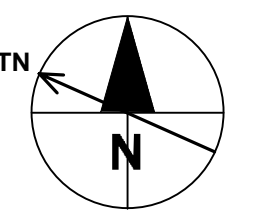


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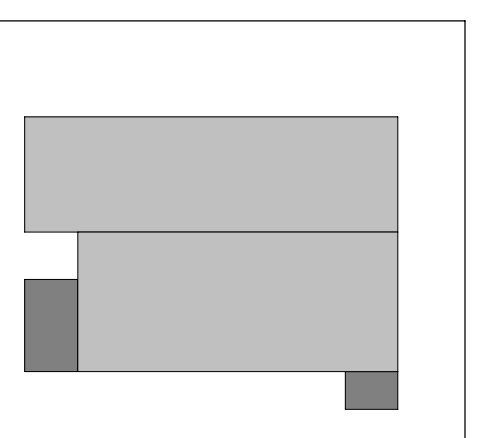
**REGISTRATION**



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I/R	DATE	DESCRIPTION

**KEY PLAN**



**PROJECT NUMBER**

60648725

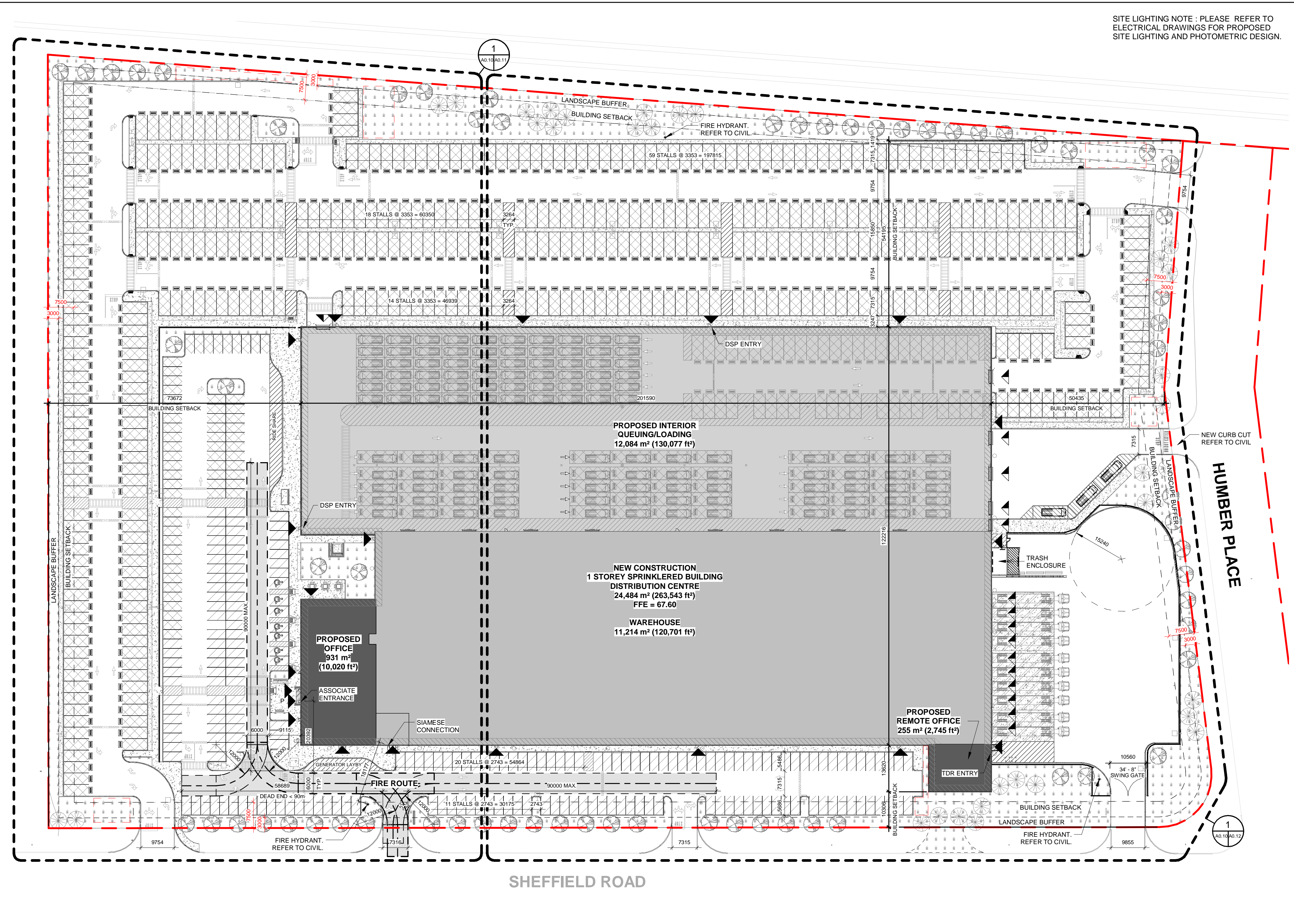
**SHEET TITLE**

SITE PLAN

**SHEET NUMBER**

A0.10

SITE LIGHTING NOTE: PLEASE REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING AND PHOTOMETRIC DESIGN.



**SITE PLAN LEGEND**

- PROPERTY LINE
- BUILDING SETBACK, DIMENSIONED AS SHOWN
- LANDSCAPE SETBACK, DIMENSIONED AS SHOWN
- PROPOSED ENTRANCE / EXIT DOOR
- PRIMARY ENTRANCE DOOR
- PROPOSED OVERHEAD DOOR
- FIRE ROUTE C/W REQUIRED SIGNAGE AS PER MUNICIPAL REQUIREMENTS
- PAINTED PEDESTRIAN WALKWAY
- SEMI-PERMANENT PRE-CAST CONCRETE JERSEY BARRIER, COORDINATE WITH CIVIL DRAWINGS
- NEW PAINTED PAVEMENT MARKINGS, REFER TO SITE GRAPHICS DETAILS.
- NEW PAINTED TRAFFIC CONTROL MARKING.
- NEW PAINTED PARKING ISLAND, COORDINATE WITH OTHER DISCIPLINES.
- NEW SPEED BUMP, FINAL POSITION TO BE CONFIRMED BY TENANT.
- NEW LANDSCAPED AREA, REFER TO LANDSCAPE DRAWINGS
- NEW TACTILE STRIP, REFER TO CIVIL.
- NEW ASPHALT, REFER TO CIVIL.

**PROPERTY BOUNDARIES**  
 PROPERTY BOUNDARY INFORMATION SHOWN HEREIN IS DERIVED FROM GIS AND FIELD OBSERVATIONS AND REGISTERED PLANS SR-12728 DATED MAY 25, 1989 AS WELL AS REF NO. 8-783 GR DATED NOV 12, 1982. ALL DIMENSIONS ARE APPROXIMATE. THIS DOCUMENT IN ITSELF CAN NOT BE USED TO ESTABLISH PROPERTY LIMITS.

- LINE PAINTING GENERAL NOTES**
- PARKING STALL, QUEUING STALL, AND LOADING STALL LINES SHALL BE IDENTIFIED WITH 102 MM (4") WIDE WHITE PAINTED LINE.
  - BARRIER FREE ACCESSIBLE PARKING STALLS SHALL BE IDENTIFIED WITH APPROPRIATE SYMBOL DESIGNATION AND IN ACCORDANCE WITH THE OWNER REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION.
  - REFER TO SITE SIGNAGE AND SITE GRAPHIC DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS FOR PAVEMENT GRAPHIC AND PEDESTRIAN CROSS WALKS.
  - PAINTED ISLAND STALLS AND CURBED ISLANDS TO BE UTILIZED AS SNOW STORAGE LOCATIONS.

