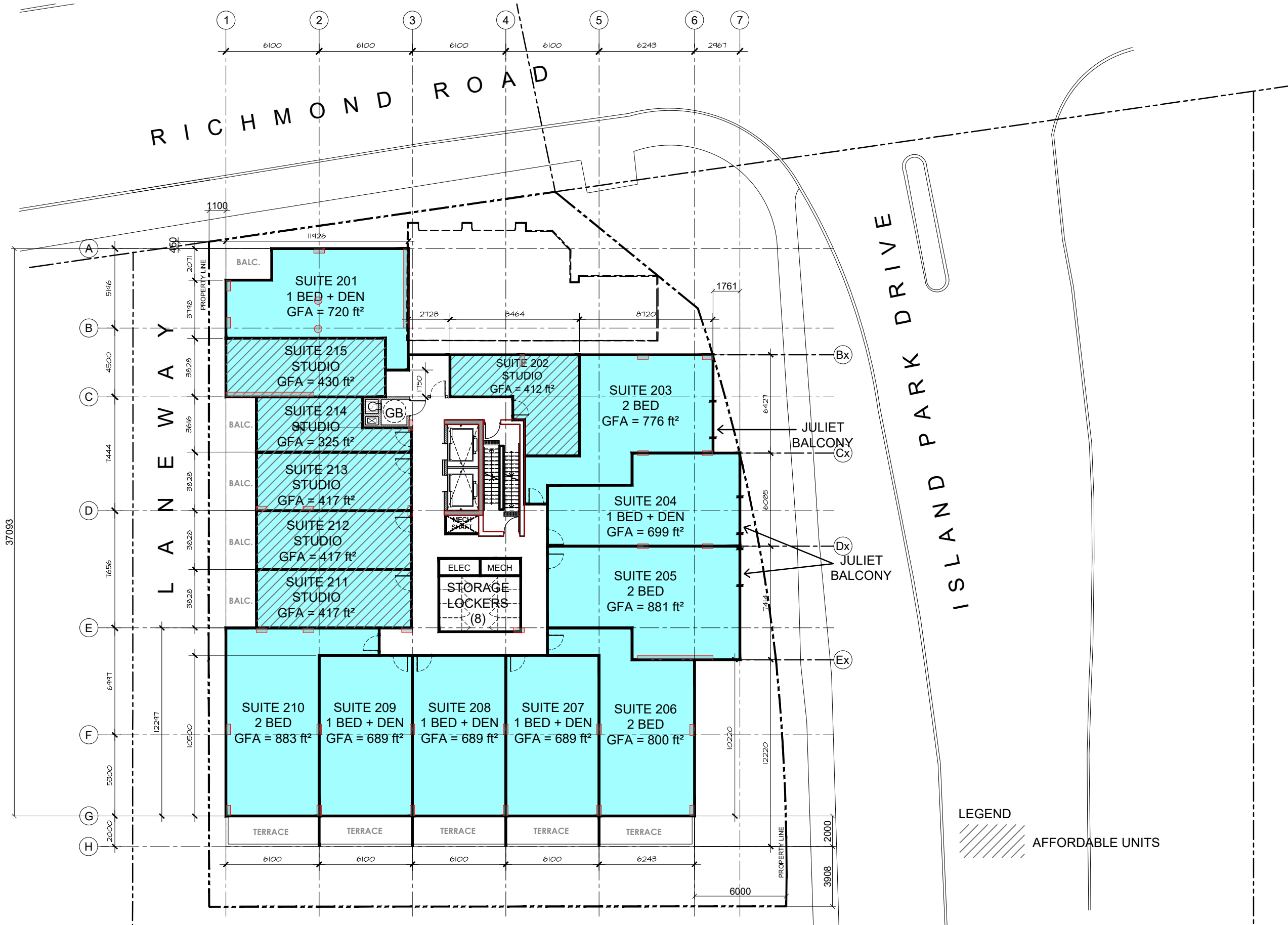
EXISTING HERITAGE GARAGE TO BE RELOCATED: THE FOOTPRINT OF THE GARAGE WILL BE HIGHLIGHTED WITH THE FLOOR FINISHES AND THE EXISTING GARAGE INCLUDING EXTERIOR WALLS, ROOF LINES AND ESSENTIAL STRUCTURAL COMPONENTS WILL BE PRESERVED WITHIN THE INTERIOR RETAIL AREA WITH THE EXCEPTION OF OPENINGS THAT WILL BE CUT AWAY FROM THE EXISTING EXTERIOR WALLS IN ORDER TO ACHIEVE AN OPEN CONCEPT PLAN.



