

424 CHURCHILL APARTMENT BUILDING



ISSUED FOR
OFFICIAL PLAN AMENDMENT, ZONING BYLAW AMENDMENT & SITE PLAN CONTROL



CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

ARCHITECT :
OPEN PLAN ARCHITECTS INC.
2305 HILLARY AVENUE,
OTTAWA, ON K1H 7J2
613-883-5090

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K2P 2H7
613-730-5709

**MECHANICAL, ELECTRICAL
& CIVIL ENGINEER :**
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 2T6
613-727-0850

**NOISE, VIBRATION & WIND
ENGINEER :**
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
OTTAWA, ON K0A 1L0
613-836-0934

TRANSPORTATION ENGINEER :
CASTLEGLLEN CONSULTANTS INC.
2460 LANCASTER ROAD,
OTTAWA, ON K1B 4S5
613-731-4052

rev. / issue	description	date
01	ISSUED FOR OPA, ZBA & SPC	20 OCT. 2022

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project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

OPA open plan
architects inc.
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613.883.5090 | info@openplan.ca

project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

drawing

COVER PAGE

drawn	KDB	date	2022-OCT-20
approved	KDB	revision	0
project no.	2109	scale	

drawing no.

COVER

424 Churchill Avenue North, Ottawa

Zoning Data:
 Zone: TM H(24)
 Adjacent zones:
 north: TM H(24)
 south: LC H(128) & 11A
 east: R3R & O1
 west: TM H(24)

Frontage: 25.34 (Churchill Ave. N.)
 Lot area: 1,009.7 m²

Proposed building area: 882.3 m²
 taken in accordance w/ OBC definition
 (B1 being 1st floor above grade).

Proposed GFA: 4,643.7 m²
 taken in accordance w/ zoning bylaw definition
 B1 300.4
 level 1 440.6
 level 2-7 564.0
 level 8 518.7

Proposed use: Apartment Dwelling, Mid-Rise

Proposed number of units: 58

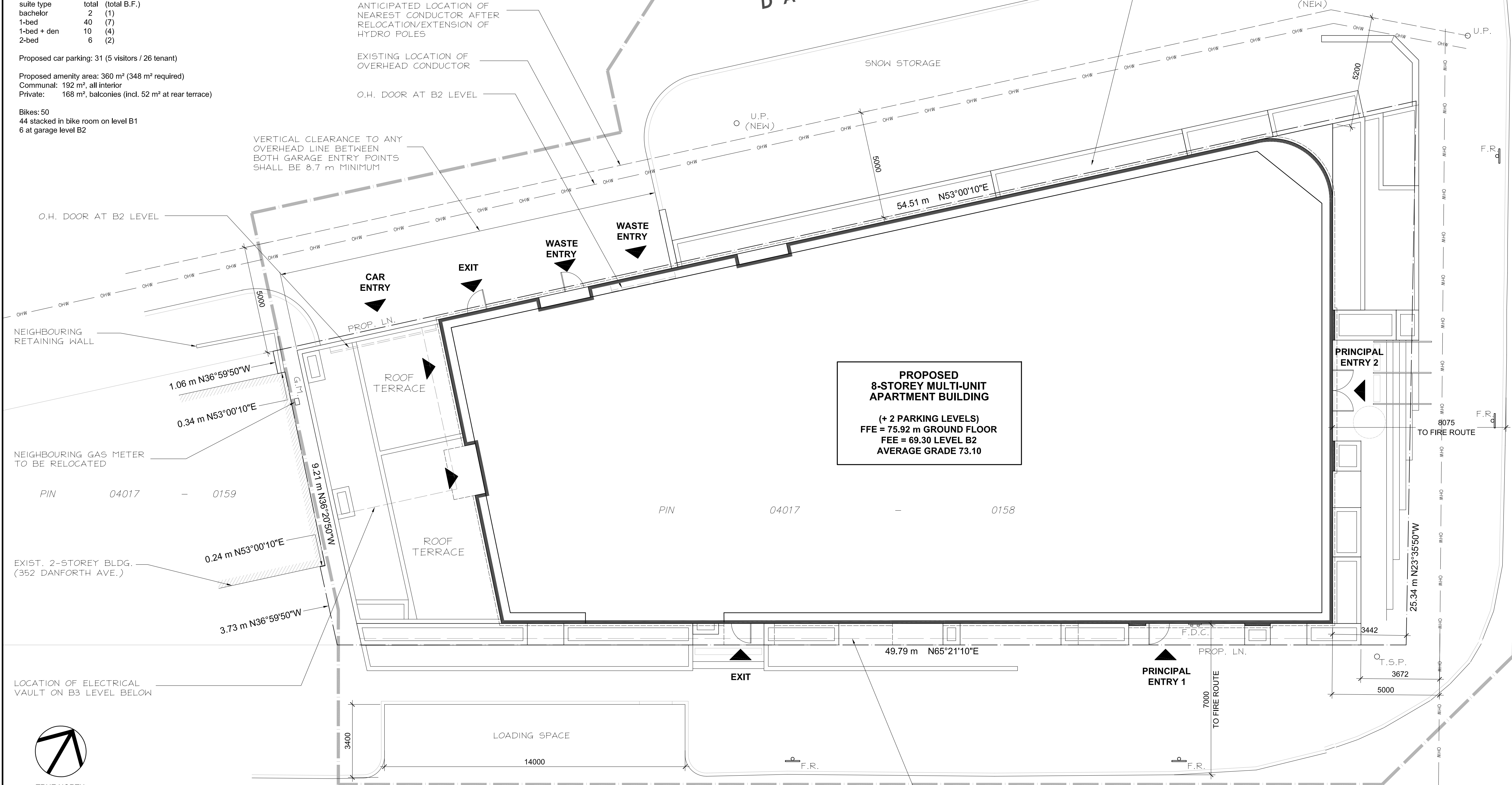
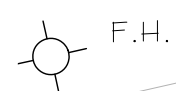
suite type	total	(total B.F.)
bachelor	2	(1)
1-bed	40	(7)
1-bed + den	10	(4)
2-bed	6	(2)

Proposed car parking: 31 (5 visitors / 26 tenant)

Proposed amenity area: 360 m² (348 m² required)
 Communal: 192 m², all interior
 Private: 168 m², balconies (incl. 52 m² at rear terrace)

Bikes: 50
 44 stacked in bike room on level B1
 6 at garage level B2

Mechanism	Required	Proposed	Notes
frontage (min.):	no min.	25.34 m	-
lot area (min.):	no min.	1,009.7 m ²	-
setbacks:			
front yard (min.):	2 m (abv. 15 m H.)	3.4 m	-
front yard (max.):	2 m (b/w. 15 m H.)	3.4 m	-
corner side yard (min.):	3 m; 5 m abv. 15 m H.	0.3 & 0.2 m	Required due to hydro restrictions South and north CSY respectively
rear yard (min.):	7.5 m	7.5 m	-
lot coverage (min.):	no min.	87.4%	-
landscaped area (min.):	no min.	n/a	Complies w/ requirement for areas not used for driveways, aisles etc. to be landscaped
building height (min.):	6.7 m	27.5 m	-
building height (max.):	24 m	27.5 m	-
density (max.):	no max.	n/a	OPA and ZBA needed



PROPOSED 8-STOREY MULTI-UNIT APARTMENT BUILDING
 (+ 2 PARKING LEVELS)
 FFE = 75.92 m GROUND FLOOR
 FEE = 69.30 LEVEL B2
 AVERAGE GRADE 73.10



SCALE: 1 : 100

SURVEY INFORMATION TAKEN FROM SURVEY PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD., DATED DECEMBER 9, 2021, (AMENDED JULY 12, 2022) PROJECT NO. 17926, REFERENCE NO. 22329-21