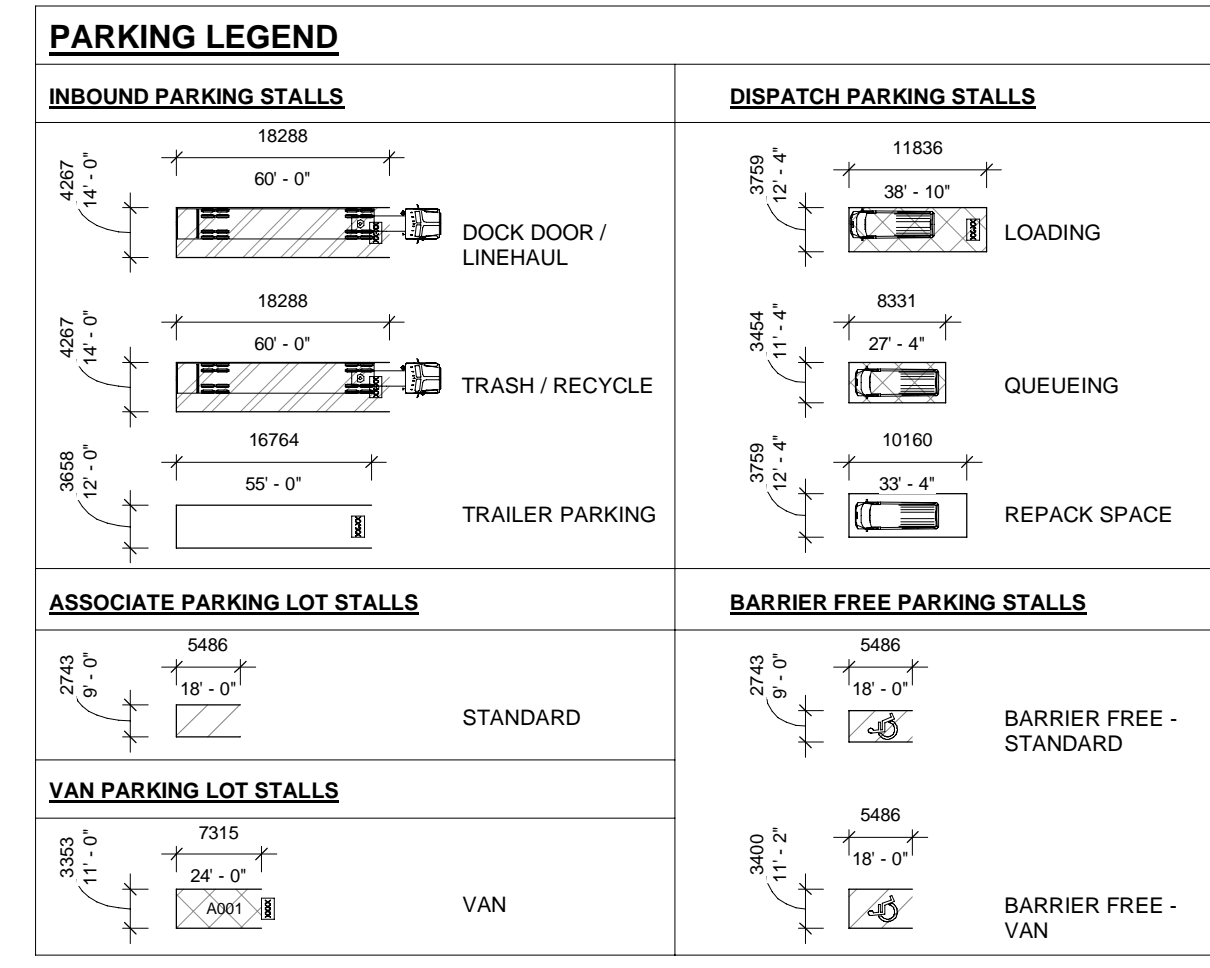
**SITE DATA TABLE - ZONED IH (HEAVY INDUSTRIAL)**

	REQUIRED BY ZONING	PROPOSED
BUILDING HEIGHT	22.0m MAX.	13.95m
FLOOR SPACE INDEX (GFA / SITE AREA)	MAX. OF 2	0.35
BUILDING SETBACKS FRONT & CORNER YARD	7.5m MIN.	10.3m
BUILDING SETBACKS SIDE YARD	7.5m MIN.	50.4m
LANDSCAPE BUFFER STRIP	3.0m MIN.	3.0m
OUTSIDE STORAGE	*STORAGE YARD PERMITS THE STORAGE OF VEHICLES	VAN PARKING ONLY
GROSS FLOOR AREA (GFA) INCLUDING MEZZANINE SPACE	***	24,484 m <sup>2</sup>
LOT AREA	4,000 m <sup>2</sup> MIN.	EXISTING TO REMAIN (70,635 m <sup>2</sup> )
TOTAL PARKING SPACES REQUIRED	118 STANDARD SPACES	251 STANDARD SPACES
	0.8 / 100m <sup>2</sup> FOR FIRST 5000m <sup>2</sup> GFA	491 (446 + 45) VAN SPACES
	0.4 / 100m <sup>2</sup> ABOVE 5000m <sup>2</sup> GFA	<b>742 TOTAL SPACES</b>
TOTAL ACCESSIBLE PARKING SPACES REQUIRED	3 (TYPE A) SPACES MIN.	3 (TYPE A) SPACES
	4 (TYPE B) SPACES MIN.	4 (TYPE B) SPACES
LOADING SPACE (MIN. 3.5m x 10m)	MIN. 3 LOADING SPACES	10 LOADING DOORS
BICYCLE PARKING	1 / 2000M <sup>2</sup> GFA = 12.22 TOTAL	17 SPACES
LANDSCAPE AREA	N/A	10.8%
HARD SURFACE AREA	N/A	54.6%