70 RICHMOND RD

LEVEL 2

GFA = 10,959 ft²
 NET = 9,244 ft²
 EFF. = 84%
 15 UNITS
 LOCKERS = 8



70 RICHMOND RD

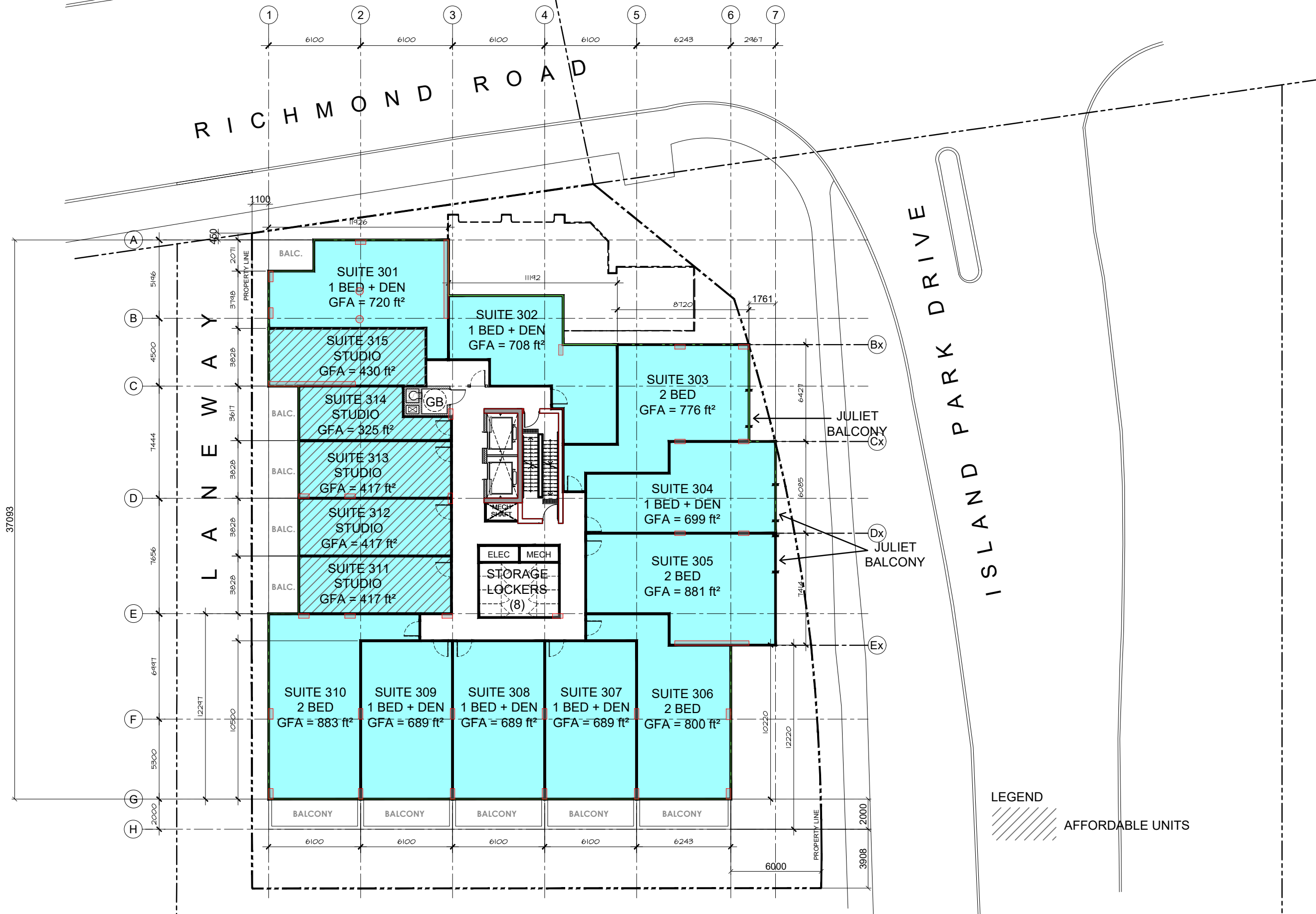
LEVEL 2

SCALE 1:250
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LEVEL 3

GFA = 11,224 ft²
 NET = 9,540 ft²
 EFF. = 85%
 15 UNITS
 LOCKERS = 8



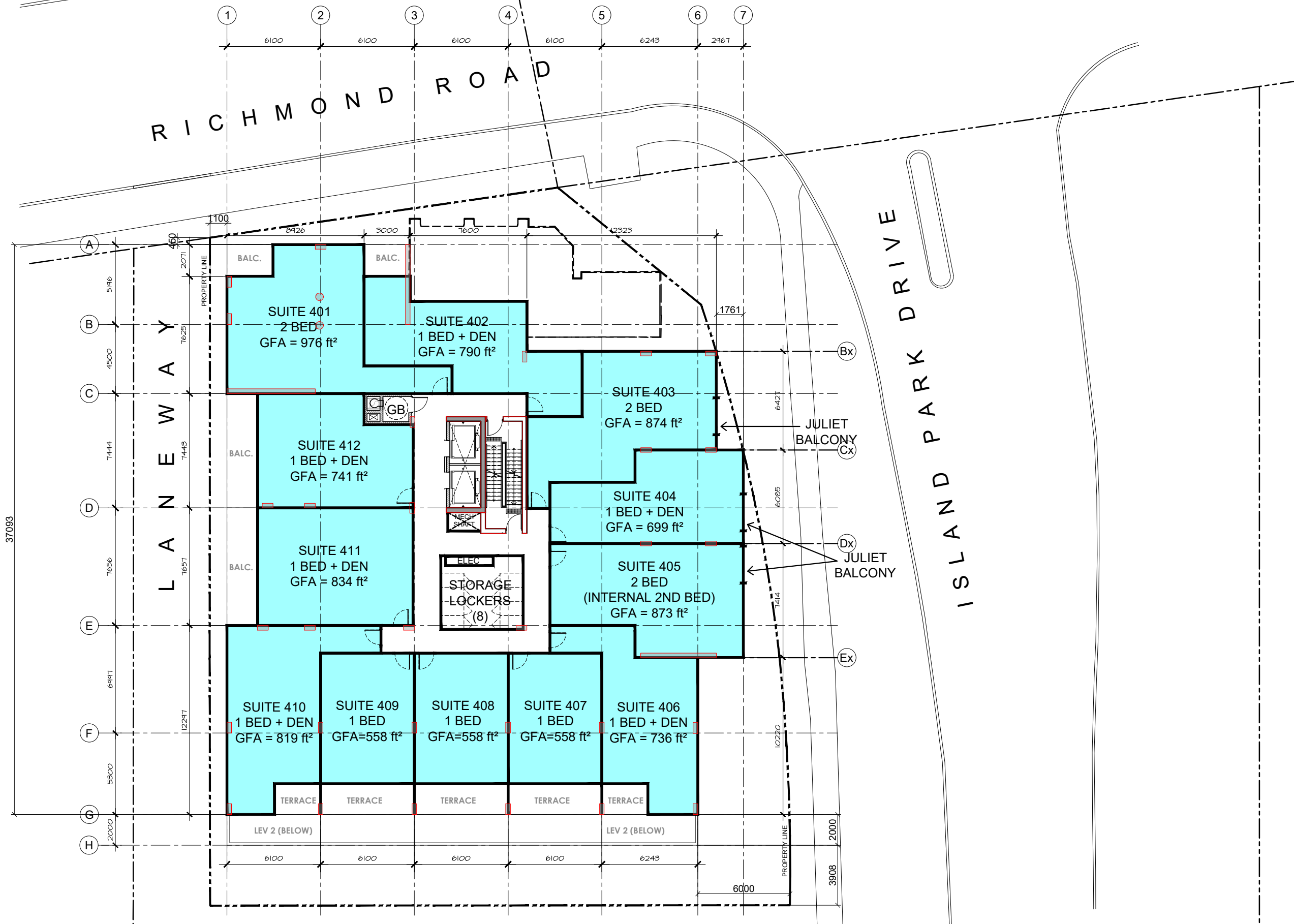
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LEVEL 3