CLIENT / OWNER :
 GSI SLOUGH STREET PROPERTIES INC.
 5-145 SELECT AVE.
 TORONTO, ON M1V 5M8
 416-292-9920

LANDSCAPE ARCHITECT :
 IBI GROUP
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SURVEYOR :
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ARCHITECT :
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 2305 HILLARY AVENUE,
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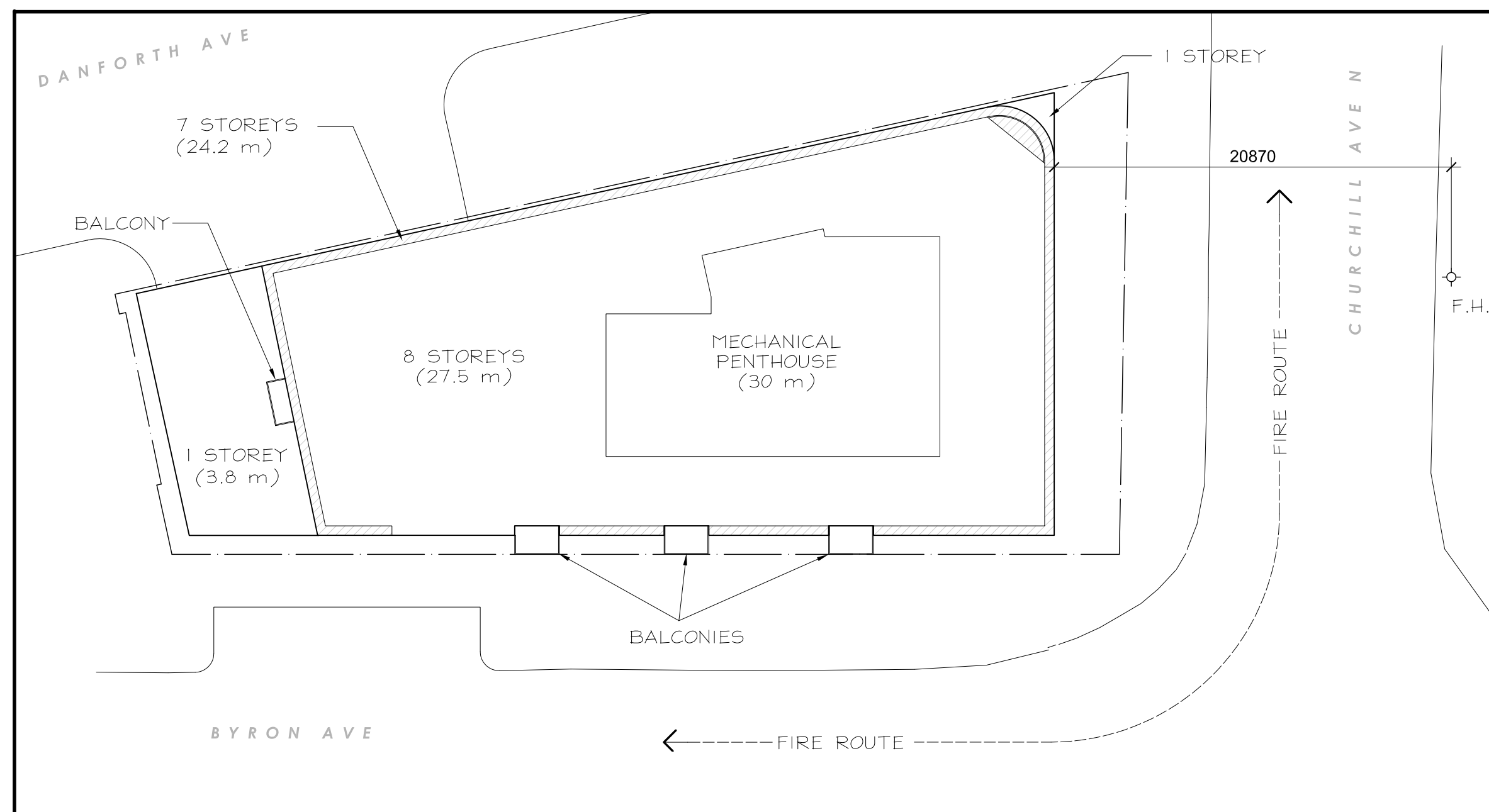
project

424 CHURCHILL AVE N., APARTMENT BUILDING

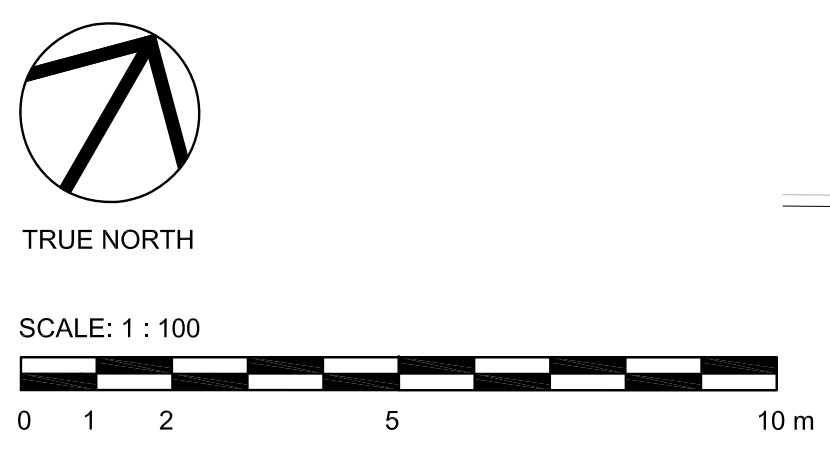
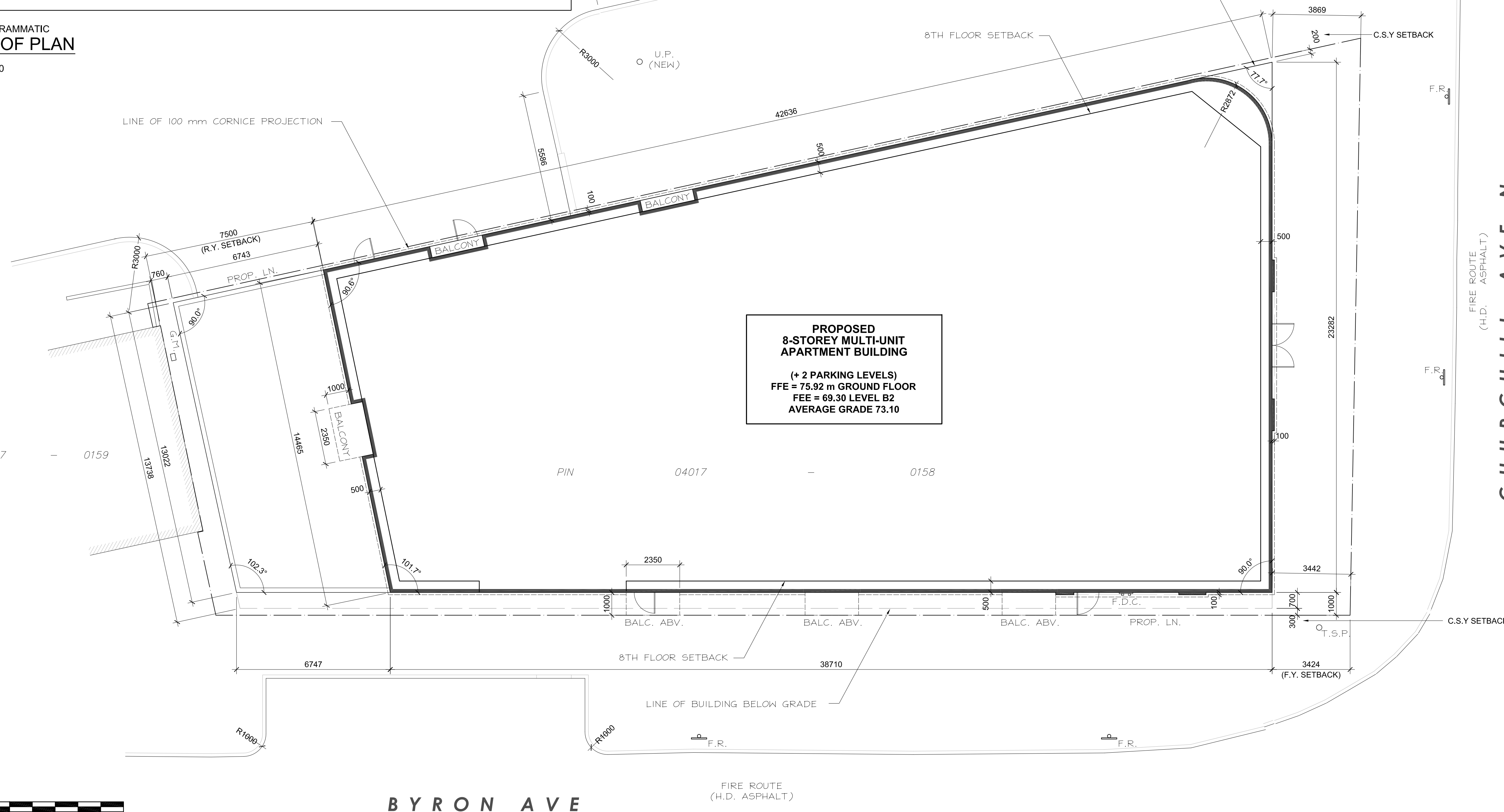
drawing

SITE PLAN

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1 : 100
drawing no.	A000		



2
A001
DIAGRAMMATIC ROOF PLAN
1:250



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project




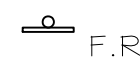
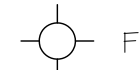






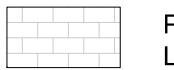


424 CHURCHILL AVE N., APARTMENT BUILDING

drawing

SITE PLAN - DIMENSIONAL DETAIL OF BUILDING ONLY

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1:100
drawing no.	A001		

SYMBOL & MATERIAL LEGEND :

-  BUILDING ENTRANCE
-  ELEVATION MARKER, ### mm ABOVE FINISHED FLOOR
-  F.D.C. FIRE DEPT. CONNECTION, REFER TO MECHANICAL
-  F.R. FIRE ROUTE SIGN, REFER TO CIVIL
-  F.H. FIRE HYDRANT, REFER TO CIVIL
-  U.P. HYDRO UTILITY POLE, REFER TO HYDRO
-  TREE, REFER TO LANDSCAPE ARCHITECT
-  T.S.P. TRAFFIC SIGNAL POLE, REFER TO CIVIL
-  LANDSCAPE MATERIAL, REFER TO LANDSCAPE ARCHITECT
-  GRASS, REFER TO LANDSCAPE ARCHITECT
-  POURED CONCRETE
-  PAVERS, REFER TO LANDSCAPE ARCHITECT
-  YELLOW DIAGONAL ROAD PAINT
-  CONCRETE WALKWAY, REFER TO LANDSCAPE ARCHITECT

- CLIENT / OWNER :**
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920
- LANDSCAPE ARCHITECT :**
IBI GROUP
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519-585-2285
- CONSULTING PLANNER :**
FOIENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709
- SURVEYOR :**
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project