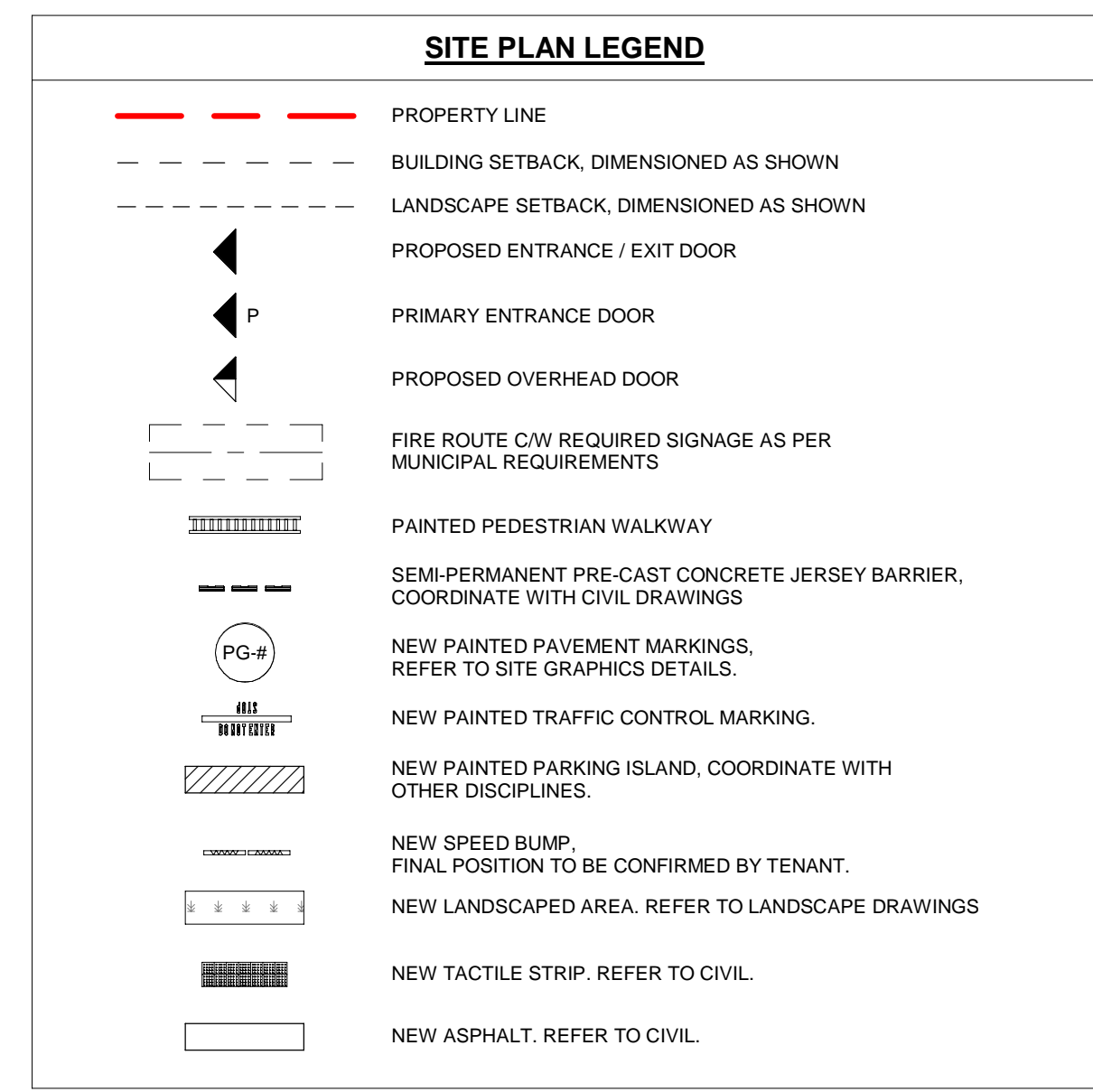
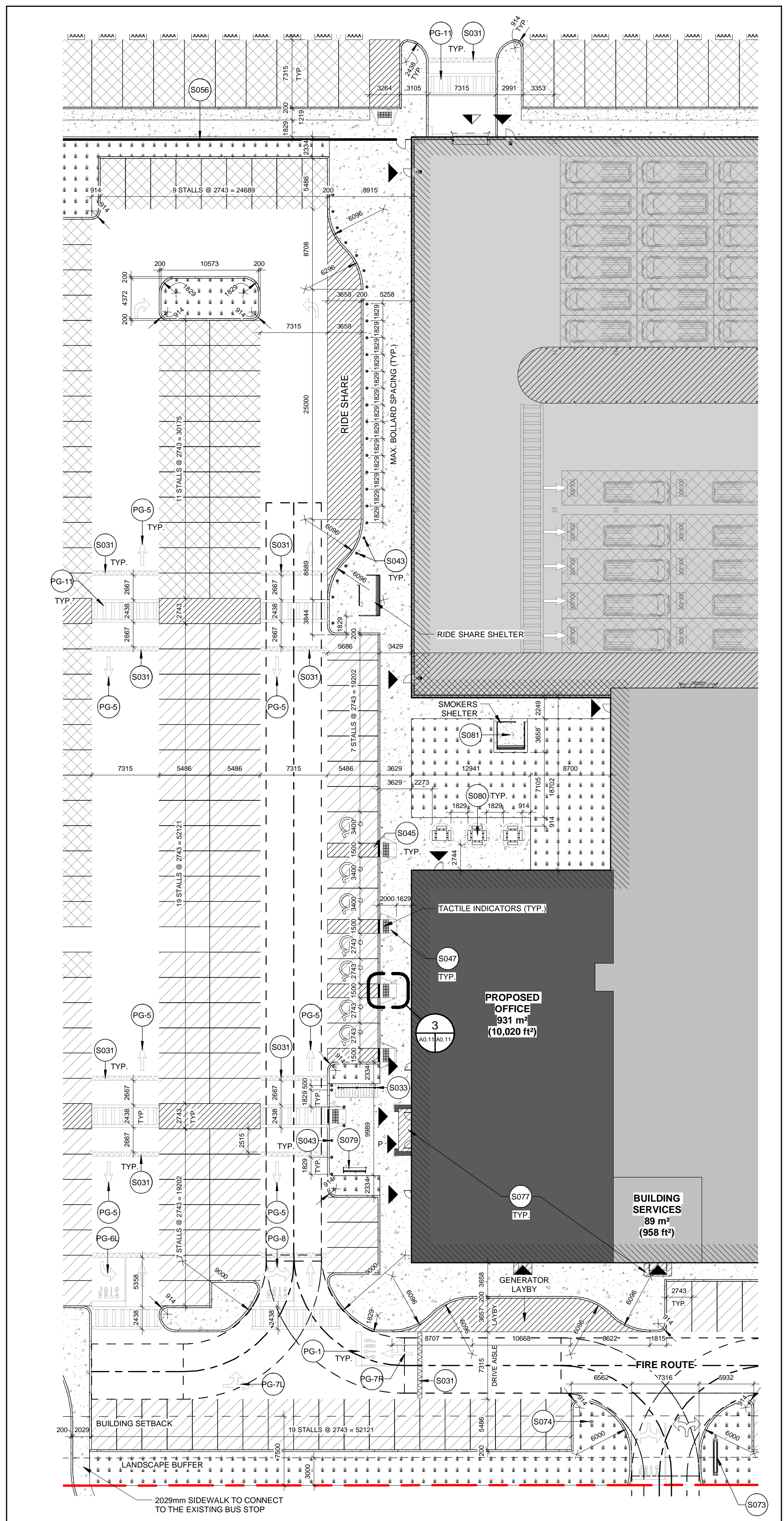
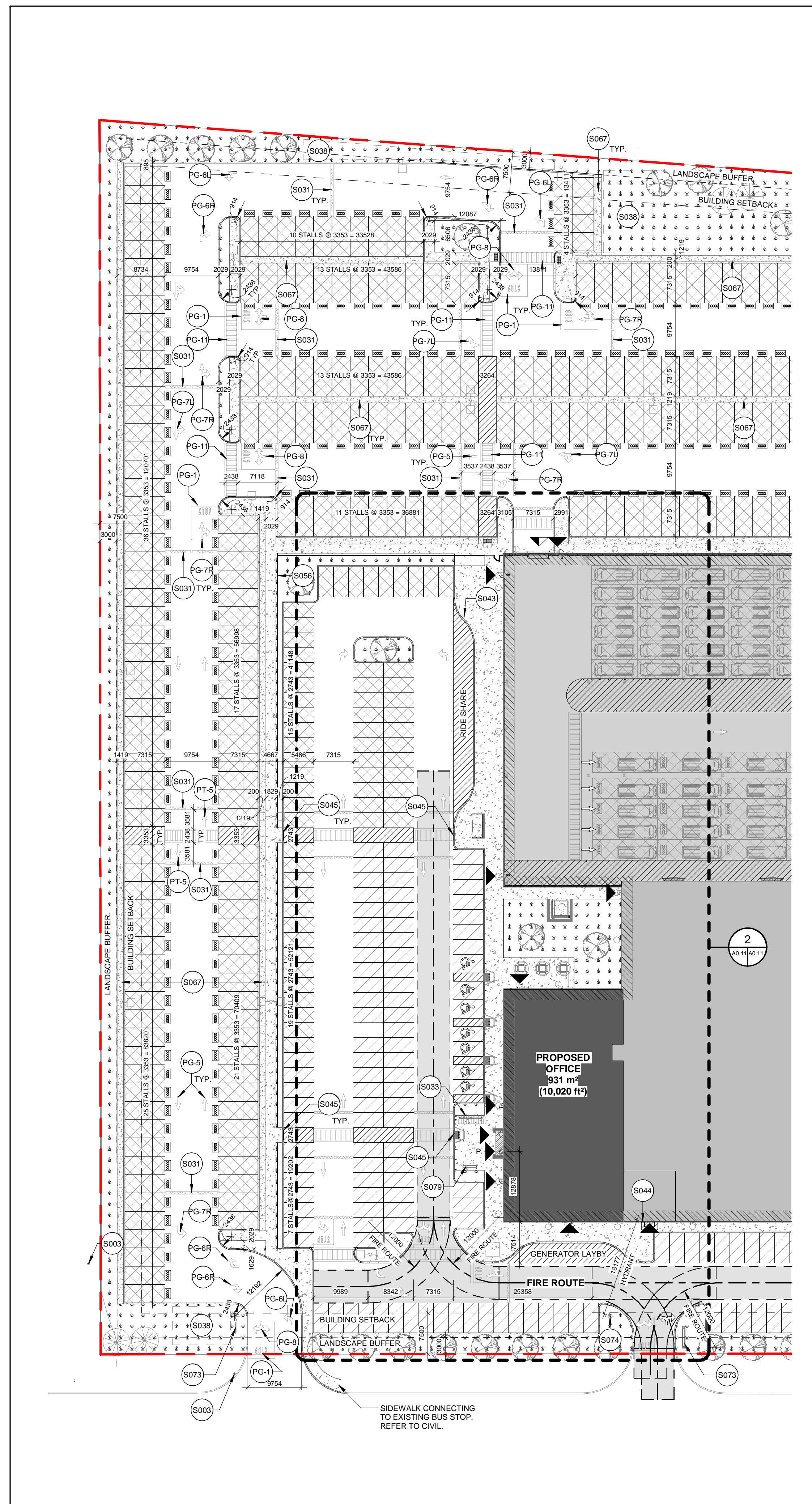
1 SITE PLAN - OVERALL  
 1: 650