SCALE 1:250
 Issued for SPA / November 15, 2022

LEVEL 4

GFA = 10,634 ft²
 NET = 9,016 ft²
 EFF. = 85%
 12 UNITS
 LOCKERS = 8

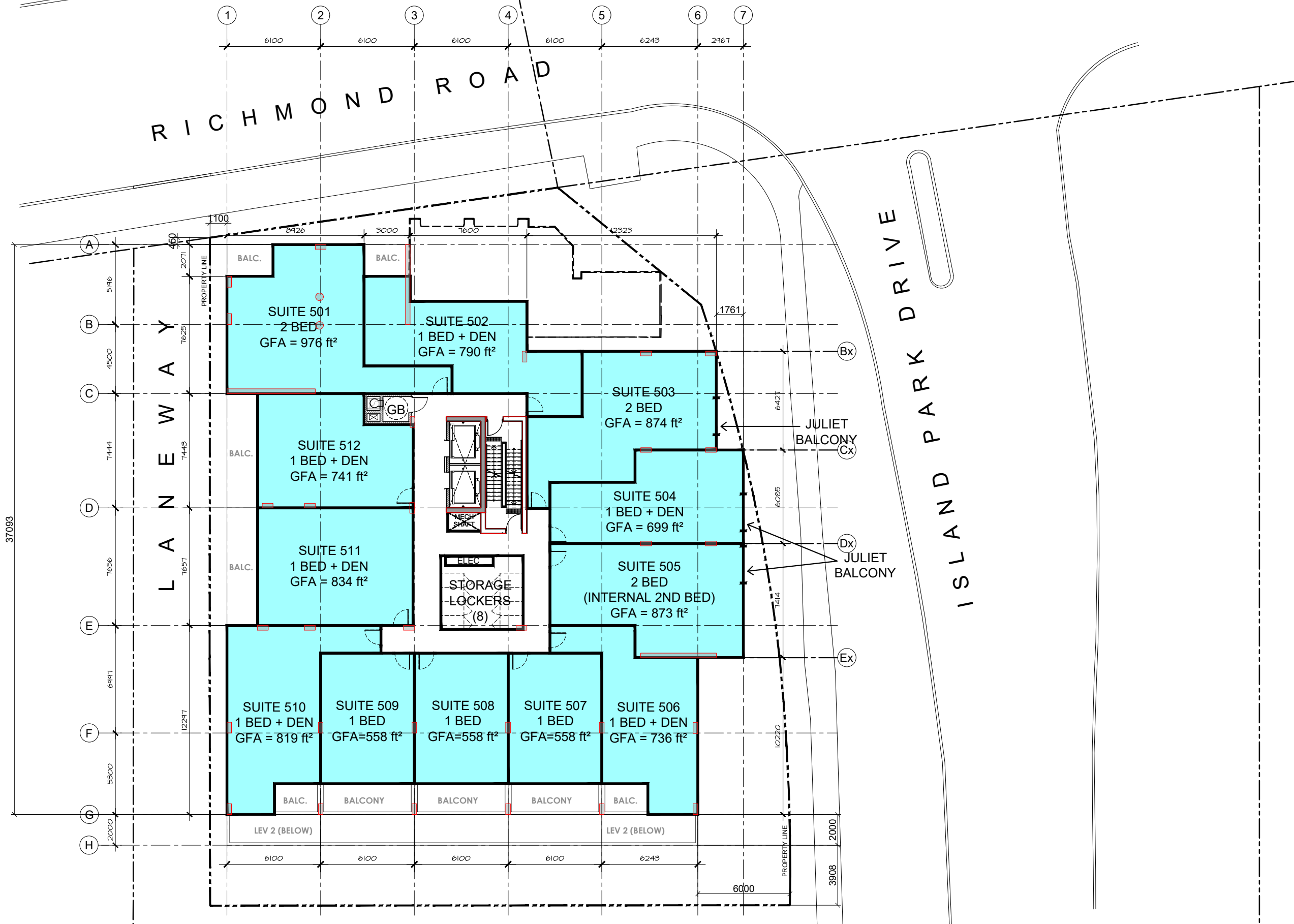


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LEVEL 4
 SCALE 1:250
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LEVEL 5