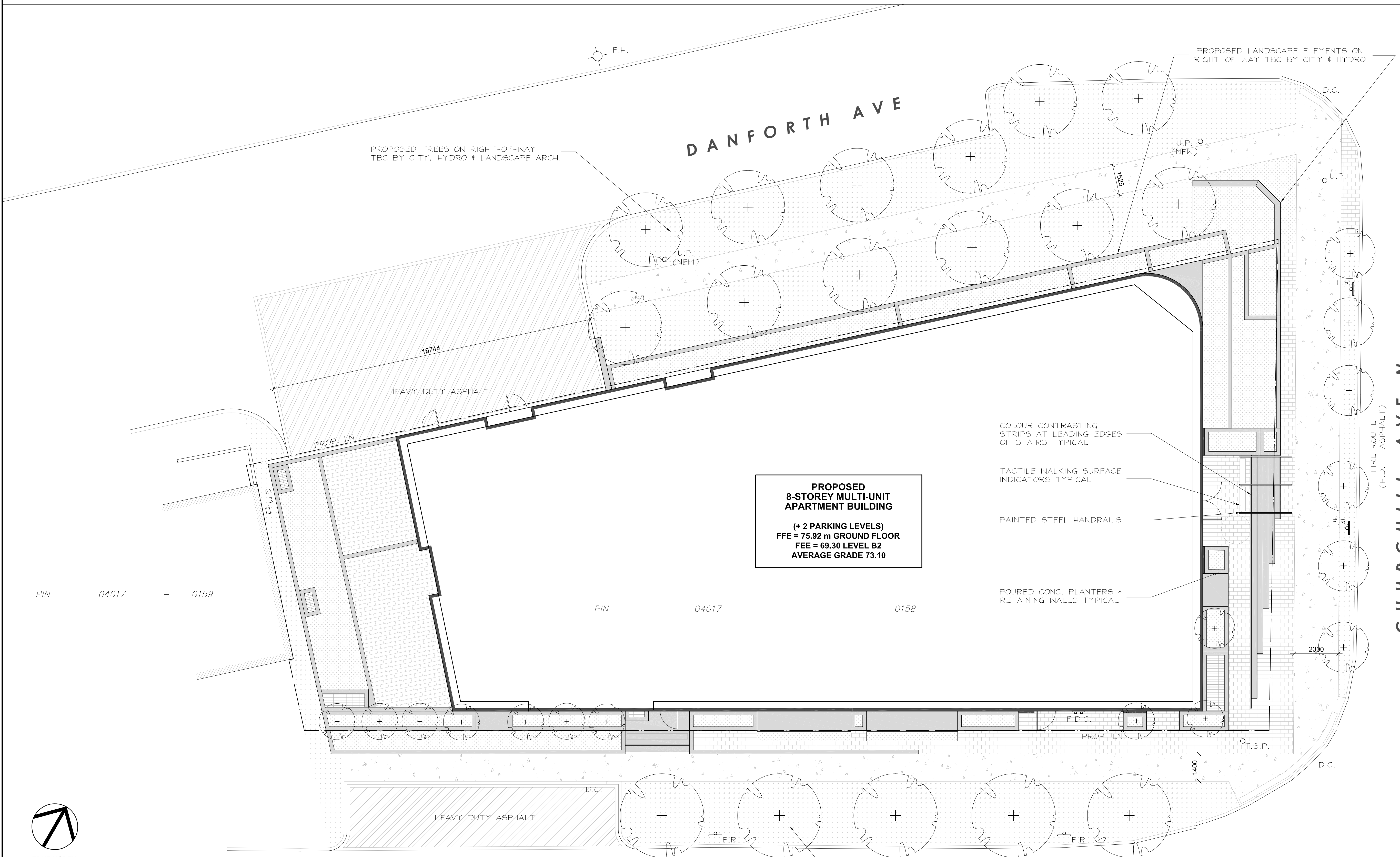
424 CHURCHILL AVE N., APARTMENT BUILDING

drawing

SITE PLAN - WALKWAYS & LANDSCAPING

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1 : 100
drawing no.			

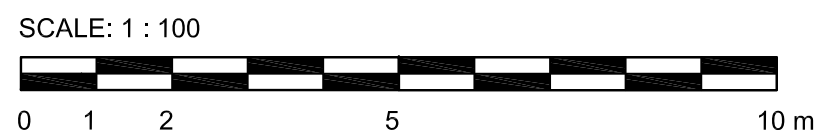
A003



PROPOSED 8-STOREY MULTI-UNIT APARTMENT BUILDING
(+ 2 PARKING LEVELS)
FFE = 75.92 m GROUND FLOOR
FFE = 69.30 LEVEL B2
AVERAGE GRADE 73.10

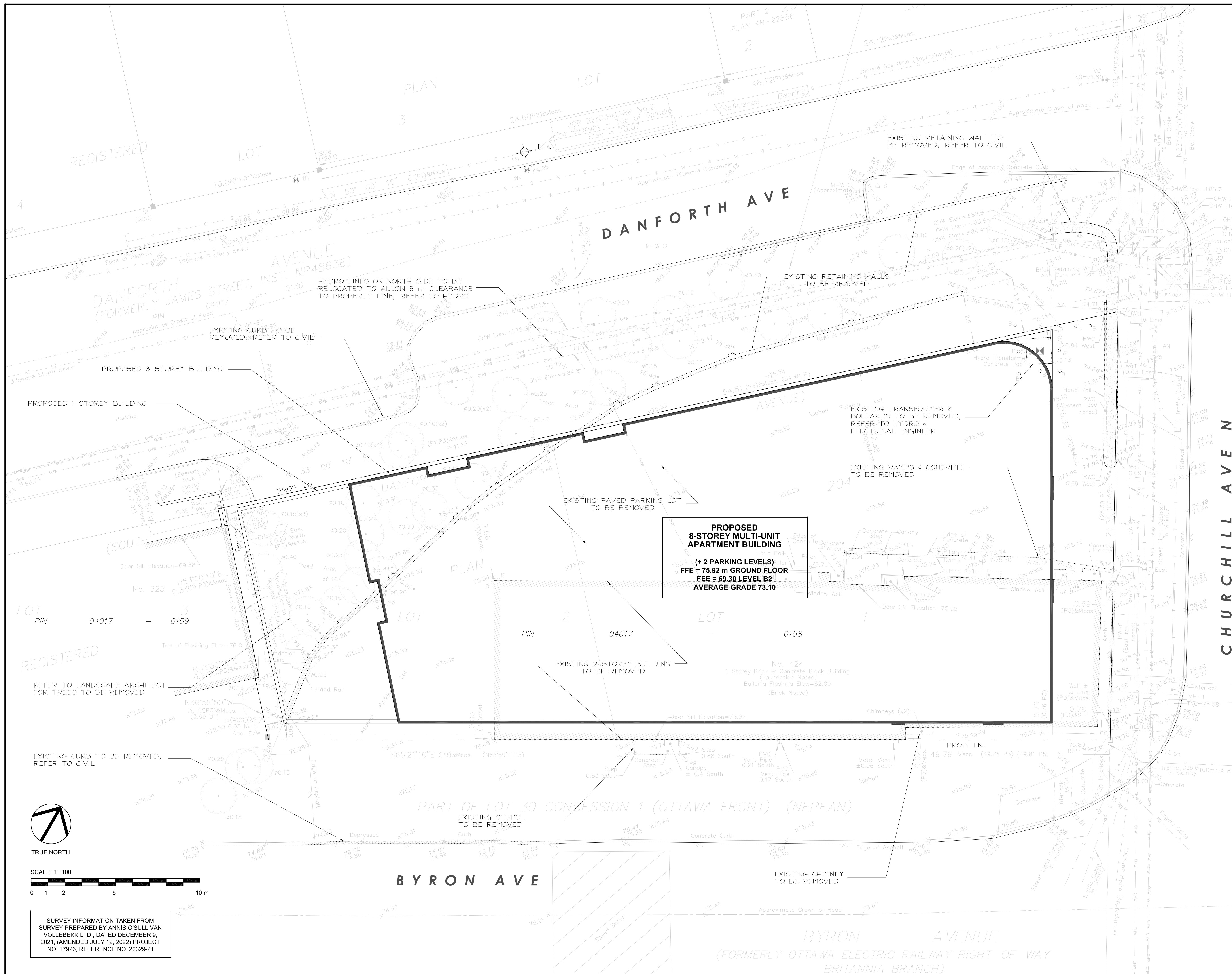
PIN 04017 - 0159

PIN 04017 - 0158



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1 SITE PLAN
A003 1 : 100



CLIENT / OWNER :
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 5-145 SELECT AVE.
 TORONTO, ON M1V 5M8
 416-292-9920

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LANDSCAPE ARCHITECT :
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 WATERLOO, ON N2L 3V3
 519-585-2285

SURVEYOR :
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 14 CONCORSE GATE, SUITE 500
 OTTAWA, ON K2E 276
 613-727-0850

NOISE, VIBRATION & WIND ENGINEER :
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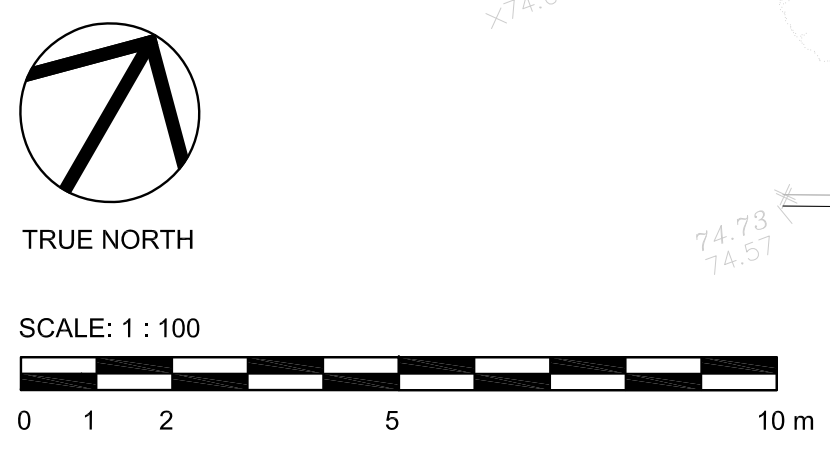
project

