

**LEGEND**

- PROPERTY BOUNDARY LINE.
- SET BACK LINE
- LANDSCAPE BUFFER
- FIRE ROUT LINES
- PROPOSED & EXISTING BUILDING
- ASPHALT (REFER TO CIVIL)
- CONCRETE SURFACE. REFER TO CIVIL DWGS.
- LANDSCAPED AREA
- DENOTES PAINTED PEDESTRIAN WALKWAYS
- ENTRANCE LOCATIONS.
- OH DOOR LOCATIONS
- CONCRETE CURB RAMP C/W TWSI
- BR. BICYCLE RACK (4 SPACES)

**GENERAL NOTES:**

- REFER TO "TOPOGRAPHIC PLAN OF SURVEY OF" PART OF LOT 24, CONCESSION 3 (OTTAWA FRONT), GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, SURVEYED BY ANNIS, OSULLIVAN, VOLLEBECK LTD. ONTARIO LAND SURVEYORS.

**SITE DATA:**

BUILDING AREA: NEW WAREHOUSE (1 STOREY) 945m<sup>2</sup>

GROSS FLOOR AREA: (City of Ottawa Zoning Bylaw): Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:

- floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-326)
- common hallways, corridors, stairwells, elevator shafts and other voids; steps and landings; (By-law 2008-326)
- bicycle parking; motor vehicle parking or loading facilities;
- common laundry, storage and washroom facilities that serve the building or tenants;
- common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
- common amenity area and play areas accessory to a principle use on the lot; and (By-law 2008-326)
- living quarters for a caretaker of the building.

EXISTING MULTI TENANTS INDUSTRIAL NEW WAREHOUSE (1 STOREY): 945m<sup>2</sup>  
 TOTAL: 2091m<sup>2</sup>

GROSS AREA: (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls or between the outside surfaces of exterior walls and the centre line of firewalls, except that, in any occupancy other than a residential occupancy, where an access or a building service penetrates a firewall, measurements shall not be taken to the centre line of such firewall.

EXISTING MULTI TENANTS INDUSTRIAL NEW WAREHOUSE (1 STOREY): 1244m<sup>2</sup>  
 TOTAL: 2189m<sup>2</sup>

**ZONING:**

1.0 ZONING DESIGNATIONS (Part 11):  
 IH - HEAVY INDUSTRIAL ZONE

2.0 ZONING PROVISIONS:  
 TABLE 201 - IH ZONE PROVISIONS:

|   | REQUIRED | PROVIDED |
|---|----------|----------|
| MINIMUM LOT WIDTH (m):                  | NO MIN.  | 43.52    |
| MINIMUM LOT AREA (m <sup>2</sup> ):     | 4000     | 7,226    |
| MINIMUM FRONT YARD SETBACK (m):         | 7.5      | 11.075   |
| MINIMUM REAR YARD SETBACK (m):          | 7.5      | 10.759   |
| MINIMUM INTERIOR SIDE YARD SETBACK (m): | 7.5      | 14.832   |
| MINIMUM CORNER SIDE YARD SETBACK (m):   | 7.5      | 24.047   |
| MAXIMUM PRINCIPAL BUILDING HEIGHT (m):  | 22       | 7.12     |
| MAXIMUM FLOOR SPACE INDEX               | 2        |          |
| MINIMUM WIDTH OF LANDSCAPING (m):       | 3        | 3        |

3.0 PARKING (Section 101):

Minimum Required:

|                       |                                   |
|-----------------------|-----------------------------------|
| INDUSTRIAL WAREHOUSE: | 18 (0.8/100m <sup>2</sup> of GFA) |
| TOTAL:                | 18                                |

Existing provided:

|                 |   |
|-----------------|---|
| STANDARD SPACE: | 8 |
| BARRIER-FREE:   | 1 |
| TOTAL:          | 9 |

New Provided:

|                 |    |
|-----------------|----|
| STANDARD SPACE: | 17 |
| BARRIER-FREE:   | 1  |
| TOTAL:          | 18 |