GFA = 10,634 ft²
 NET = 9,016 ft²
 EFF. = 85%
 12 UNITS
 LOCKERS = 8



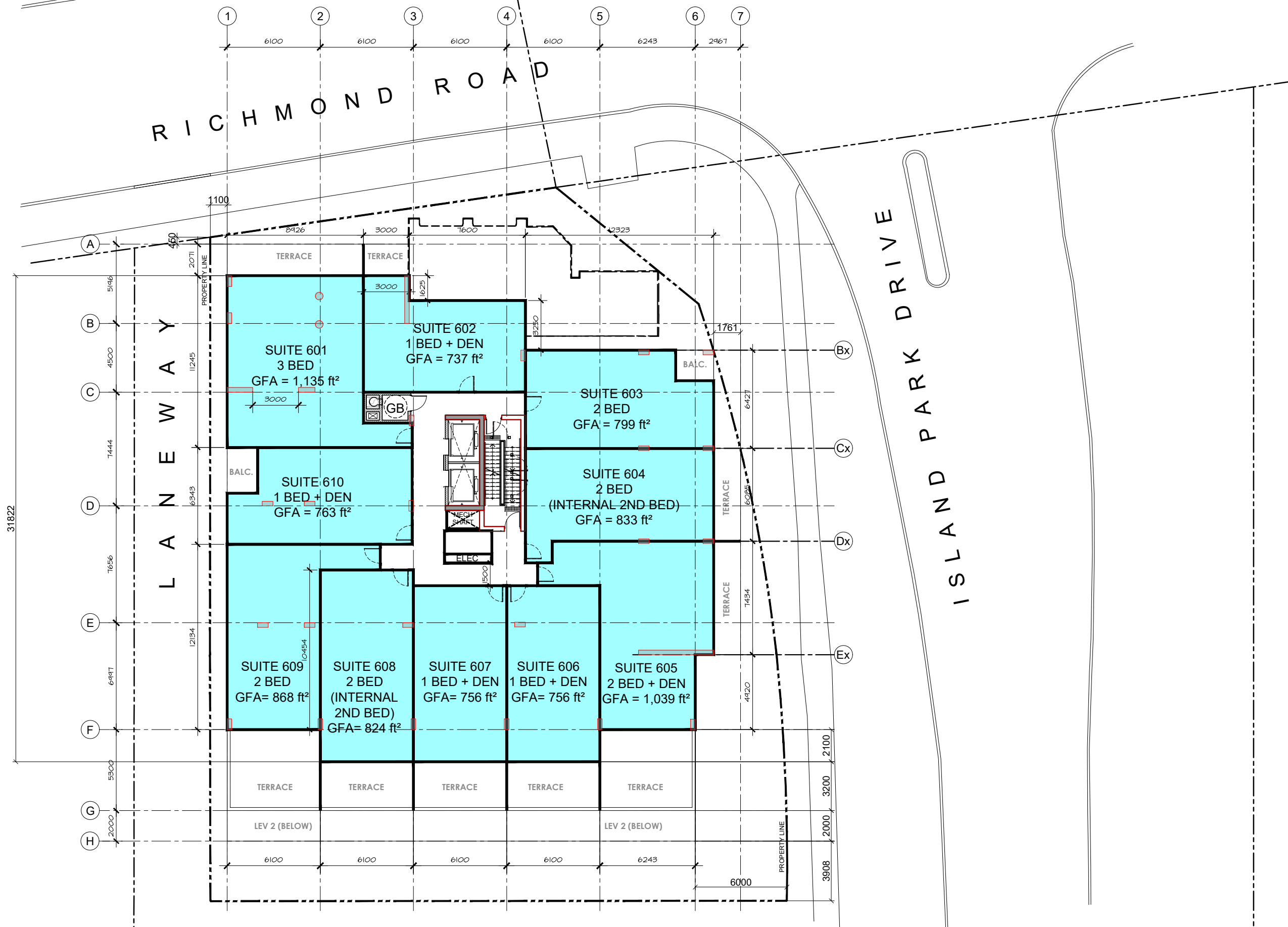
70 RICHMOND RD

LEVEL 5

SCALE 1:250
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LEVEL 6

GFA = 9,641 ft²
 NET = 8,510 ft²
 EFF. = 88 %
 10 UNITS



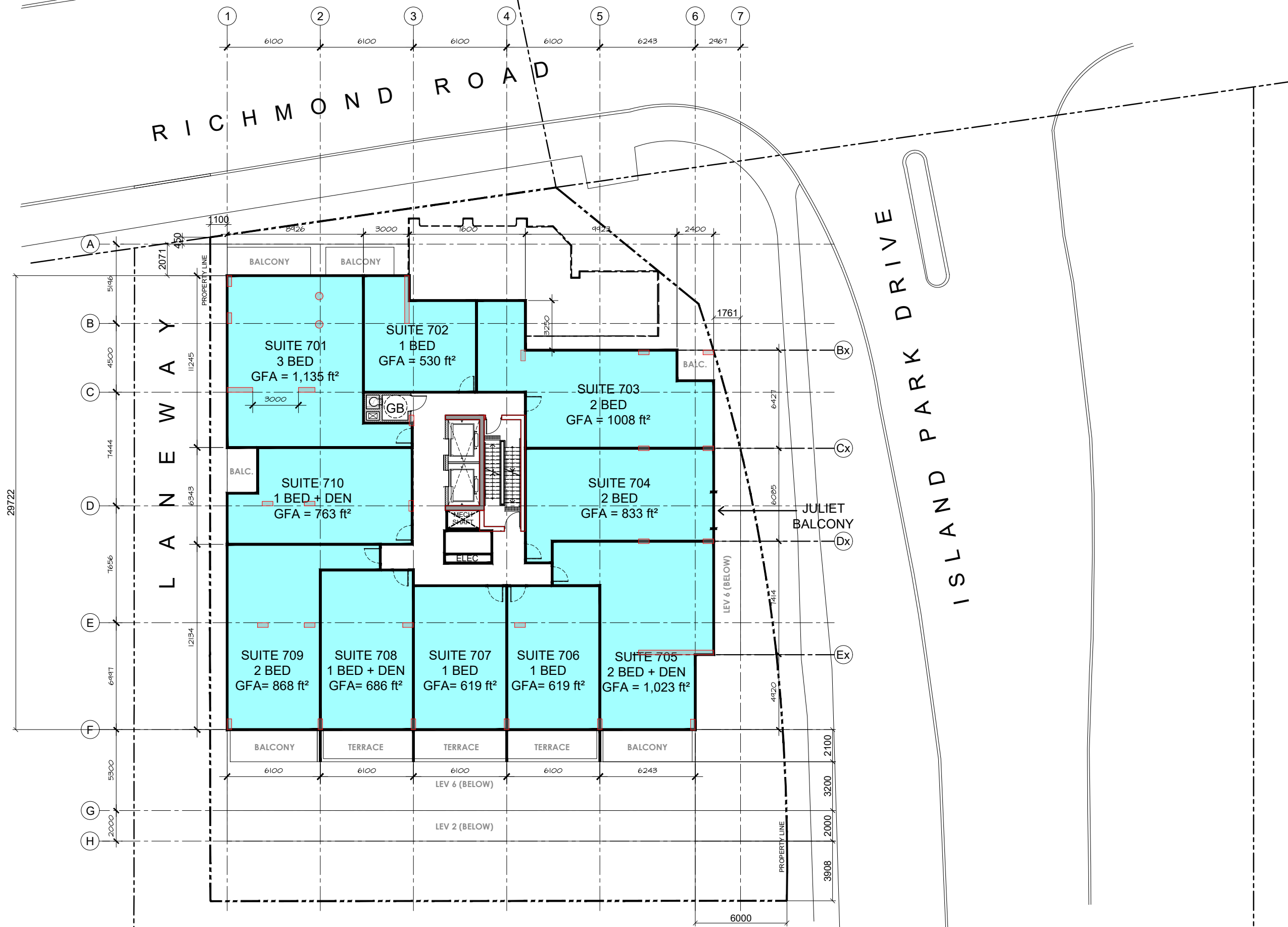
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LEVEL 6