424 CHURCHILL AVE N., APARTMENT BUILDING

drawing

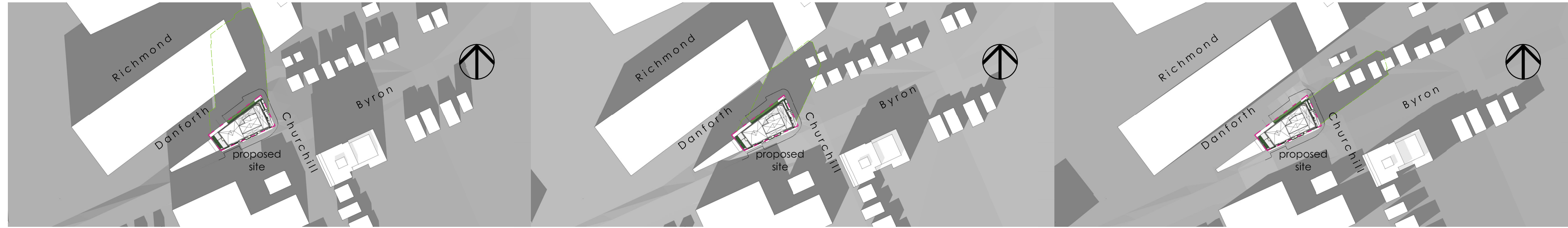
SITE PLAN - DEMOLITION

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	△
project no.	2109	scale	1:100
drawing no.	A004		



SURVEY INFORMATION TAKEN FROM SURVEY PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD., DATED DECEMBER 9, 2021, (AMENDED JULY 12, 2022) PROJECT NO. 17926, REFERENCE NO. 22329-21

December 21

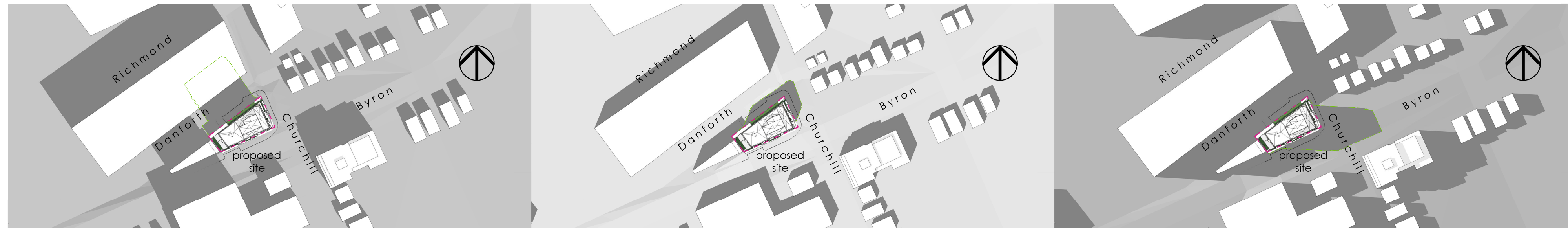


9 am

12 pm

2 pm

March 20

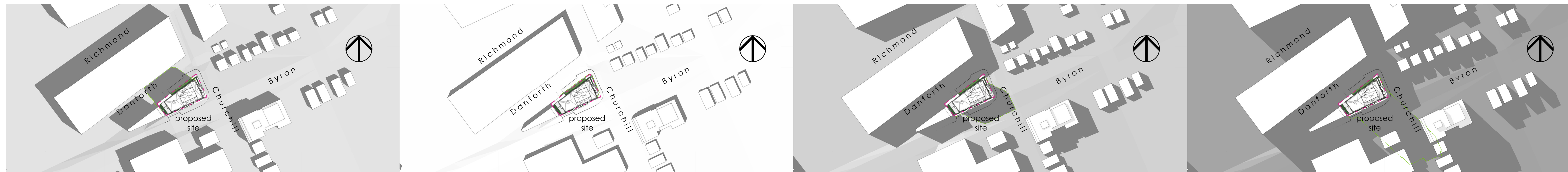


9 am

12 pm

4 pm

June 21



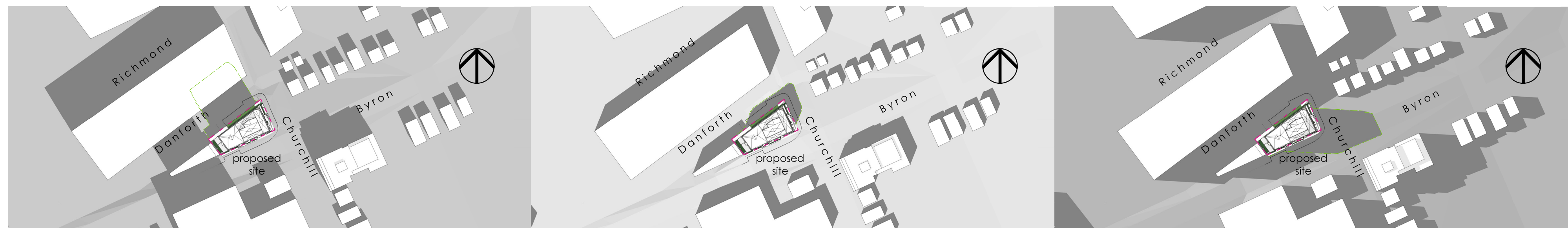
9 am

12 pm

4 pm

6 pm

September 22



9 am

12 pm

4 pm

CLIENT / OWNER :
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SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 2T6
613-727-0850

**NOISE, VIBRATION & WIND
ENGINEER :**
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
OTTAWA, ON K0A 1L0
613-836-0934

TRANSPORTATION ENGINEER :
CASTELGLEN CONSULTANTS INC.
2460 LANCASTER ROAD,
OTTAWA, ON K1B 4S5
613-731-4052

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rev. / issue	description	date MM/DD/YY

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project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

OPA open plan architects inc.
architecture | interiors | concepts

2305 HILLARY AVE. | OTTAWA | ON | K1H 7J2
613.883.5090 | info@openplan.ca

project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

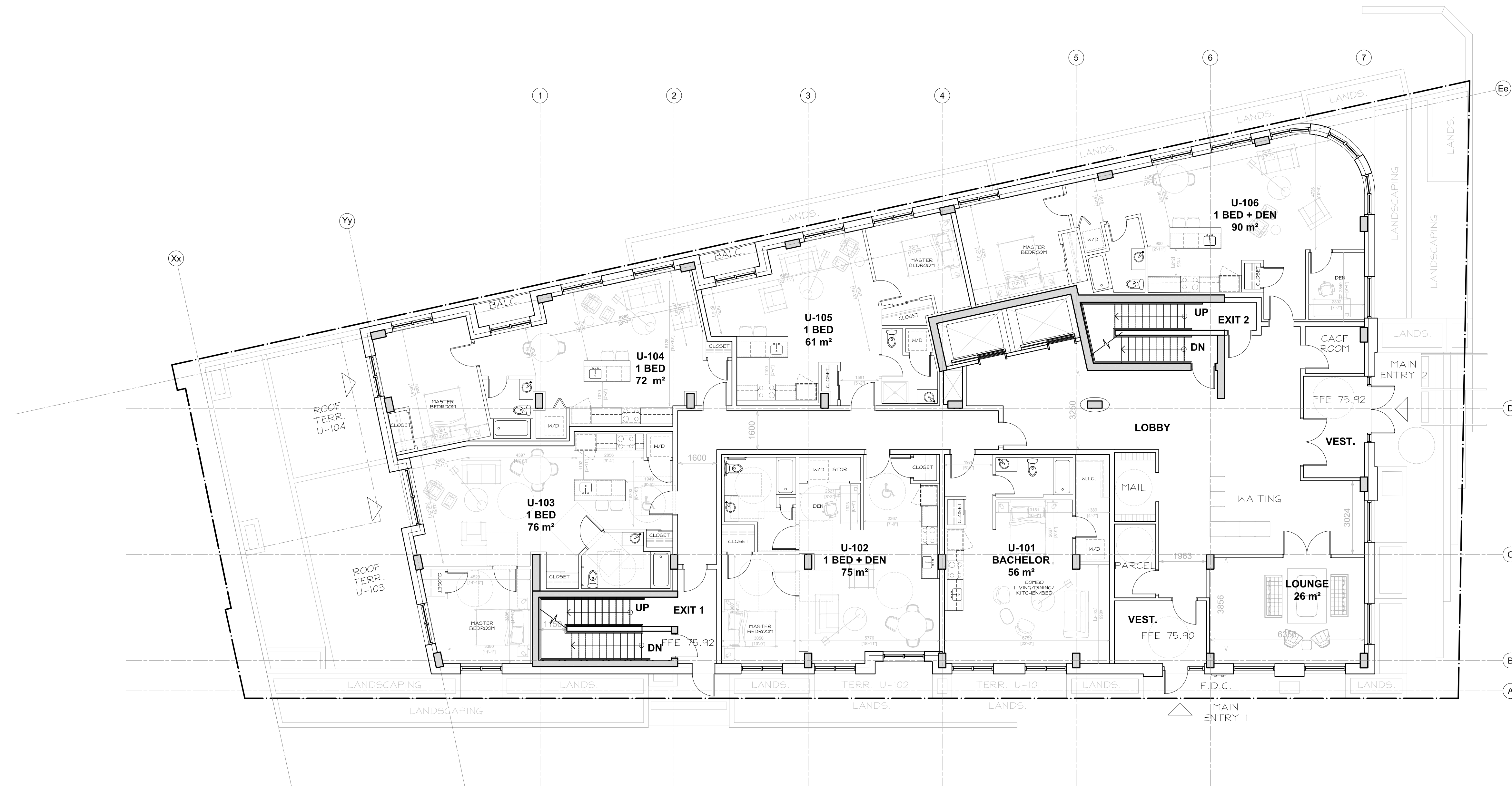
drawing

SHADOW ANALYSIS

drawn	KDB	date	2022-SEP-16
approved	KDB	revision	0
project no.	2109	scale	N.T.S.

drawing no.