**SITE PLAN - PARKING SCHEDULE NEW**

PATTERN	PARKING STALLTYPE	PARKING SPACE USAGE	PROPOSED
EXTERIOR	INDUCT	LINE HAUL LOADING - 17.7m x 3.6m (58'-0" x 12'-0")	10
	STANDARD	STANDARD TYPICAL - 5.6m x 2.7m (18'-4" x 9'-0")	251
	BARRIER-FREE	TYPE A (MIN. 3400mm WIDE)	3
	BARRIER-FREE	TYPE B (MIN. 2400mm WIDE)	4
	VAN	VAN - 8.2m x 3.4m (27'-0" x 11'-0")	446
	REPACKING	STANDARD TYPICAL - 5.6m x 2.7m (18'-4" x 9'-0")	3
EXTERIOR: 717			
INTERIOR	LOADING	VAN LOADING - 11.6m x 3.7m (38'-3" x 12'-3")	60
	STAGING	VAN STAGING - 8.2m x 3.4m (27'-0" x 11'-0")	60
	VAN	VAN - 8.2m x 3.4m (27'-0" x 11'-0")	46
INTERIOR: 165			



NOT FOR CONSTRUCTION



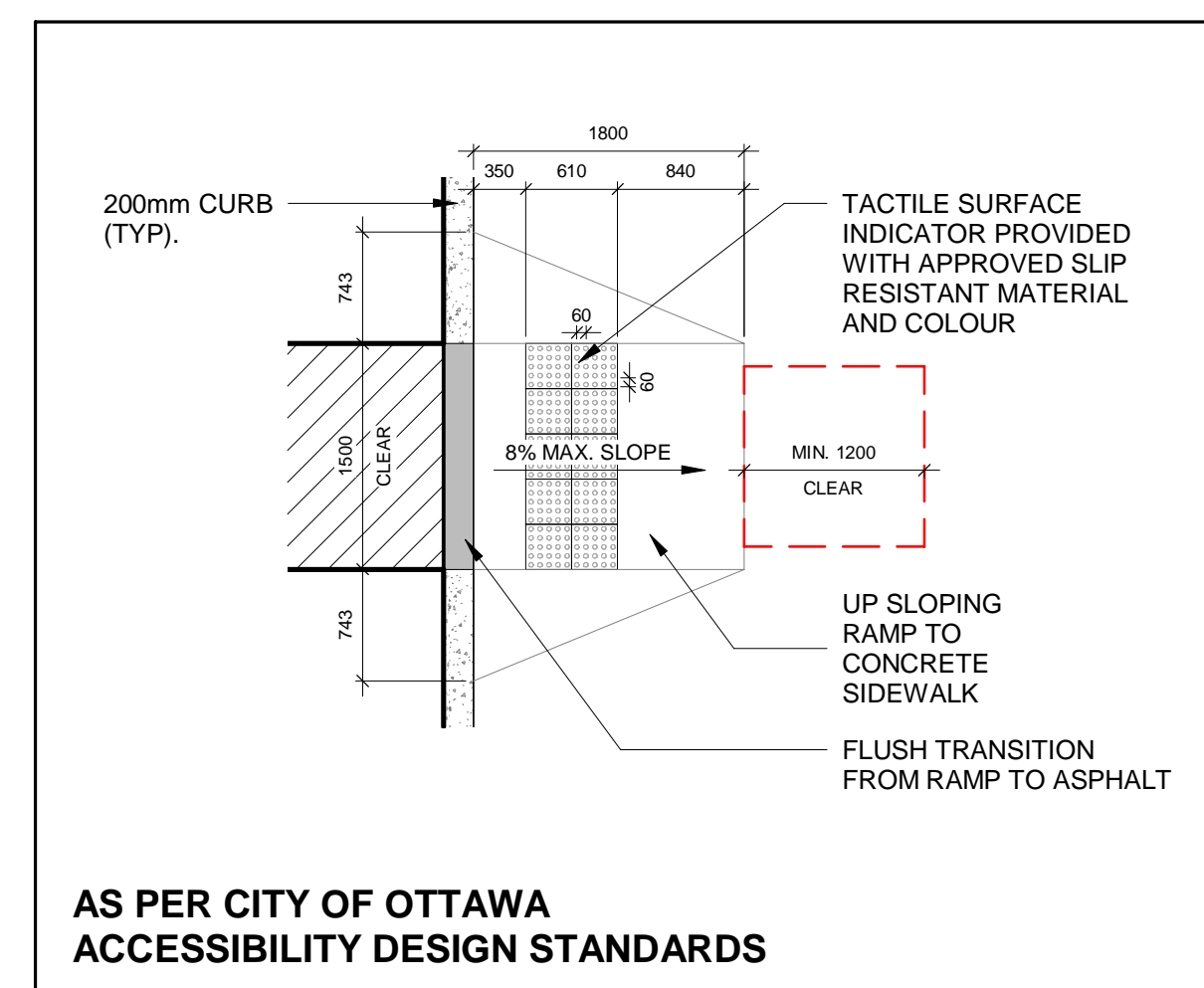
**KEYNOTE LEGEND**

TAG	DESCRIPTION
S003	EXISTING HYDRANT TO REMAIN.
S031	NEW ASPHALT SPEED BUMP, PER OWNER STANDARDS, TYPICAL AS SHOWN, REFER TO CIVIL.
S033	NEW BIKE RACK, SUPPLIED AND INSTALLED BY GC. BOLTED DOWN TO CONCRETE USING MANUFACTURER SPECIFIED FASTENERS, TYPICAL AS SHOWN.
S038	PROPOSED AREA FOR SNOW STORAGE.
S043	NEW EXTERIOR 152mm (6") DIA. PAINTED STEEL BOLLARD WITH CONCRETE FILL, TYPICAL AS SHOWN, REFER TO STRUCTURAL AND SPECIFICATIONS.
S044	NEW SIAMENSE CONNECTION, REFER TO MECHANICAL.
S045	PROVIDE NEW CURB DEPRESSION, REFER TO CIVIL, REFER TO DETAIL 3/A0.13, TYP. AT ALL PEDESTRIAN SIDEWALK TRANSITIONS.