SCALE 1:250
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LEVEL 7

GFA = 9,230 ft²
 NET = 8,084 ft²
 EFF. = 88 %
 10 UNITS



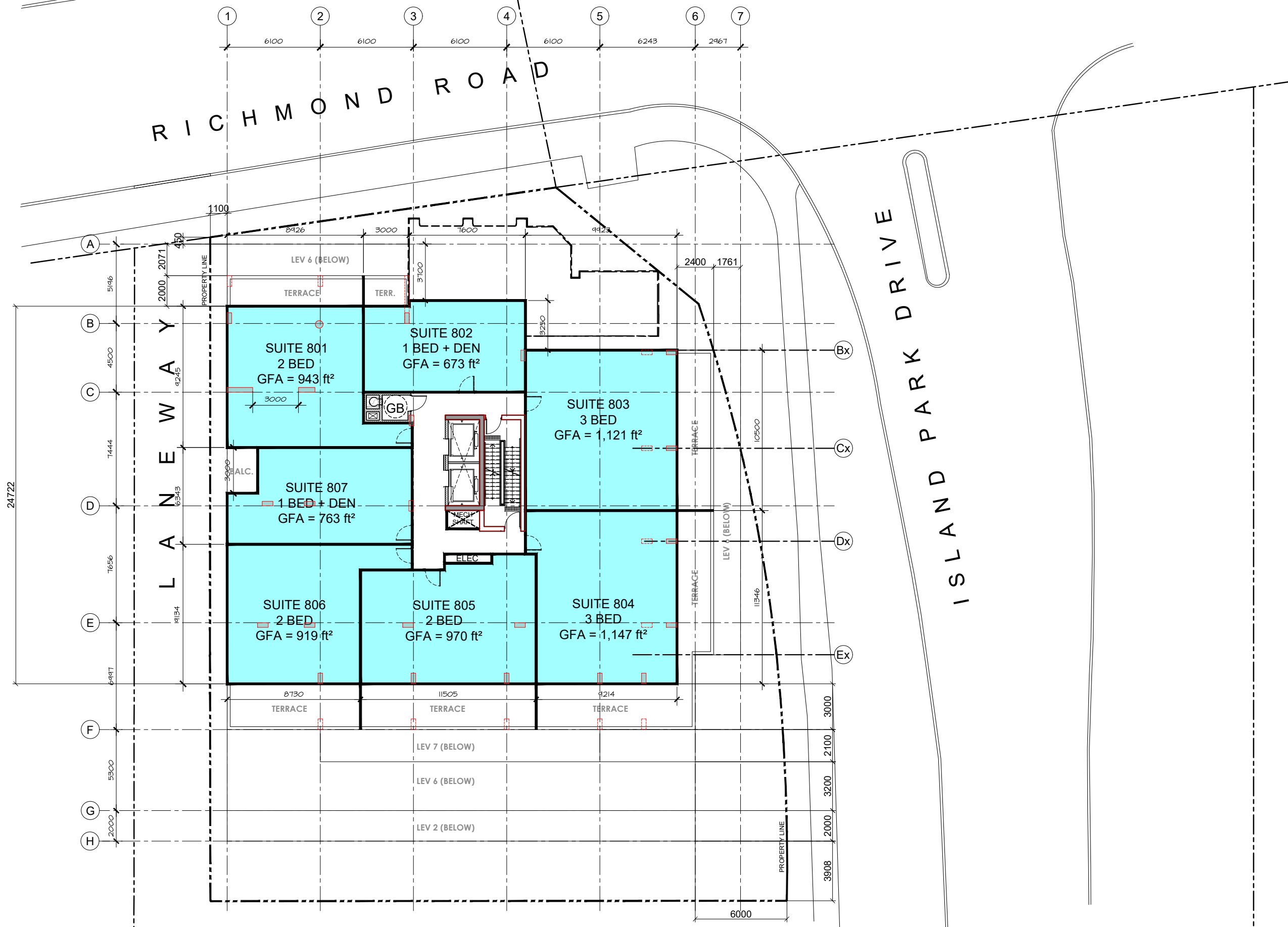
70 RICHMOND RD

LEVEL 7

SCALE 1:250
 Issued for SPA / November 15, 2022

LEVEL 8

GFA = 7,495 ft²
 NET = 6,536 ft²
 EFF. = 87 %
 7 UNITS



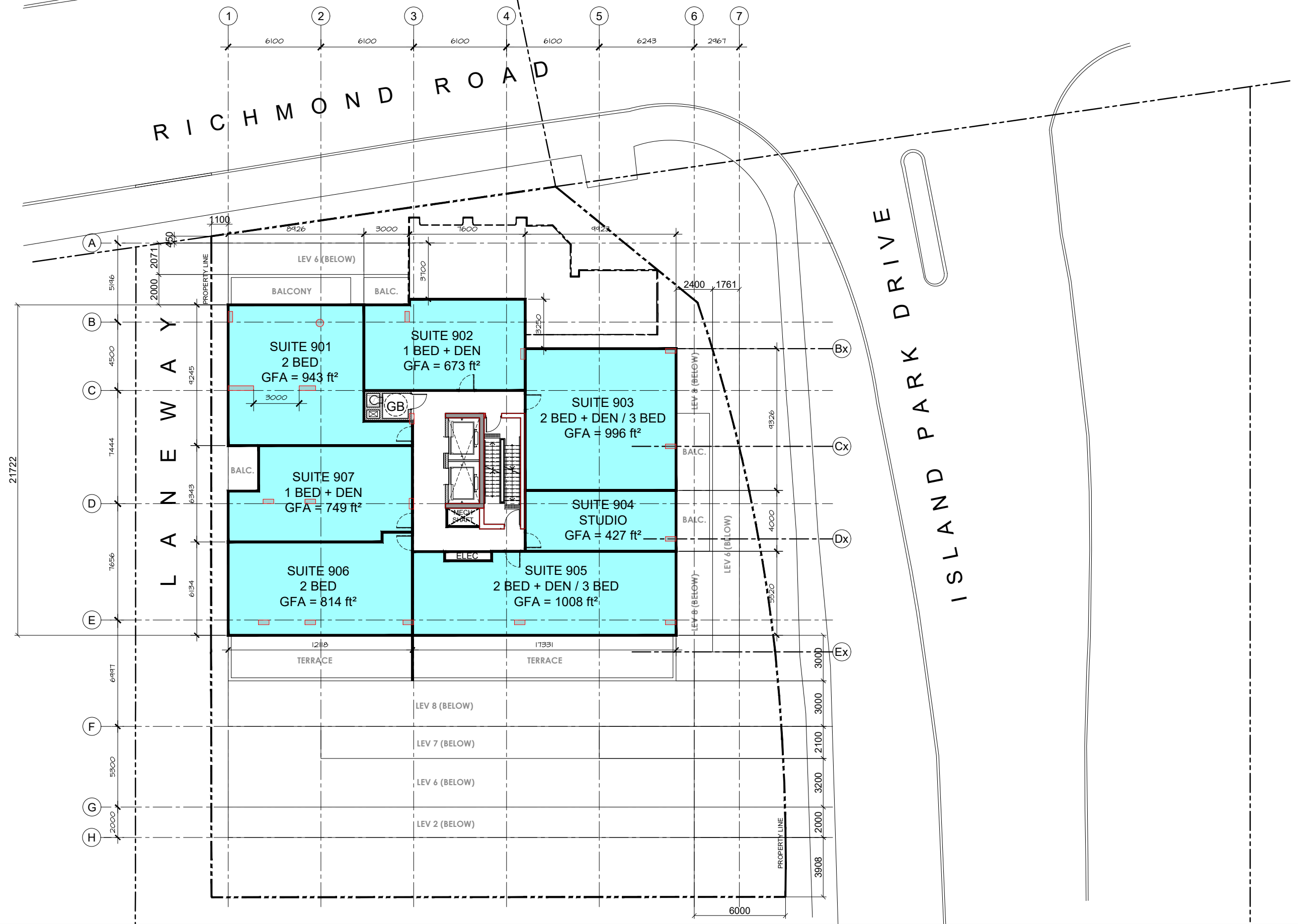
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LEVEL 8