A005



CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

ARCHITECT :
OPEN PLAN ARCHITECTS INC.
2305 HILLARY AVENUE,
OTTAWA, ON K1H 7J2
613-883-5090

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K2P 2H7
613-730-5709

**MECHANICAL, ELECTRICAL
& CIVIL ENGINEER :**
LRI ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 2Z56
613-727-0850

**NOISE, VIBRATION & WIND
ENGINEER :**
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
OTTAWA, ON K0A 1L0
613-836-0934

TRANSPORTATION ENGINEER :
CASTELGLEN CONSULTANTS INC.
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OTTAWA, ON K1B 4S5
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rev. / issue	description	date
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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

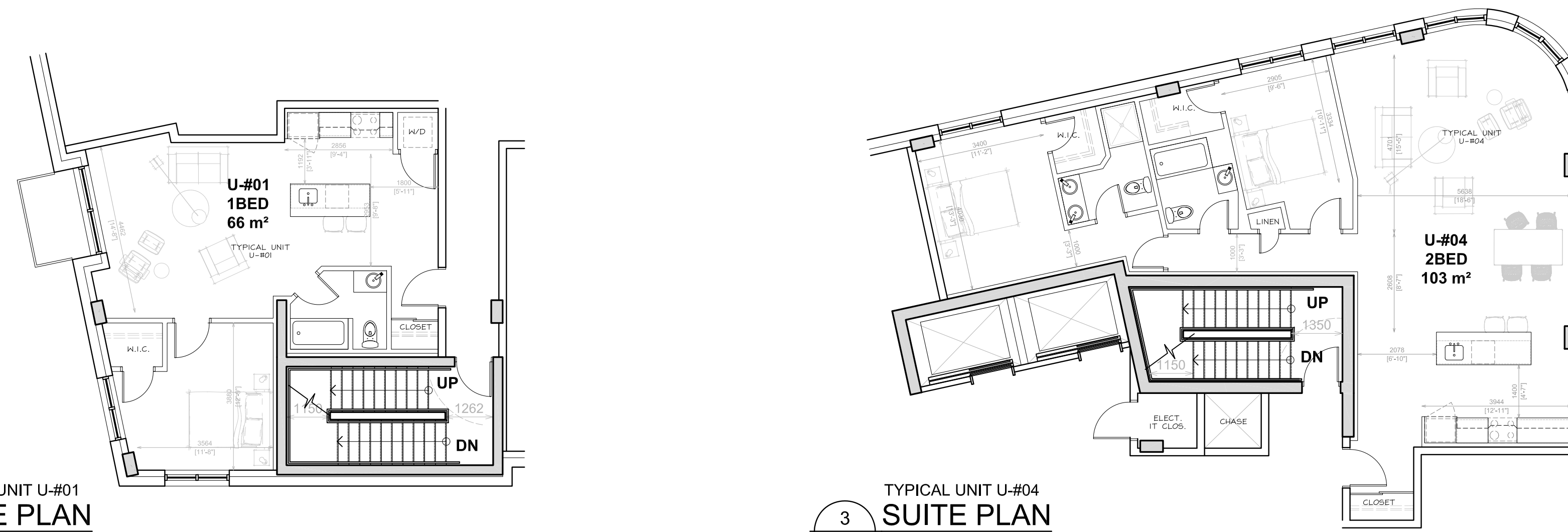
drawing

**FLOOR PLAN
GROUND LEVEL
(CONSIDERED 2ND LEVEL
BASED ON ZONING BYLAW)**

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1 : 100

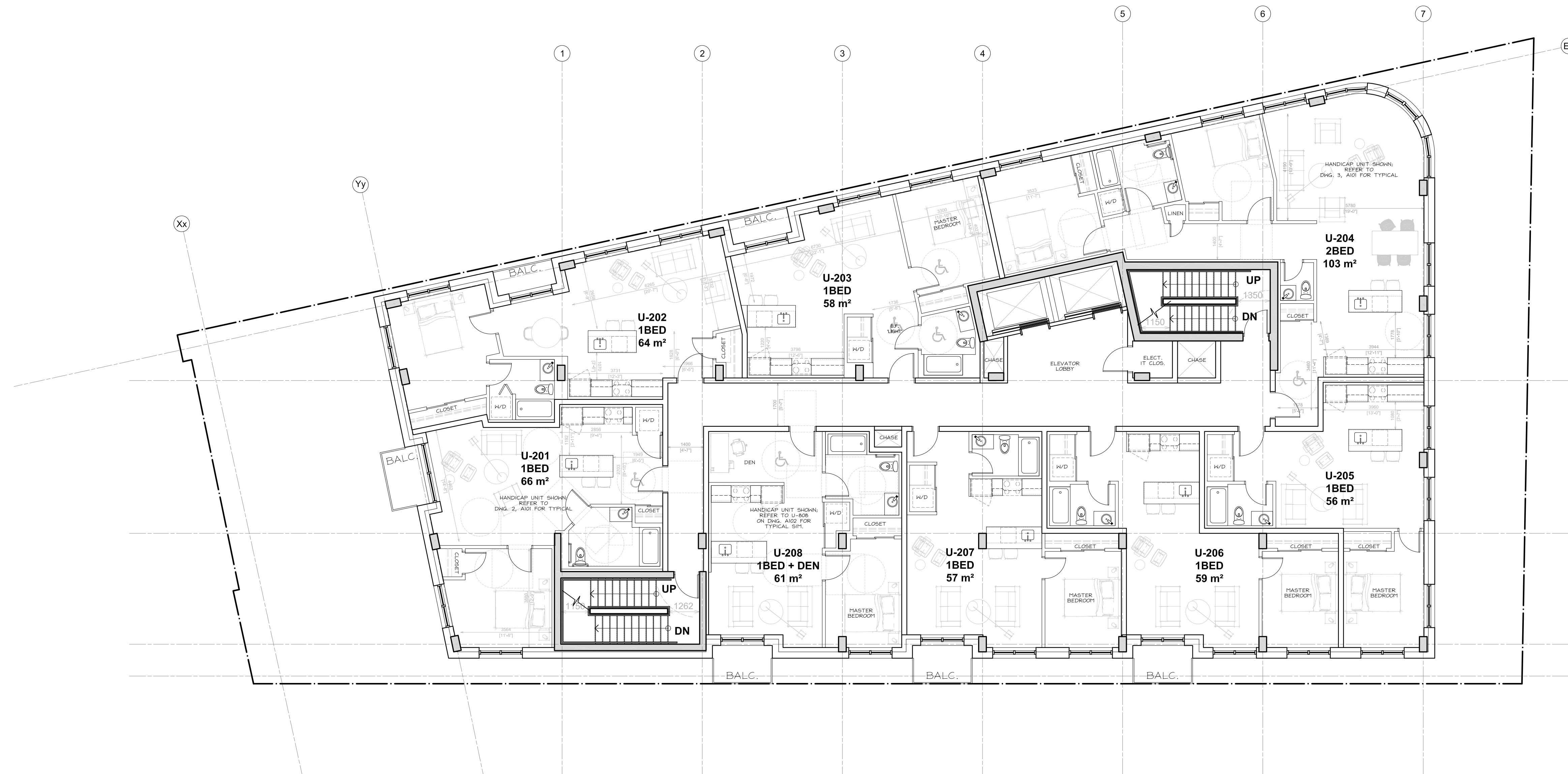
drawing no.

A100



2
A101
TYPICAL UNIT U-#01
SUITE PLAN
1: 100

3
A101
TYPICAL UNIT U-#04
SUITE PLAN
1: 100



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TORONTO, ON M1V 5M8
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LANDSCAPE ARCHITECT :
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613-883-5090

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613-727-0850

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2305 HILLARY AVENUE,
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613-883-5090

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613-730-5709

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MECHANICAL, ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

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<p>ONTARIO ASSOCIATION OF ARCHITECTS KRISTOPHER D. BENES LICENCE 6432</p>	<p>project north</p>
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613.883.5090 | info@openplan.ca