TOTAL PROVIDED: 18

4.0 BICYCLE PARKING (Section 111):

Minimum Required:

|                       |                                 |
|-----------------------|---------------------------------|
| INDUSTRIAL WAREHOUSE: | 2 (1/1500m <sup>2</sup> of GFA) |
| TOTAL:                | 2                               |

Provided:

|                 |   |
|-----------------|---|
| STANDARD SPACE: | 4 |
| TOTAL:          | 4 |

5.0 LOADING (Section 113):

Minimum Required:

|                       |                                    |
|-----------------------|------------------------------------|
| INDUSTRIAL WAREHOUSE: | 1 (2000-4999m <sup>2</sup> of GFA) |
| TOTAL:                | 1                                  |

Provided:

|  |   |
|--|---|
| STANDARD SPACE (3.5m W X 7m L): (EXISTING) 4 + (NEW) 4 | 8 |
| TOTAL:   | 8 |

6.0 ACCESSIBLE PARKING PROVISION REQUIREMENTS (Parking Bylaw 2017-301, PART C Section 111):

Minimum Required:

|                        |   |
|------------------------|---|
| 1 TYPE A PARKING SPACE | 1 |
| 1 TYPE B PARKING SPACE | 1 |

Provided:

|                        |   |
|------------------------|---|
| 1 TYPE A PARKING SPACE | 1 |
| 1 TYPE B PARKING SPACE | 1 |

CLIENT

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PROJECT NORTH

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| ISSUE | DESCRIPTION                            | DATE       |
|-------|--|------------|
| 04    | ISSUED FOR SITE PLAN CONTROL REVISIONS | 13/10/2022 |
| 03    | ISSUED FOR SITE PLAN CONTROL           | 17/02/2022 |
| 02    | ISSUED FOR COORDINATION/CLIENT REVIEW  | 28/09/2021 |
| 01    | ISSUED FOR COORDINATION/CLIENT REVIEW  | 12/08/2021 |

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IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