SCALE 1:250
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LEVEL 9

GFA = 6,544 ft²
 NET = 5,610 ft²
 EFF. = 86 %
 7 UNITS



70 RICHMOND RD

LEVEL 9

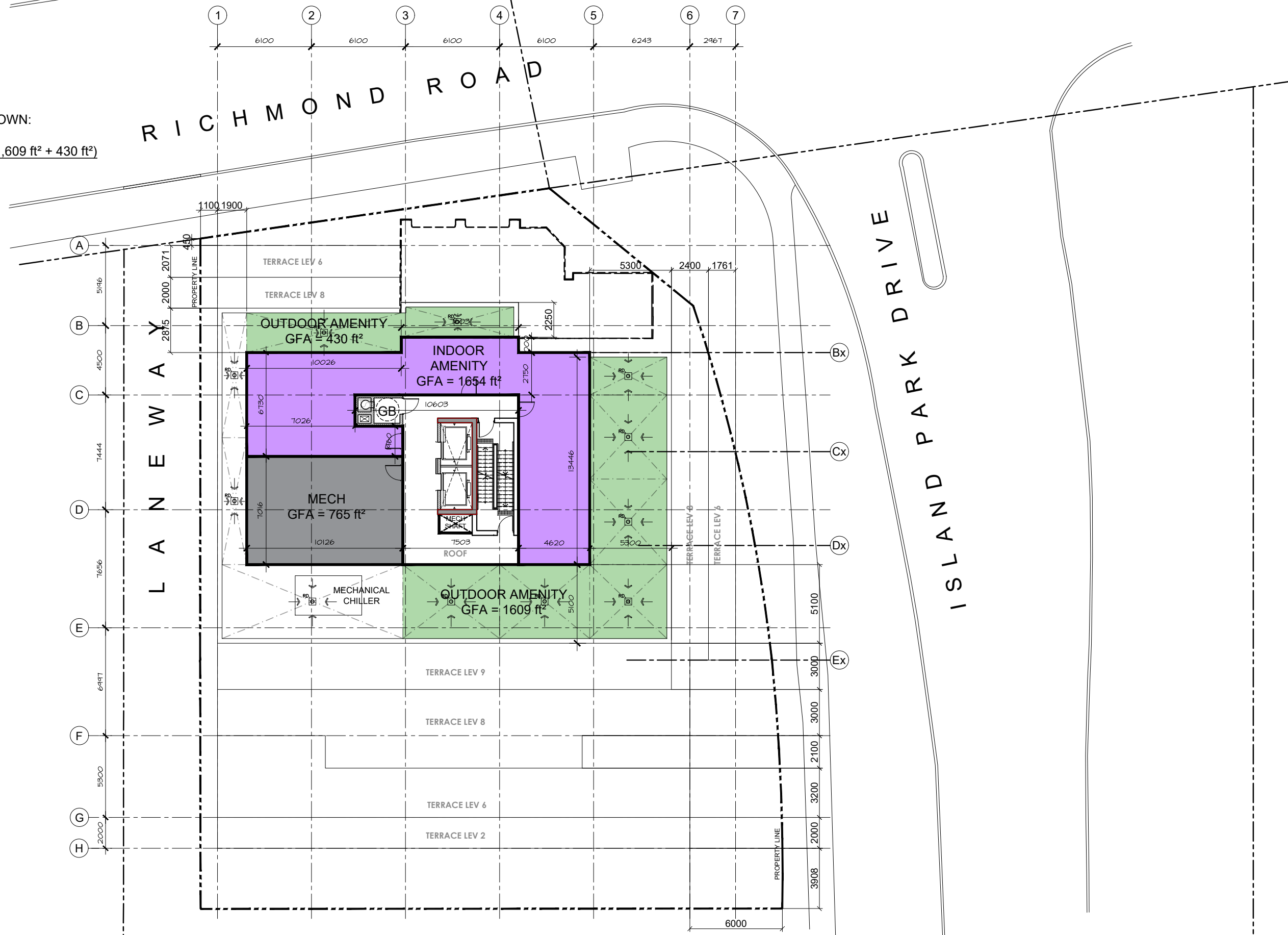
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MAIN ROOF LEVEL

GFA = 3,374 ft²

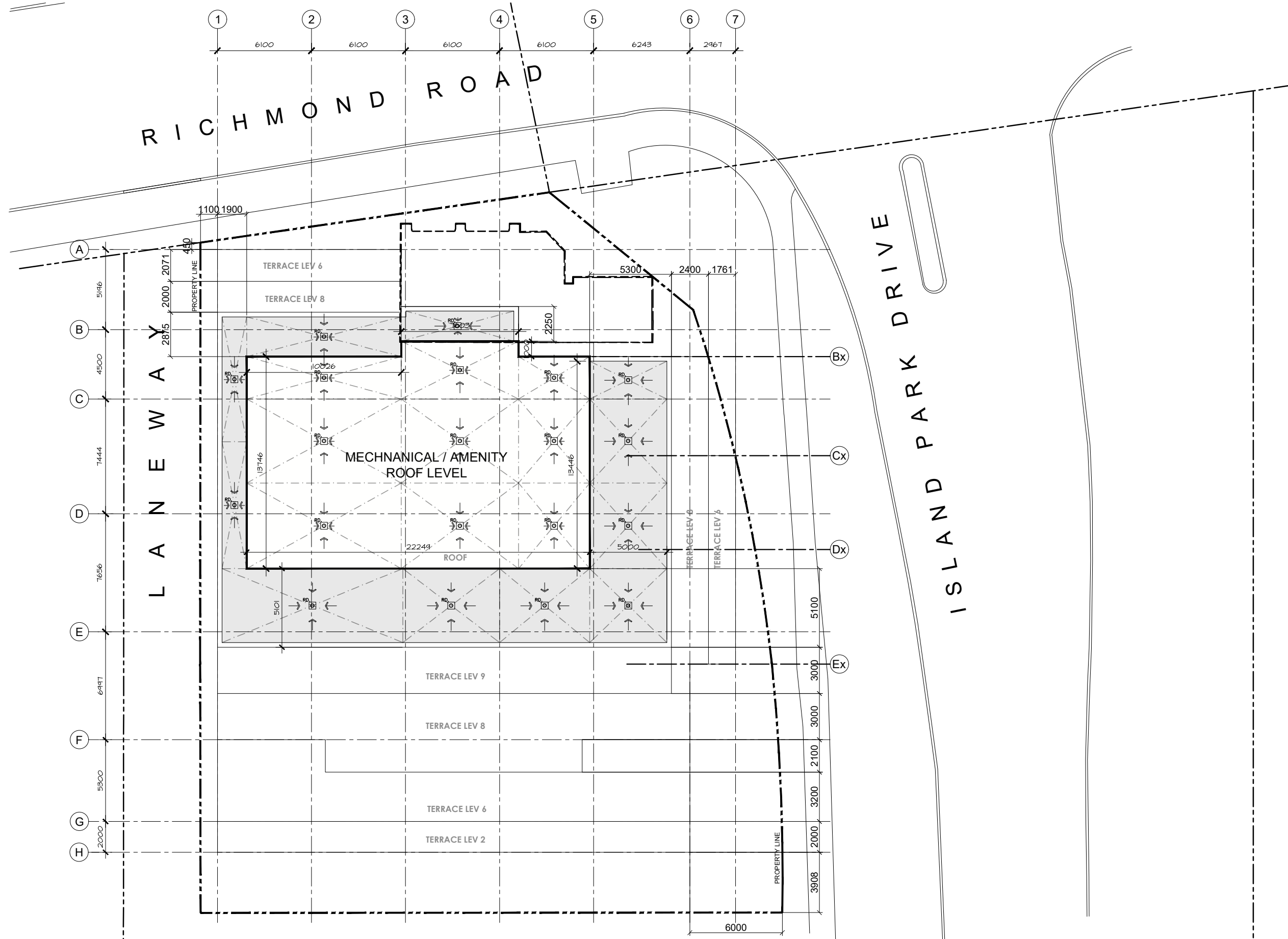
ROOF AMENITIES NET AREA BREAKDOWN:
 INDOOR AMENITIES = 1,654 ft²
 OUTDOOR AMENITIES = 2,039 ft² (1,609 ft² + 430 ft²)
 TOTAL ROOF AMENITIES = 3,693 ft²