S047	NEW BARRIER FREE RAMP, COORDINATE WITH ALL DISCIPLINES.
S056	NEW 2440mm(8') HIGH CHAIN LINK FENCE, BLACK, C/W 3 STRAND BARB WIRE AT THE TOP, ALL BOUNDARY FENCING TO BE PLACED ON PROPERTY LINE, SHOWN OFFSET FOR CLARITY, IN ALL INSTANCES WHERE RETAINING WALLS ARE PROVIDED, CONTRACTOR TO JOG FENCING TO PROVIDED CAP FENCING.
S067	1.2m (4'-0") WIDE CONCRETE PAD FOR FUTURE EV CHARGING EQUIPMENT, FLUSH WITH TOP OF CURB OR ASPHALT, COORDINATE WITH OTHER DISCIPLINES.
S073	MONUMENT OR PYLON SIGN, REFER TO EXTERIOR SIGNAGE SHEETS
S074	NEW HYDRANT, REFER TO CIVIL DRAWINGS.
S077	PROVIDE FROST SLAB TO MATCH EXISTING ADJACENT DOOR THRESHOLD, REFER TO CIVIL.
S079	NEW BENCH, SUPPLIED AND INSTALLED BY GC, REFER TO SPECIFICATIONS.
S080	NEW PICNIC TABLE, SUPPLIED AND INSTALLED BY GC, REFER TO SPECIFICATIONS.
S081	NEW CONCRETE PAD, REFER TO STRUCTURAL.

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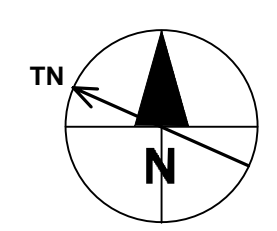


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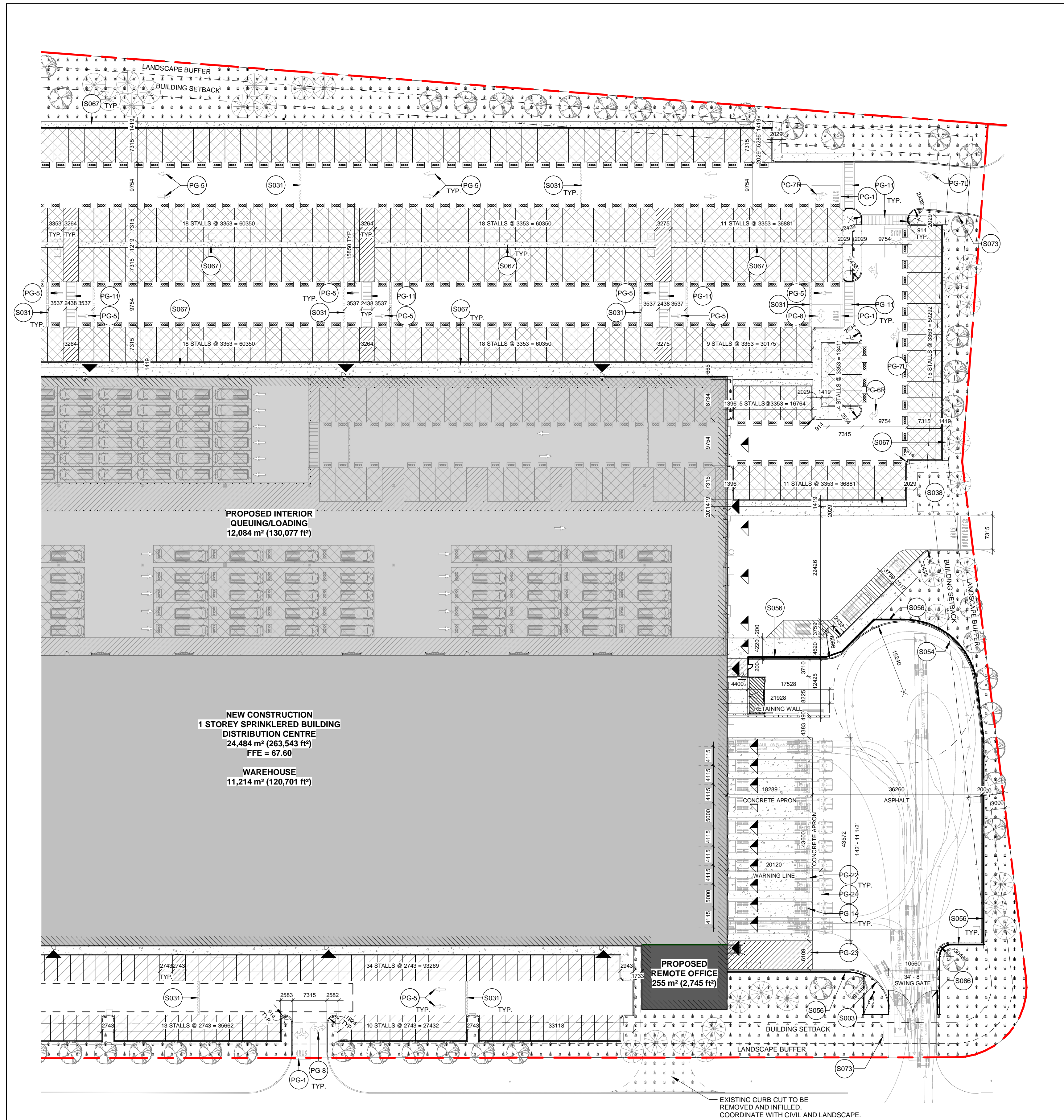
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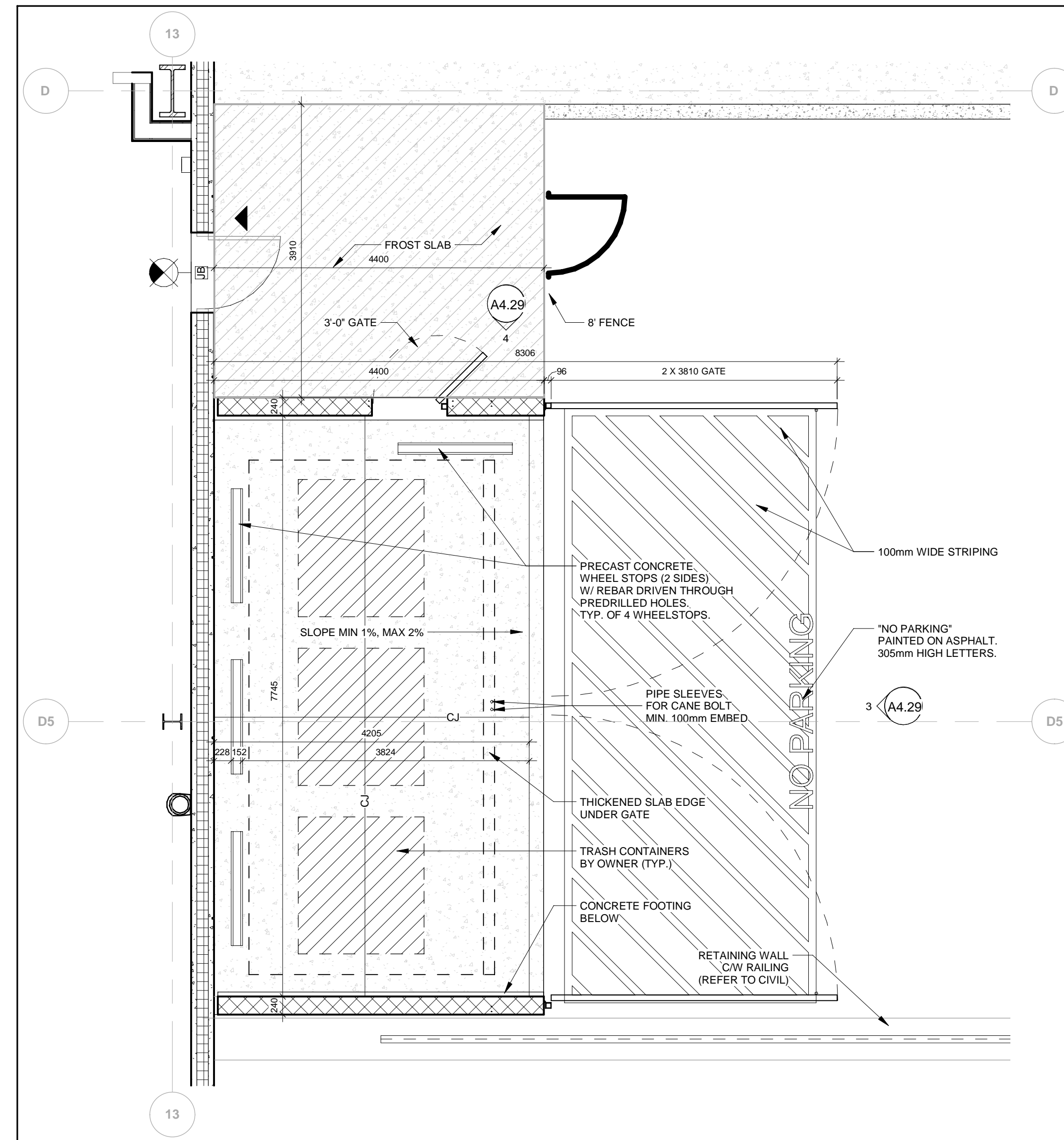
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**NOT FOR CONSTRUCTION**