project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

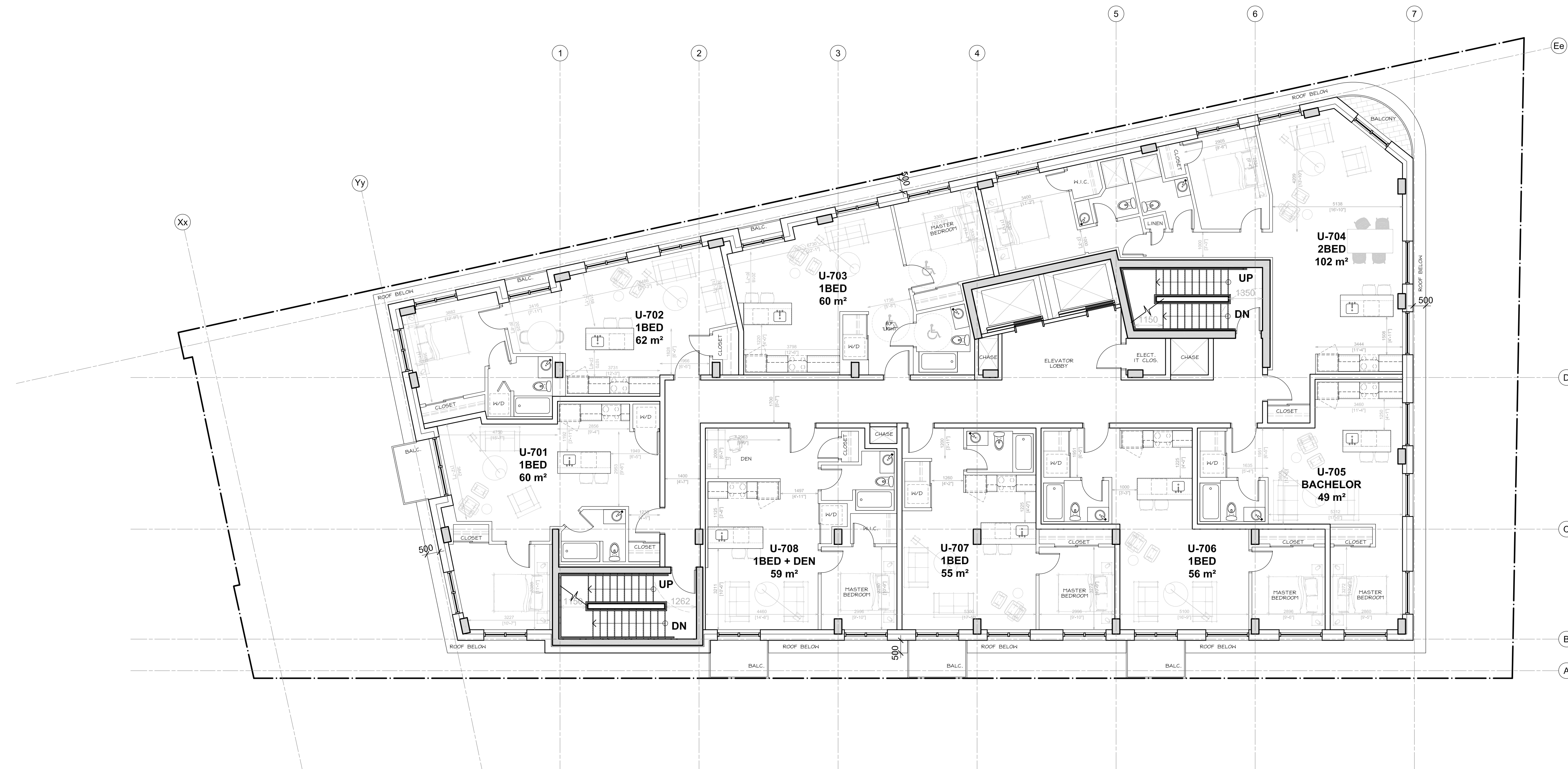
drawing

**FLOOR PLAN
TYPICAL LEVEL 2 TO 6
(CONSIDERED 3RD TO 7TH LEVELS
BASED ON ZONING BYLAW)**

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1: 100

drawing no.

A101



CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
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416-292-9920

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IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

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396 COOPER STREET, SUITE 300
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613-730-5709

SURVEYOR :
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613-727-0850

ARCHITECT :
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2305 HILLARY AVENUE
OTTAWA, ON K1H 7J2
613-883-5090

NOISE, VIBRATION & WIND ENGINEER :
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OTTAWA, ON K0A 1L0
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STRUCTURAL ENGINEER :
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333 PRESTON STREET, SUITE 110
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613-730-5709

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2460 LANCASTER ROAD
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613-731-4022

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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

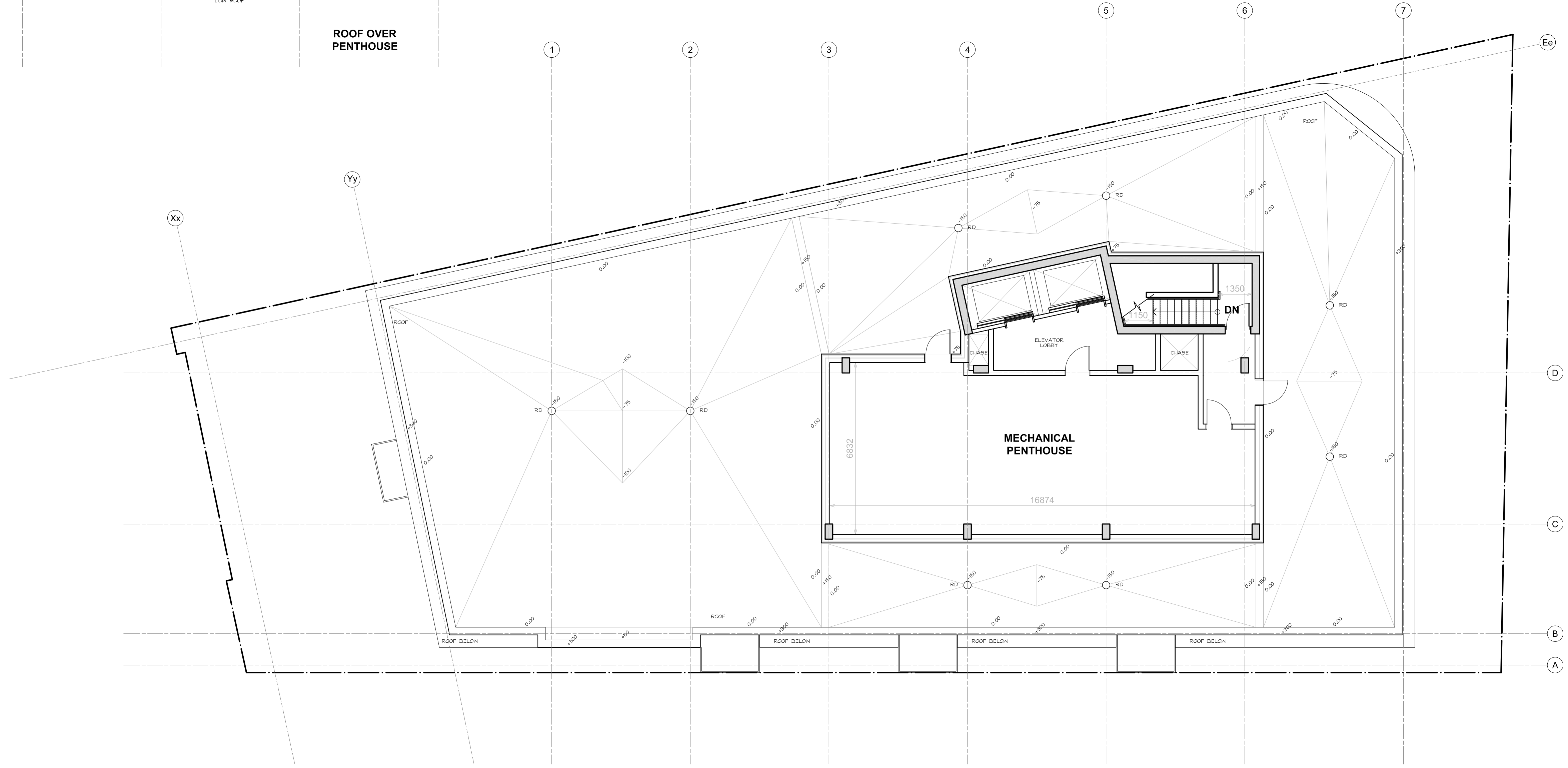
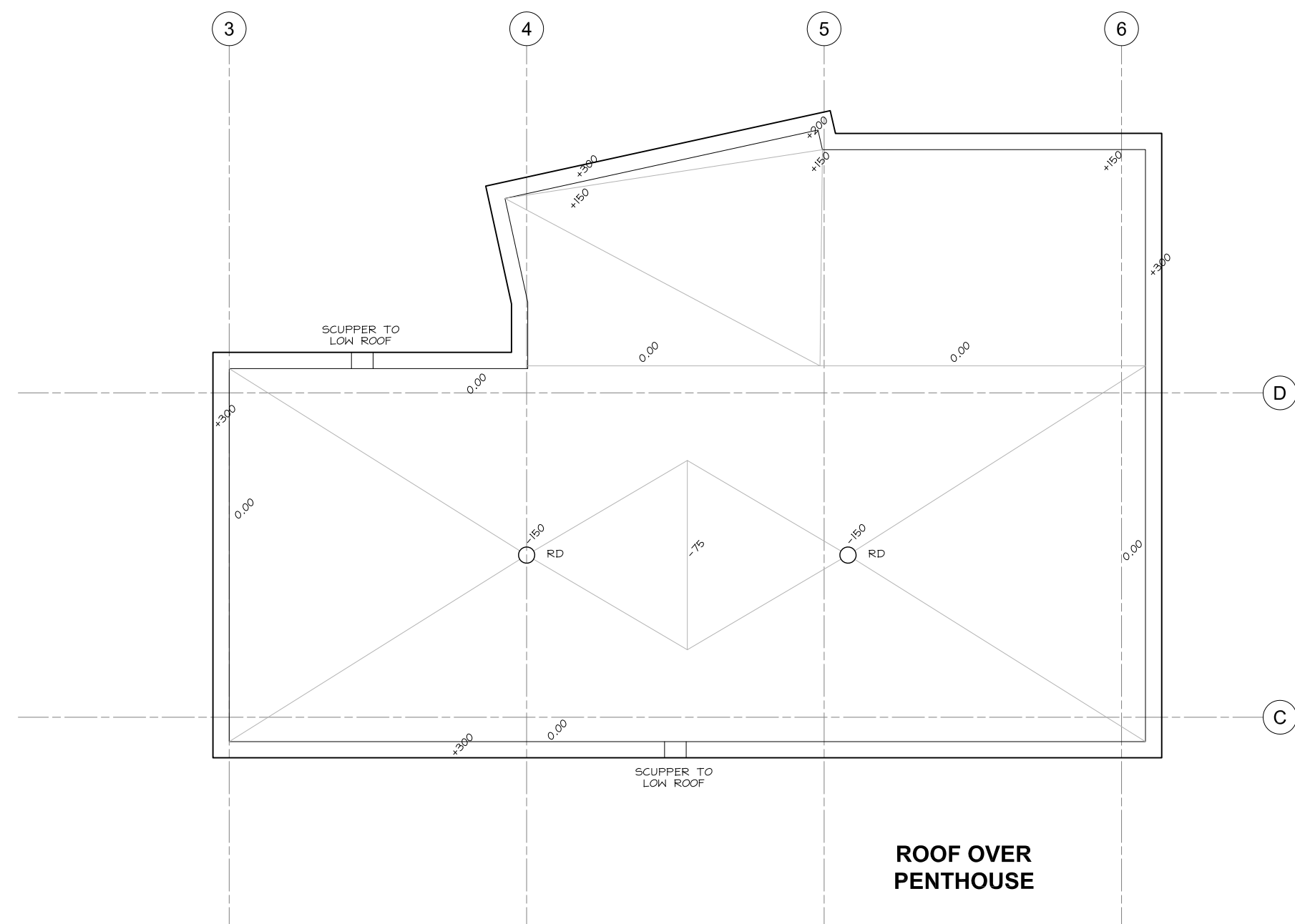
drawing

**7TH FLOOR
(CONSIDERED 8TH LEVEL
BASED ON ZONING BYLAW)**

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	0
project no.	2109	scale	1 : 100

drawing no.