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PROFESSIONAL STAMP

ONTARIO ASSOCIATION OF ARCHITECTS

ERIC ARCHITECT

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PROJECT

2920 SHEFFIELD DEVELOPMENT OTTAWA, ON

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DRAWING

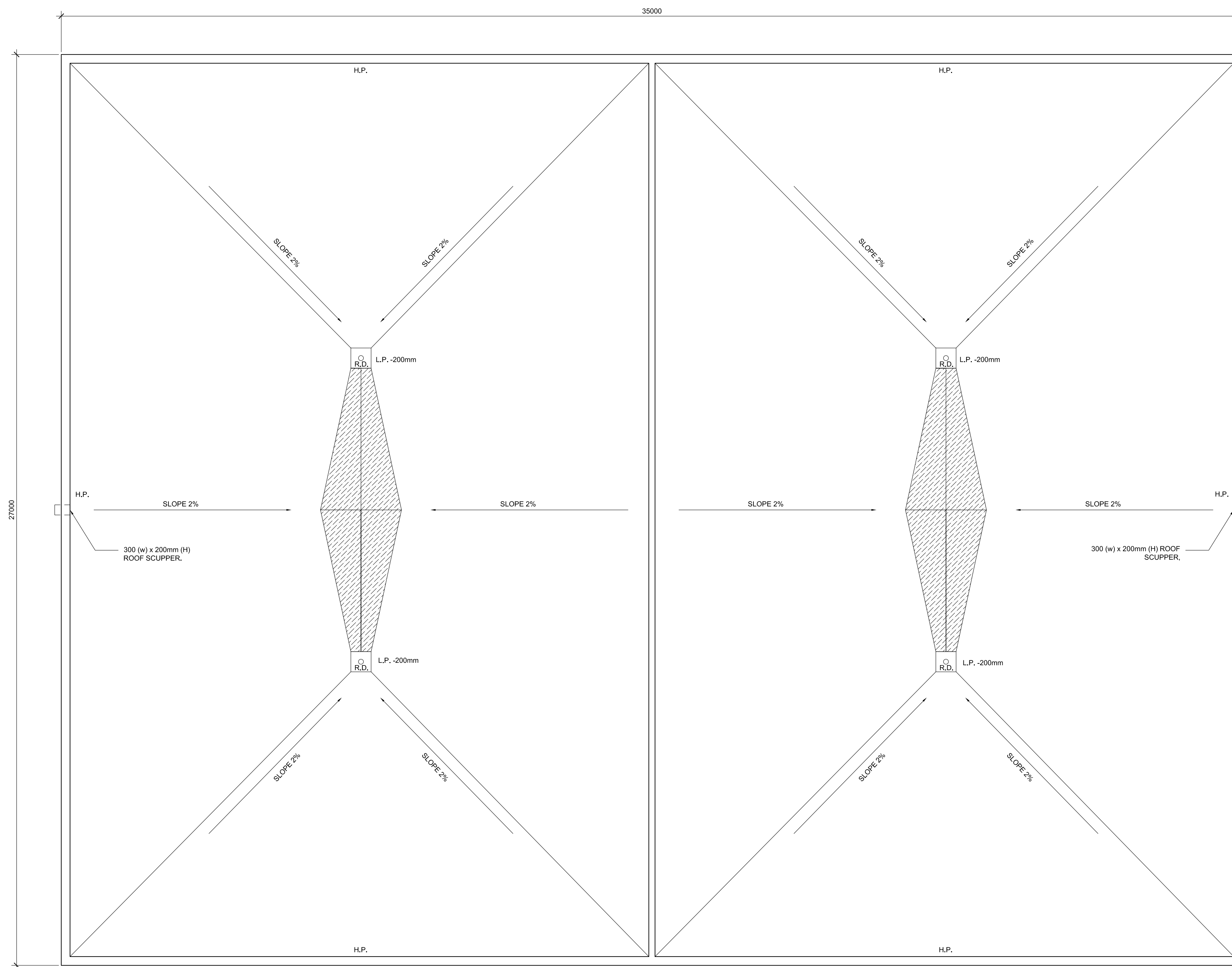
PROPOSED SITE PLAN

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|             |      |           |             |
|-------------|------|-----------|-------------|
| PROJECT No: | 033  | REVISION: | 03          |
| DRAWN:      | SL   | DATE:     | AUGUST 2021 |
| APPROVED:   | ES   | SCALE:    | AS SHOWN    |
| DRAWING No: | A001 |           |             |







1 ROOF PLAN:  
A203 SCALE: 1:75

CLIENT

PROJECT NORTH

| ISSUE | DESCRIPTION                            | DATE       |
|-------|--|------------|
| 01    | ISSUED FOR SITE PLAN CONTROL REVISIONS | 13/10/2022 |

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PROFESSIONAL STAMP  
 ONTARIO ASSOCIATION  
 ARCHITECTS  
 ERIC DANIELSON  
 ES ARCHITECT

PROJECT

2920 SHEFFIELD  
DEVELOPMENT  
OTTAWA, ON

DRAWING

ROOF PLAN

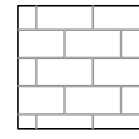
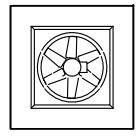
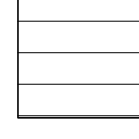
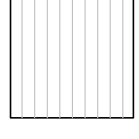
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| APPROVED:   | ES  | SCALE:    | AS SHOWN       |