1 SITE PLAN - ENLARGED  
A0.10 A0.12 1 : 500



2 SITE PLAN - ENLARGED - TRASH ENCLOSURE  
A0.12 1 : 50

KEYNOTE LEGEND	
TAG	DESCRIPTION
S003	EXISTING HYDRANT TO REMAIN.
S031	NEW ASPHALT SPEED BUMP. PER OWNER STANDARDS. TYPICAL AS SHOWN. REFER TO CIVIL.
S038	PROPOSED AREA FOR SNOW STORAGE.
S054	NEW CONCRETE CURBING. REFER TO CIVIL DRAWINGS.
S056	NEW 2440mm(8') HIGH CHAIN LINK FENCE. BLACK, C/W 3 STRAND BARE WIRE AT THE TOP. ALL BOUNDARY FENCING TO BE PLACED ON PROPERTY LINE. SHOWN OFFSET FOR CLARITY. IN ALL INSTANCES WHERE RETAINING WALLS ARE PROVIDED, CONTRACTOR TO JOG FENCING TO PROVIDED CAP FENCING.
S067	1.2m (4'-0") WIDE CONCRETE PAD FOR FUTURE EV CHARGING EQUIPMENT. FLUSH WITH TOP OF CURB OR ASPHALT. COORDINATE WITH OTHER DISCIPLINES.
S073	MONUMENT OR PYLON SIGN. REFER TO EXTERIOR SIGNAGE SHEETS.
S086	NEW 2438mm HIGH GALVANIZED MANUAL SWING GATES WITH DROP ROD AND LOCKING HARDWARE. PROVIDE GATE WITH RUBBER ROLLERS OR TIRE. IN-GROUND TRACK SYSTEMS ARE NOT ALLOWED.

SITE PLAN LEGEND	
	PROPERTY LINE
	BUILDING SETBACK, DIMENSIONED AS SHOWN
	LANDSCAPE SETBACK, DIMENSIONED AS SHOWN
	PROPOSED ENTRANCE / EXIT DOOR
	PRIMARY ENTRANCE DOOR
	PROPOSED OVERHEAD DOOR
	FIRE ROUTE C/W REQUIRED SIGNAGE AS PER MUNICIPAL REQUIREMENTS
	PAINTED PEDESTRIAN WALKWAY
	SEMI-PERMANENT PRE-CAST CONCRETE JERSEY BARRIER, COORDINATE WITH CIVIL DRAWINGS
	NEW PAINTED PAVEMENT MARKINGS. REFER TO SITE GRAPHICS DETAILS.
	NEW PAINTED TRAFFIC CONTROL MARKING.
	NEW PAINTED PARKING ISLAND, COORDINATE WITH OTHER DISCIPLINES.
	NEW SPEED BUMP. FINAL POSITION TO BE CONFIRMED BY TENANT.
	NEW LANDSCAPED AREA. REFER TO LANDSCAPE DRAWINGS
	NEW TACTILE STRIP. REFER TO CIVIL.
	NEW ASPHALT. REFER TO CIVIL.