A102



CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

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FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

ARCHITECT :
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613-883-5090

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K2P 2H7
613-730-5709

MECHANICAL, ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCOURSE GATE, SUITE 500
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613-727-0850

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613-836-0934

TRANSPORTATION ENGINEER :
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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

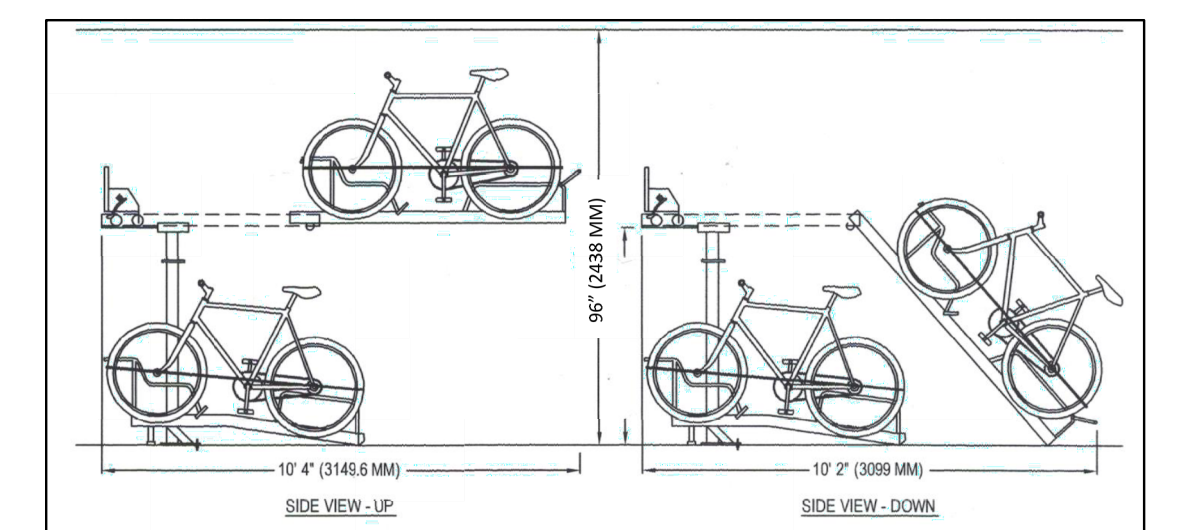
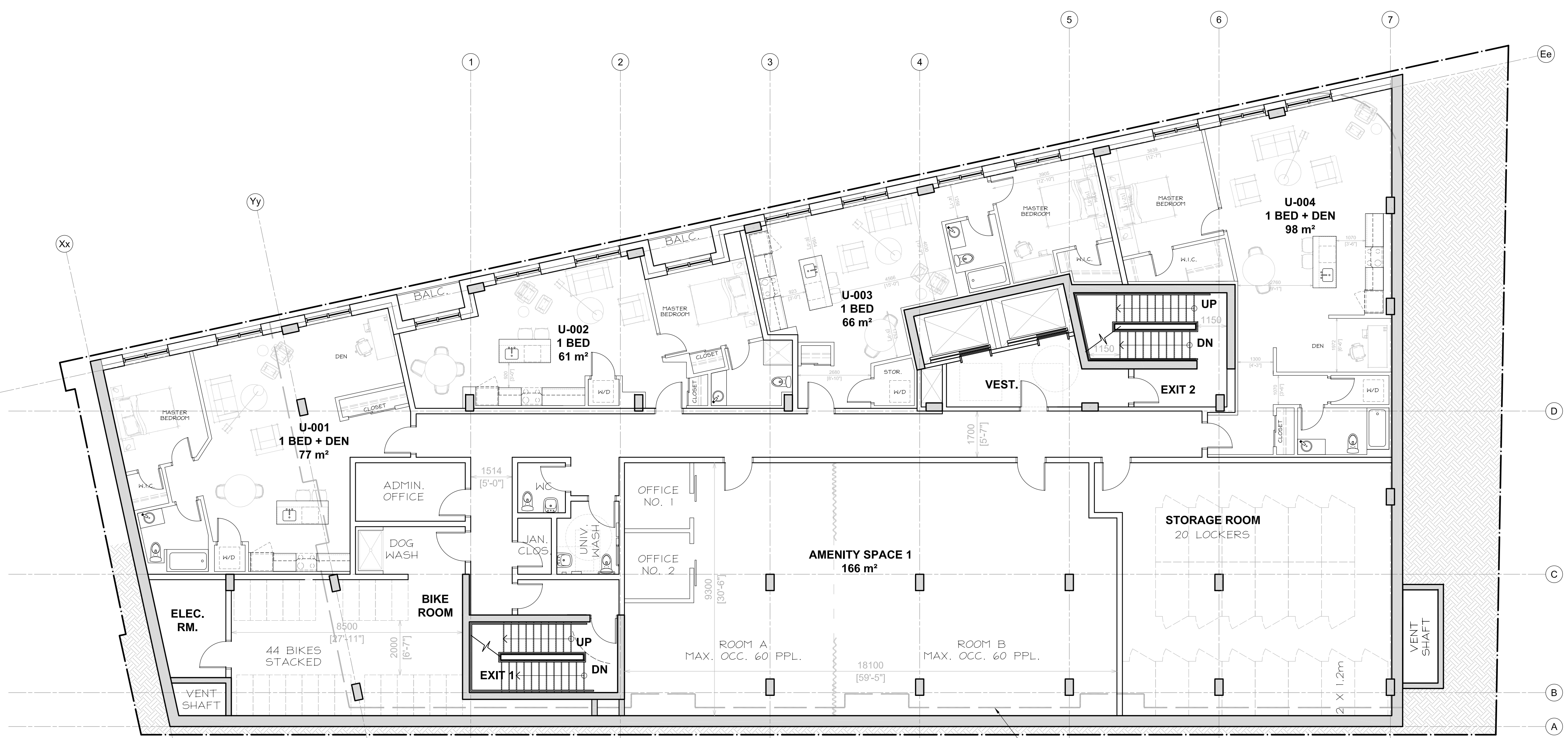
drawing

**FLOOR PLAN
PENTHOUSE**

drawn	KDB	date	2022-AUG-31
approved	KDB	revision	
project no.	2109	scale	1 : 100

drawing no.

A103



STACKED BICYCLE RACK DETAILS

LINE OF TOWER ABOVE

CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

ARCHITECT :
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2305 HILLARY AVENUE
OTTAWA, ON K1H 7J2
613-883-5090

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K2P 2H7
613-730-5709

MECHANICAL, ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
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OTTAWA, ON K2E 2T6
613-727-0850

NOISE, VIBRATION & WIND ENGINEER :
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
OTTAWA, ON K0A 1L0
613-836-0934

TRANSPORTATION ENGINEER :
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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

drawing

**FLOOR PLAN LEVEL B1
(CONSIDERED 1ST LEVEL
BASED ON ZONING BYLAW)**

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	1
project no.	2109	scale	1 : 100

drawing no.

A104

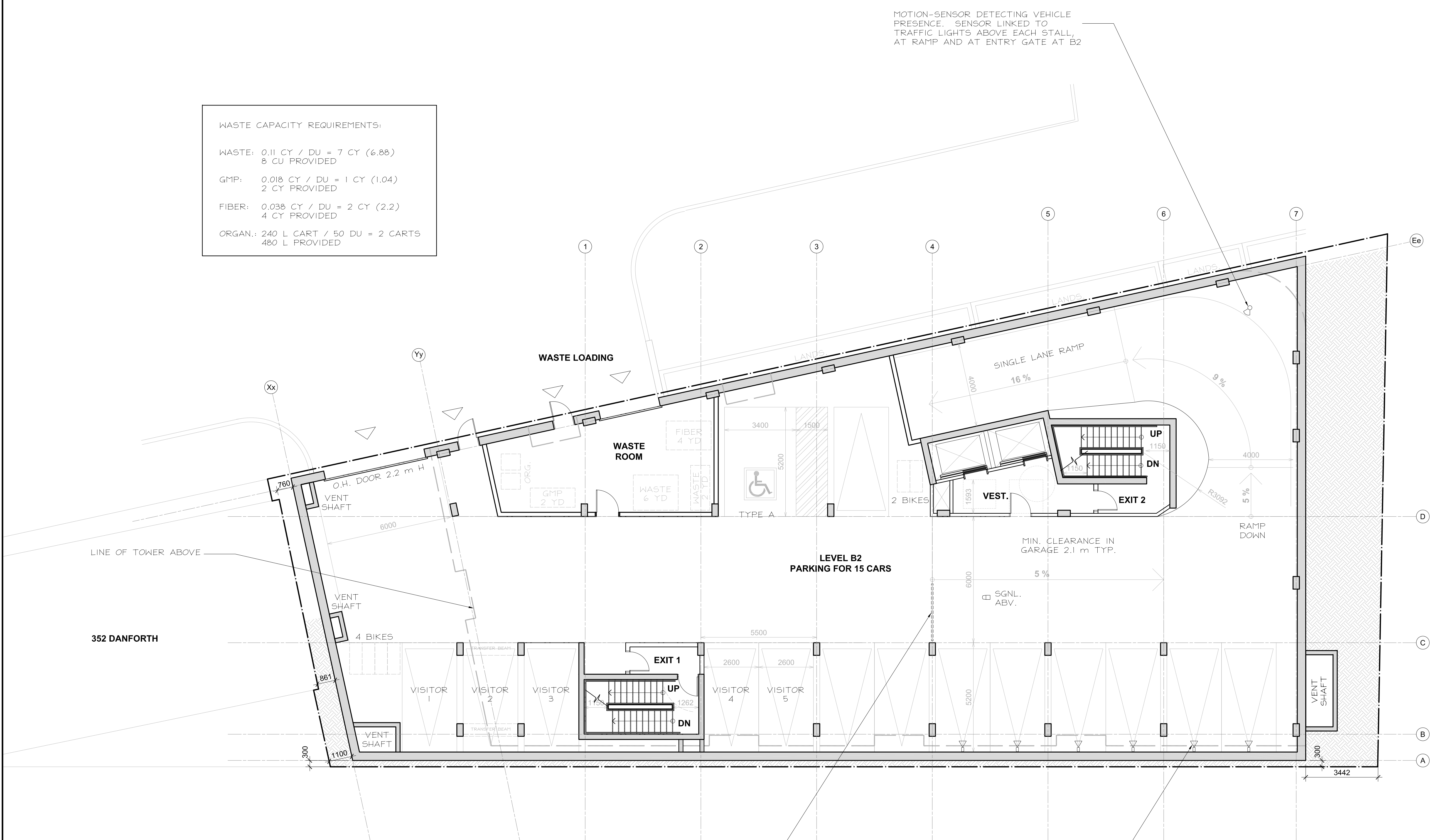
WASTE CAPACITY REQUIREMENTS:

WASTE: 0.11 CY / DU = 7 CY (6.88)
8 CU PROVIDED

GMP: 0.018 CY / DU = 1 CY (1.04)
2 CY PROVIDED

FIBER: 0.038 CY / DU = 2 CY (2.2)
4 CY PROVIDED

ORGAN.: 240 L CART / 50 DU = 2 CARTS
480 L PROVIDED



TRAFFIC CONTROL GATE AND SIGNAL TO INDICATE THAT THE RAMP IS BEING ASCENDED BY VEHICLE(S) FROM BELOW. ENTERING VEHICLES ARE PREVENTED FROM MOVING FORWARDS UNTIL THE GATE IS RAISED & SIGNAL IS GREEN.

SIGNAL ABOVE EACH SPACE IDENTIFYING BY GREEN & RED LIGHT WHETHER IT IS SAFE TO LEAVE THE STALL, TYPICAL

CLIENT / OWNER :
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5-145 SELECT AVE.
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519-585-2285

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396 COOPER STREET, SUITE 300
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613-730-5709

SURVEYOR :
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ARCHITECT :
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613-730-5709

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LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1S 5N4
613-651-9490

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KRISTOPHER D. BENES
LICENCE
6432

project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

drawing

**FLOOR PLAN
PARKING LEVEL B2**

drawn	KDB	date	2022-AUG-11
approved	KDB	revision	1
project no.	2109	scale	1:100

drawing no.

A105

CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
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WATERLOO, ON N2L 3V3
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CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
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SURVEYOR :
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GRADIENT WIND ENGINEERING
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OTTAWA, ON K0A 1L0
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333 PRESTON STREET, SUITE 110
OTTAWA, ON K2P 2H7
613-730-5709

TRANSPORTATION ENGINEER :
CASTLEGLAN CONSULTANTS INC.
2460 LANCASTER ROAD
OTTAWA, ON K1B 4S5
613-731-4022

MECHANICAL, ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD
OTTAWA, ON K1S 5N4
613-651-9490

01	ISSUED FOR OPA, ZBA & SPC	20 OCT. 2022
rev. / issue	description	date
		MM/DD/YY

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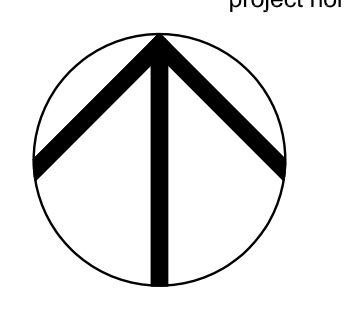
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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

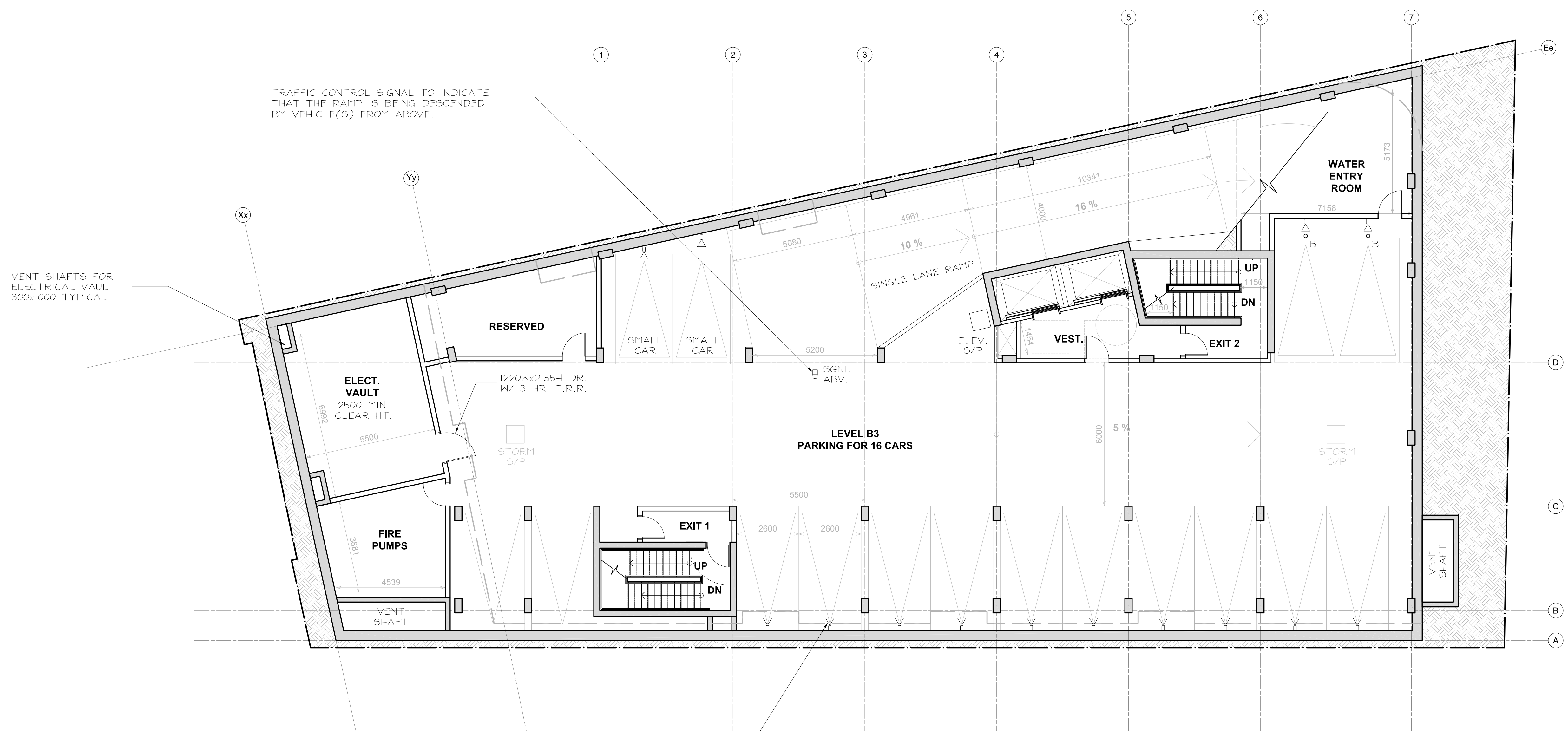
drawing

**FLOOR PLAN
PARKING LEVEL B3**

drawn	KDB	date	2022-AUG-11
approved	KDB	revision	1
project no.	2109	scale	1:200

drawing no.

A106



TRAFFIC CONTROL SIGNAL TO INDICATE THAT THE RAMP IS BEING DESCENDED BY VEHICLE(S) FROM ABOVE.

VENT SHAFTS FOR ELECTRICAL VAULT 300x1000 TYPICAL

SIGNAL ABOVE EACH SPACE IDENTIFYING BY GREEN & RED LIGHT WHETHER IT IS SAFE TO LEAVE THE STALL, TYPICAL



1
A200
SOUTH ELEVATION
1:125



2
A200
NORTH ELEVATION
1:125

- MATERIALS LEGEND :**
- METAL INTERLOCKING TILE CLADDING
 - BEIGE COLOURED (CONCRETE OR EIFS)
 - BEIGE COLOURED STRIATED BRICK / CONCRETE / EIFS

CLIENT / OWNER :
GSI SLOUGH STREET PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-853-5090

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 2T6
613-727-0850

ARCHITECT :
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OTTAWA, ON K1H 7J2
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NOISE, VIBRATION & WIND ENGINEER :
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
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STRUCTURAL ENGINEER :
D + M STRUCTURAL
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TRANSPORTATION ENGINEER :
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professional stamp

project north

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project

**424 CHURCHILL AVE N.,
APARTMENT BUILDING**

drawing

ELEVATIONS

drawn	KDB	date	2022-SEP-12
approved	KDB	revision	
project no.	2109	scale	1:125

drawing no.

A200



- MATERIALS LEGEND :**
- METAL INTERLOCKING TILE CLADDING
 - BEIGE COLOURED (CONCRETE OR EIFS)
 - BEIGE COLOURED STRIATED BRICK / CONCRETE / EIFS

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613-953-5090

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EAST ELEVATION
1
A201
1:125



WEST ELEVATION
2
A201
1:125

professional stamp

project north

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ELEVATIONS

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