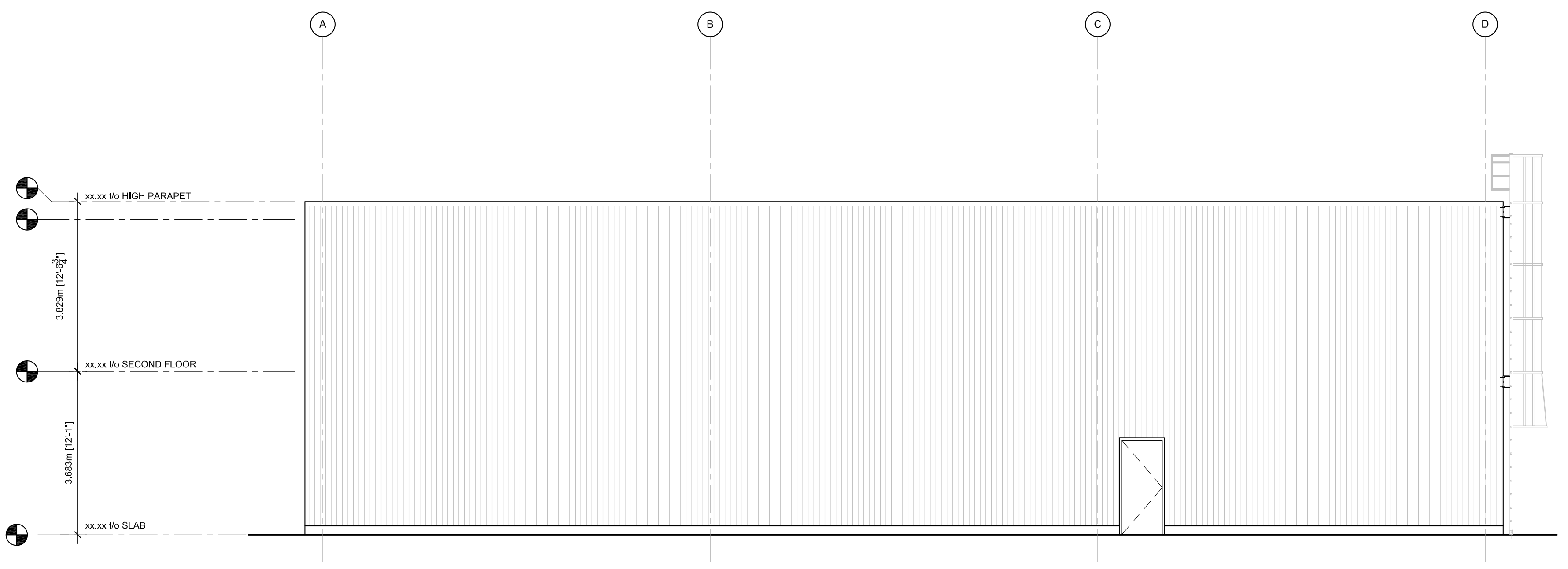
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PLAN NO. 18735