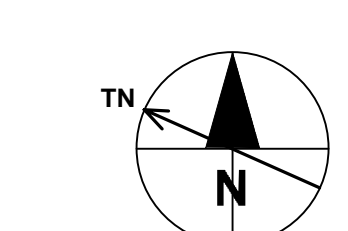
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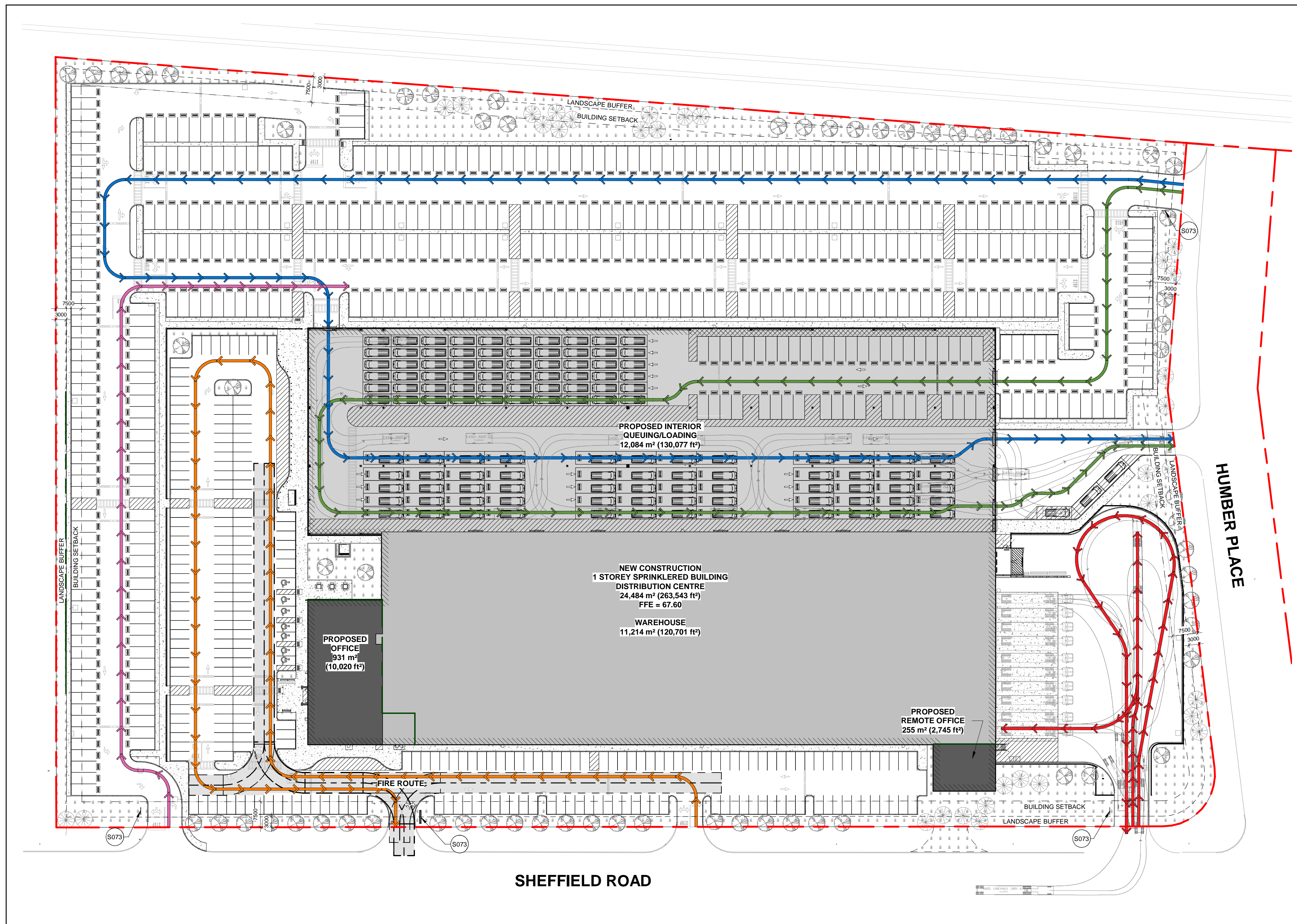
60648725

SHEET TITLE

SITE PLAN - ENLARGED - EAST

SHEET NUMBER

A0.12



1 SITE PLAN - TRAFFIC FLOW  
1 : 850

**DRAWING LEGEND**

- ASSOCIATE TRAFFIC FLOW DIRECTION
- DSP / FLEX TRAFFIC FLOW DIRECTION
- DSP / FLEX RETURN TRAFFIC FLOW DIRECTION
- TRUCK TRAFFIC FLOW DIRECTION
- VAN PERSONAL TRAFFIC FLOW DIRECTION
- DENOTES MUNICIPAL PROPERTY LINE
- DENOTES REQUIRED BUILDING SETBACK
- DENOTES REQUIRED LANDSCAPE SETBACK
- PROPOSED FIRE ROUTE BASED ON PROVINCIAL BUILDING CODE AND MUNICIPAL REQUIREMENTS
- PEDESTRIAN PATH OF TRAVEL
- SEMI-PERMANENT BARRIER SYSTEM
- TRAFFIC CONTROL MARKINGS
- SPEED BUMP AND SPEED HUMP

**KEYNOTE LEGEND**

TAG	DESCRIPTION
S073	MONUMENT OR PYLON SIGN, REFER TO EXTERIOR SIGNAGE SHEETS

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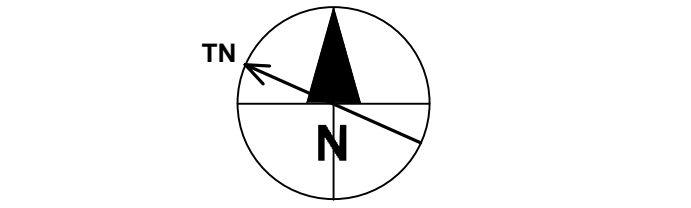
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**PROJECT**  
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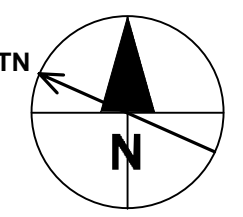
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**PROJECT NUMBER**  
60648725

**SHEET TITLE**  
SITE PLAN - TRAFFIC FLOW

**SHEET NUMBER**  
A0.13



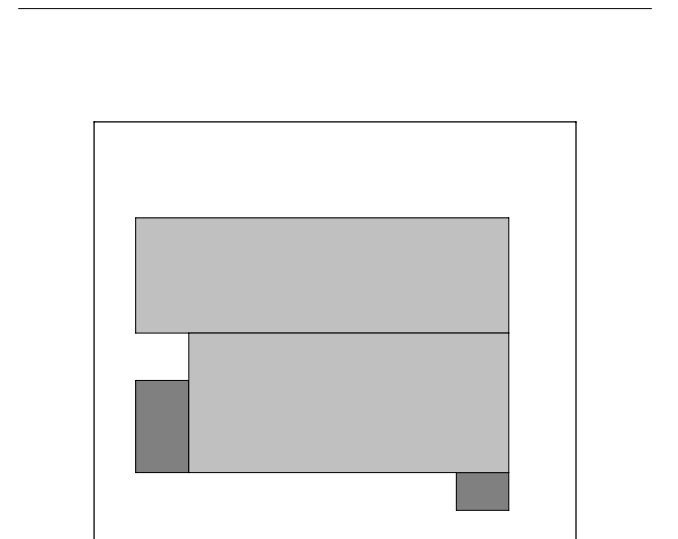
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**KEY PLAN**