70 RICHMOND RD

ROOF LEVEL

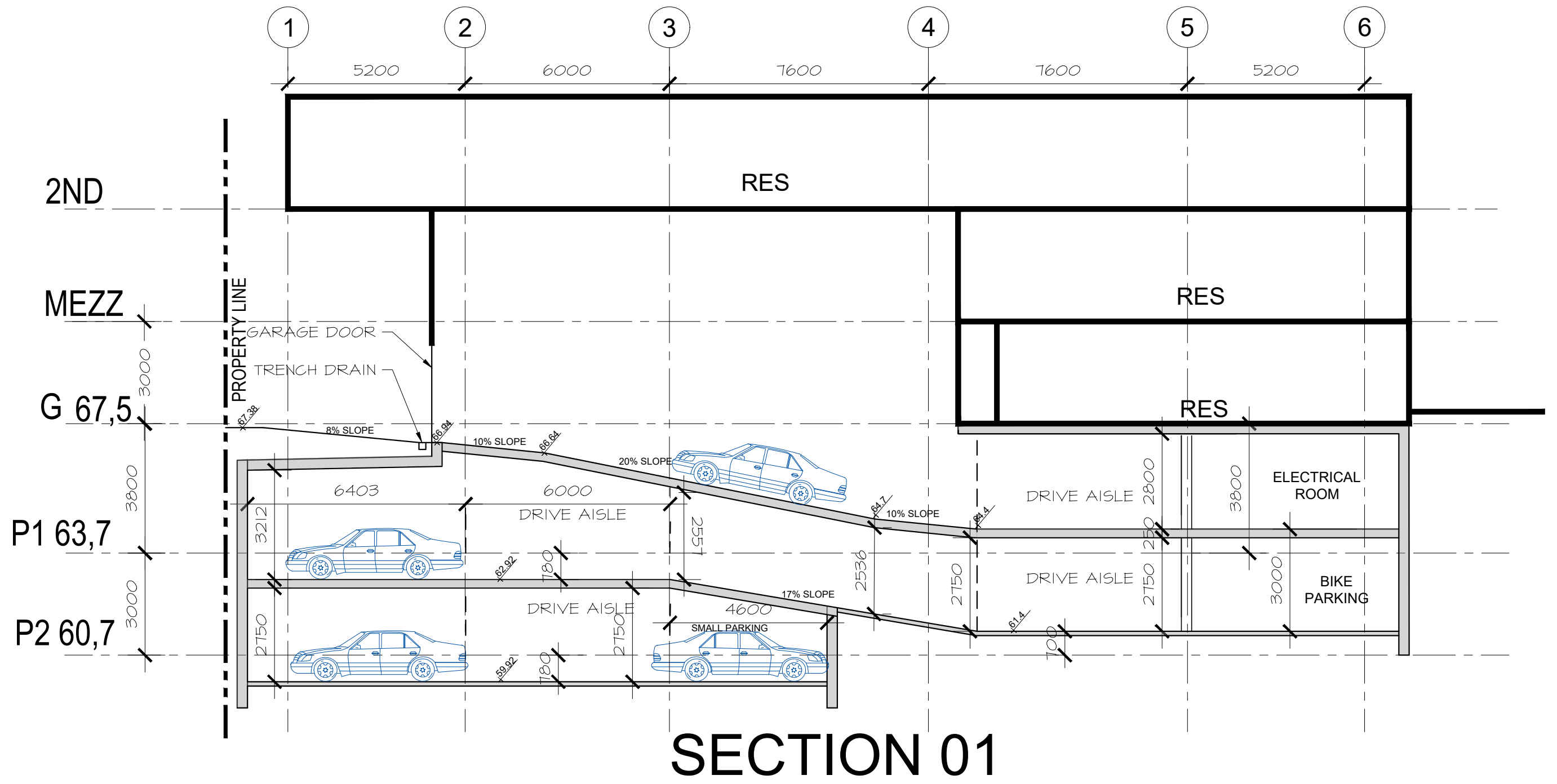
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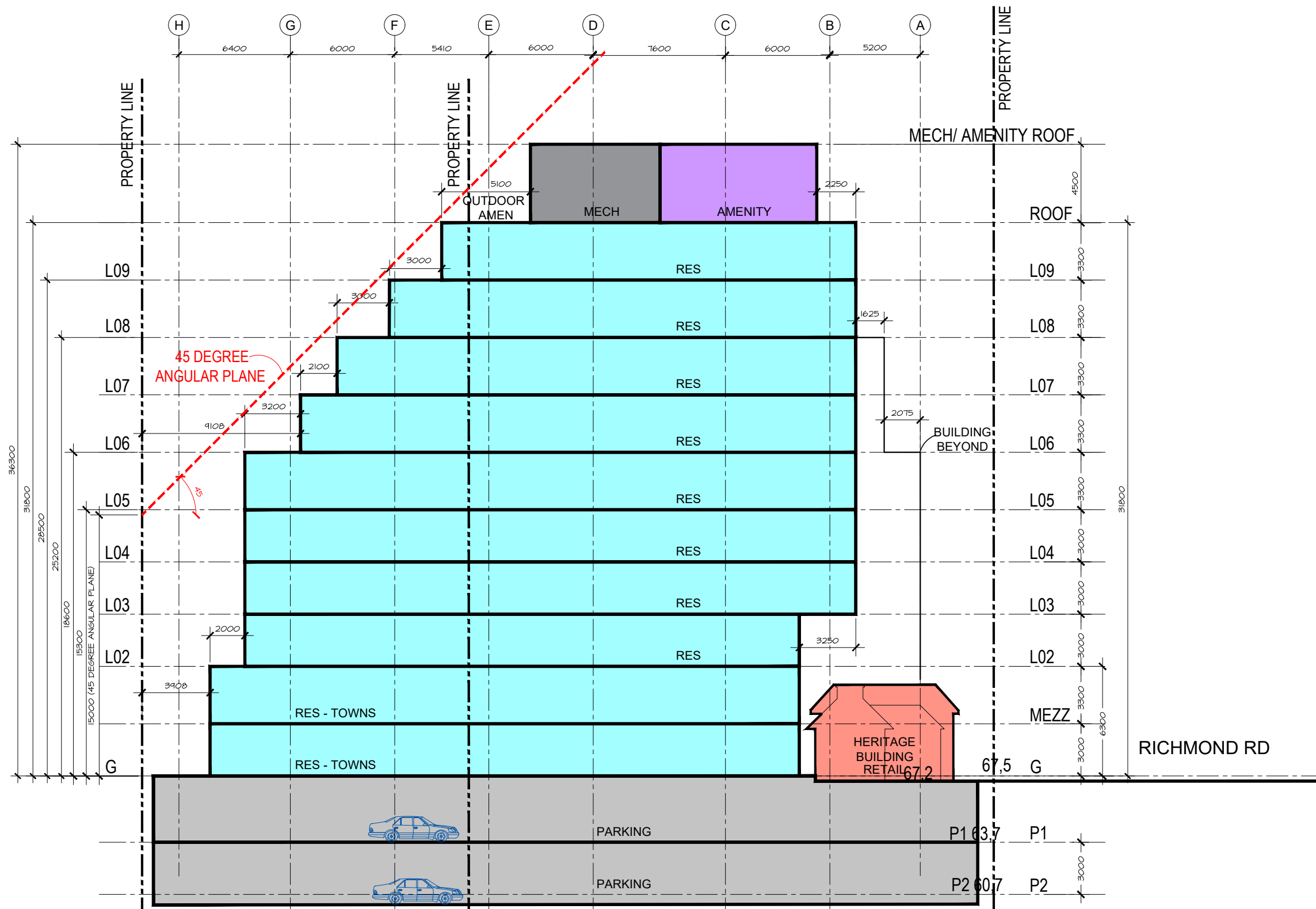
MECH ROOF LEVEL