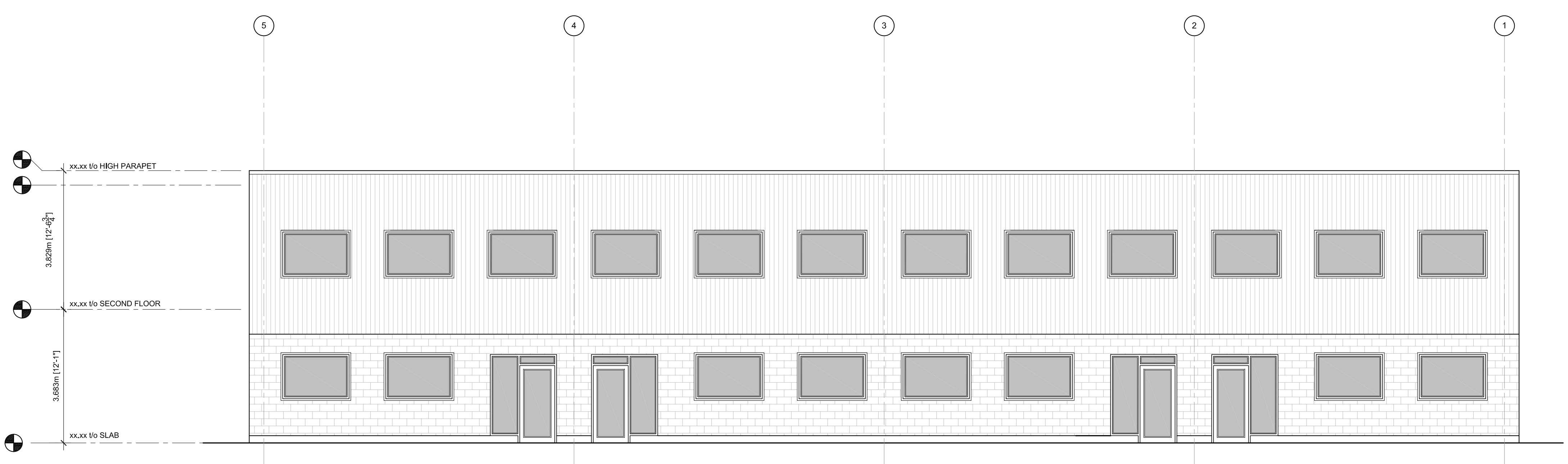
D07-12-22-0037

**LEGEND**

|   |                                       |   |   |
|---|---------------------------------------|---|---|
|  | MASONRY CLADDING.                     |  | LOCATION OF MECH FAN & MECH. INTAKE LOUVERS. REFER TO MECHANICAL. |
|  | HORIZONTAL METAL SIDING TYPE 2, BLACK |  | VERTICAL INSULATED METAL PANEL SIDING TYPE 3, GREY                |



1 EAST ELEVATION:  
SCALE: 1:75



2 SOUTH ELEVATION:  
SCALE: 1:75

CLIENT

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PROJECT NORTH

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| 02    | ISSUED FOR SITE PLAN CONTROL           | 17/02/2022 |
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PROFESSIONAL STAMP



ES ARCHITECT

PROJECT

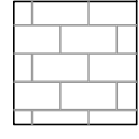
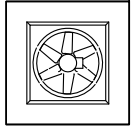
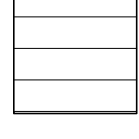
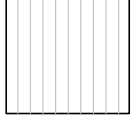
**2920 SHEFFIELD DEVELOPMENT  
OTTAWA, ON**

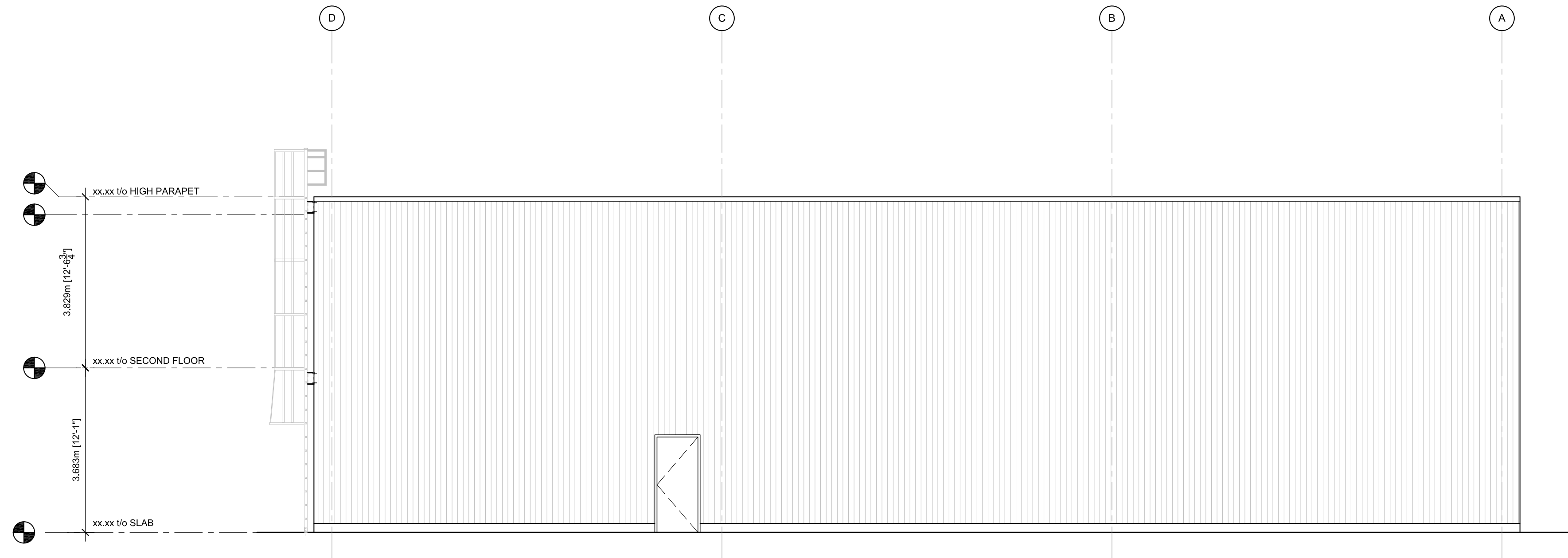
DRAWING

**BUILDING ELEVATIONS**

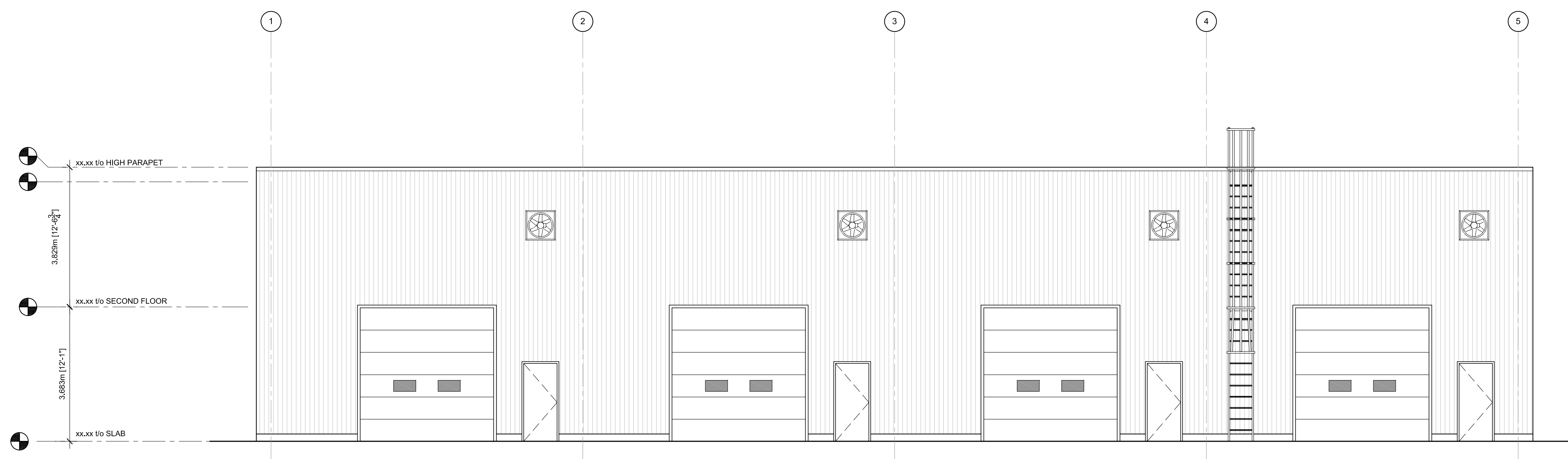
|             |      |           |             |
|-------------|------|-----------|-------------|
| PROJECT No: | 033  | REVISION: | 02          |
| DRAWN:      | SL   | DATE:     | AUGUST 2021 |
| APPROVED:   | ES   | SCALE:    | AS SHOWN    |
| DRAWING No: | A300 |           |             |

**LEGEND**

|   |                                       |   |  |
|---|---------------------------------------|---|--|
|  | MASONRY CLADDING.                     |  | LOCATION OF MECH FAN & MECH INTAKE LOUVERS. REFER TO MECHANICAL. |
|  | HORIZONTAL METAL SIDING TYPE 2, BLACK |  | VERTICAL INSULATED METAL PANEL SIDING TYPE 3, GREY               |



1 WEST ELEVATION:  
A301 SCALE: 1:75



2 NORTH ELEVATION:  
A301 SCALE: 1:75

CLIENT

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PROFESSIONAL STAMP



ES ARCHITECT

PROJECT

2920 SHEFFIELD DEVELOPMENT  
OTTAWA, ON

DRAWING

BUILDING ELEVATIONS

|             |     |           |             |
|-------------|-----|-----------|-------------|
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DRAWING No: **A301**