70 RICHMOND RD

PARKING SECTION



70 RICHMOND RD

SECTION



- AF -1 ALUMINUM FLASHING 1
- AF -2 ALUMINUM FLASHING 2
- AP -1 ALUMINUM PANEL 1
- AP -2 ALUMINUM PANEL 2
- BV -1 BRICK VENEER 1
- GR GLASS RAILING
- MS -1 METAL SIDING-1
- OH OVERHEAD DOOR
- PCCP PRE-CAST CONCRETE PANEL
- SP SPANDREL PANEL
- SV-1 STONE VENEER 1
- VG VISION GLASS



70 RICHMOND RD

NORTH ELEVATION

SCALE 1:200
NOVEMBER 2022



- AF - 1 ALUMINUM FLASHING 1
- AF - 2 ALUMINUM FLASHING 2
- AP - 1 ALUMINUM PANEL 1
- AP - 2 ALUMINUM PANEL 2
- BV - 1 BRICK VENEER 1
- GR GLASS RAILING
- MS - 1 METAL SIDING-1
- OH OVERHEAD DOOR
- PCCP PRE-CAST CONCRETE PANEL
- SP SPANDREL PANEL
- SV-1 STONE VENEER 1
- VG VISION GLASS



70 RICHMOND RD

EAST ELEVATION

SCALE 1:200
NOVEMBER 2022



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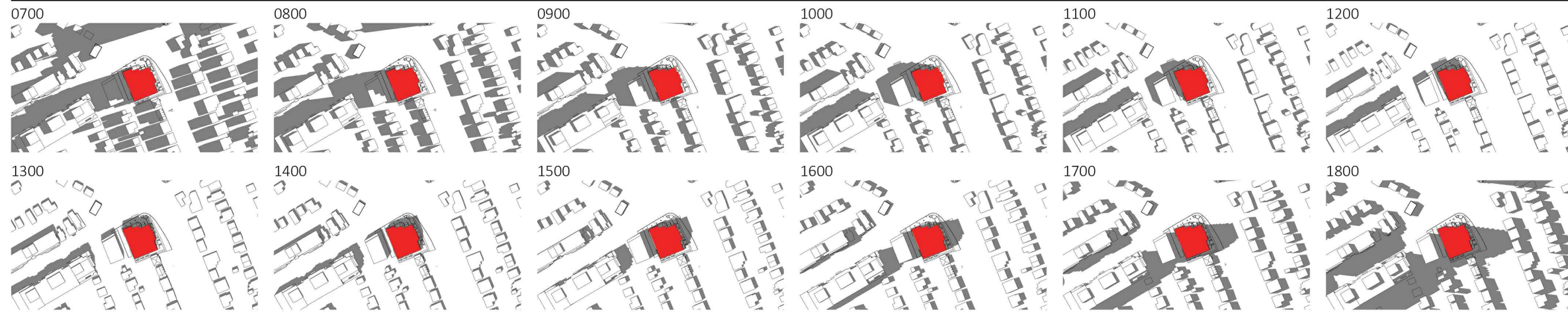
SOUTH ELEVATION

SCALE 1:200
NOVEMBER 2022

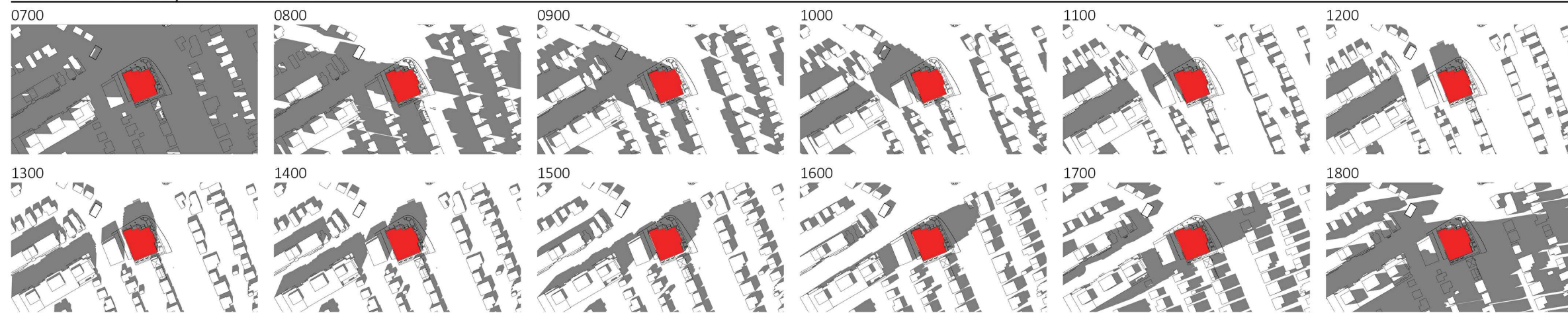


SUN & SHADOW STUDY

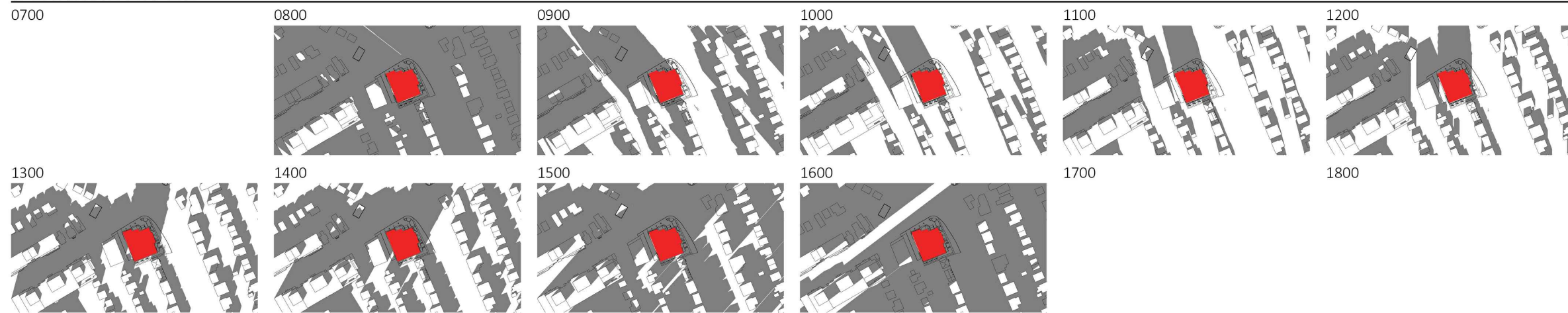
JUNE 21



SEPTEMBER / MARCH 21



DECEMBER 21





70 RICHMOND RD

VIEW 1

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VIEW 2

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VIEW 3

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VIEW 4

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VIEW 5

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VIEW 6

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VIEW 7

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