**PROJECT NUMBER**

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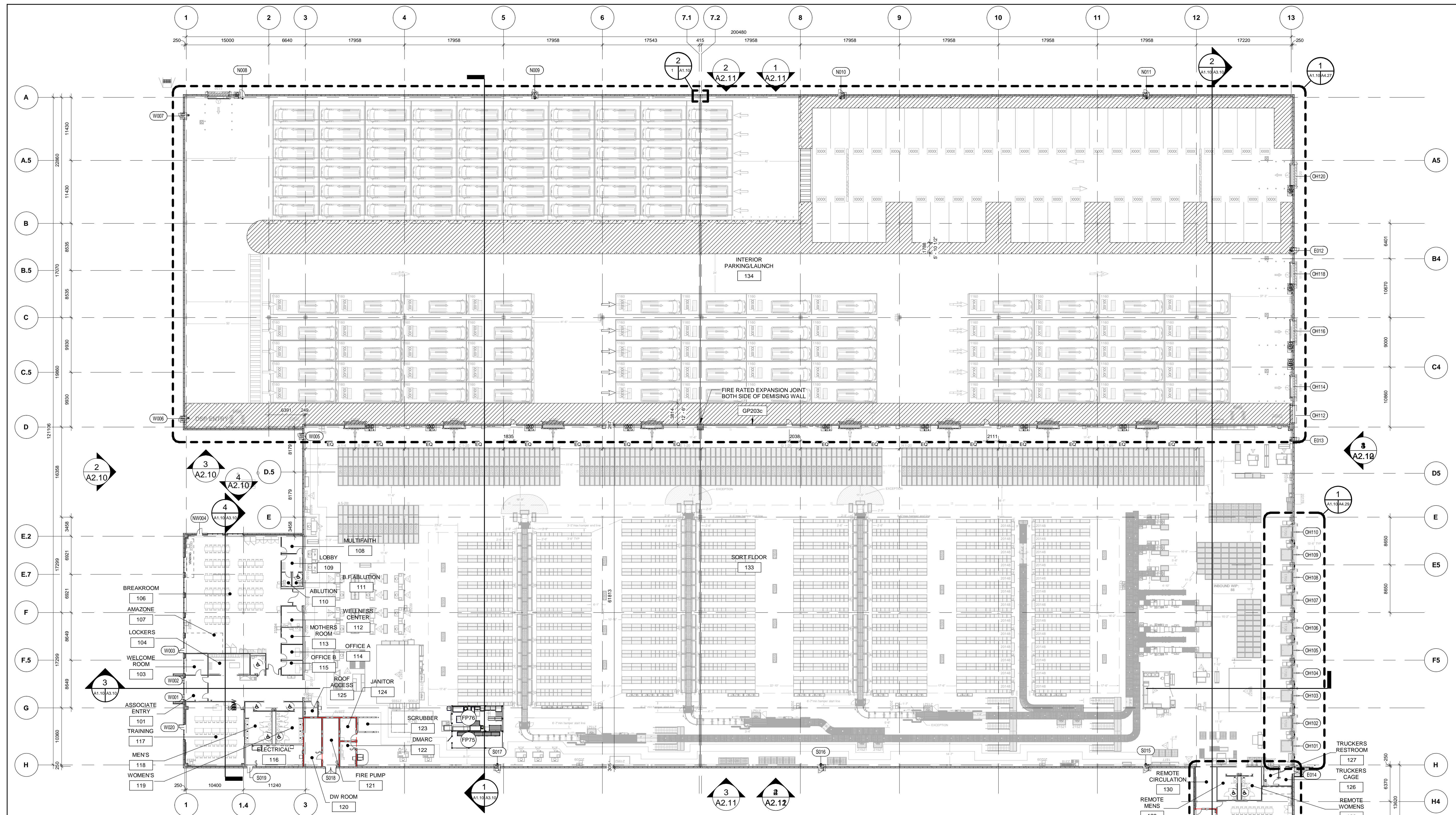
**SHEET TITLE**

MAIN FLOOR PLAN

**SHEET NUMBER**

A1.10

**NOT FOR CONSTRUCTION**



**1 OVERALL MAIN FLOOR**  
 1: 350

- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
  - INSTALL FIRE EXTINGUISHER(S) MOUNTED AND LOCATED TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITION OF NFPA-10.
  - G.C. TO PROVIDE CHAIN LINK FENCING AROUND MODULE 2168. FINAL LOCATION OF MODULE TO BE CONFIRMED WITH TENANT.
  - ALL INTERIOR PARTITIONS TO BE THROUGH CEILING GRID TO 150mm ABOVE CEILING.
  - ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT UNLESS NOTED OTHERWISE.
  - ALL EXPOSED GYPSUM BOARD EDGES TO HAVE VINYL OR METAL EDGE TRIM.
  - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL 4 FINISH UNLESS NOTED OTHERWISE.
  - GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-INS (IE WASHROOMS, JANITOR'S CLOSETS, WET COLUMNS, ETC.) SHALL BE MOISTURE RESISTANT.
  - METAL STUDS AT PARTITIONS TO RECEIVE CERAMIC TILE ARE TO BE 20 GAUGE (MINIMUM) @ 406 C.C. (MAXIMUM). REFER TO THE FINISHES PLANS FOR TILE LOCATIONS.
  - THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS.
  - THERE SHALL BE NO EXPOSED PIPE, CONDUIT, DUCTS, VENTS, ETC. IN THE OFFICE BLOCK AREA. ALL SUCH LINES SHALL BE CONCEALED, OR FURRED AND FINISHED UNLESS OTHERWISE NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS.
  - DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS OR DETAILS ARE TO BE 100 mm FROM ADJACENT WALL AT HINGE SIDE OF DOOR OR CENTERED BETWEEN WALLS.
  - G.C. SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS, INCLUDING HARDWARE, LIGHT FIXTURES, GRAB BARS, CASEWORK, AND ALL TENANT-PROVIDED ITEMS. PROVIDE SHEET METAL REINFORCING (200 mm HORIZONTALLY MOUNTED STRIP OF 20 GA. GALVANIZED SHEET METAL) CONCEALED IN PARTITIONS WHERE WALL OR CEILING MOUNTED ITEM IS INDICATED ON DRAWINGS. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED, WHERE BLOCKING OR ADDITIONAL STUDS ARE REQUIRED AT EXISTINGS PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED.
  - OFFICE BLOCK DOOR NUMBERS LOCATED ON ENLARGED PLANS.
  - PAINT ALL EXTERIOR STAIRS' HANDRAILS AND GUARDRAILS BLACK.
  - PROVIDE LOCKABLE/TAMPERPROOF COVERS AT ALL THERMOSTATS.
  - THE TENANT WILL AWARD SEPARATE CONTRACTS FOR THE PERFORMANCE OF CERTAIN CONSTRUCTION OPERATIONS AT THE SITE. THESE OPERATIONS WILL BE CONDUCTED SIMULTANEOUSLY WITH WORK UNDER THIS CONTRACT. OWNER/TENANT'S VENDORS/SUPPLIERS/INSTALLERS SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR WORK. THESE CONTRACTS INCLUDE THE FOLLOWING:  
 A. MECHANIZED CONVEYOR SYSTEM  
 B. MATERIAL HANDLING EQUIPMENT (MHE)  
 C. OFFICE FURNITURE  
 D. INTERIOR FLOOR STRIPING  
 E. WAREHOUSE STORAGE ID SIGNAGE  
 F. COLUMN PROTECTORS  
 G. AV EQUIPMENT  
 H. ROOF-TOP SOLAR PANELS

**LEGEND:**

NOTE:  
 ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FACE OF STRUCTURE UNLESS OTHERWISE NOTED.

---	0 HOUR FIRE RESISTANCE RATING
- - - - -	45 MIN. FIRE RESISTANCE RATING
----	1 HOUR FIRE RESISTANCE RATING
-----	1.5 HOUR FIRE RESISTANCE RATING
-----	2 HOUR FIRE RESISTANCE RATING

- \* DOORS W/ AUTOMATIC DOOR OPERATORS INDICATES ACTIVE LEAF
- △ BARRIER FREE PUSH BUTTON
- FD FLOOR DRAIN
- FFD FUNNEL FLOOR DRAIN
- CO CLEAN OUT
- RD ROOF DRAIN
- RWL RAIN WATER LEADER
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER IN CABINET, RECESSED

**KEYNOTE LEGEND**

TAG	DESCRIPTION
FP75	NEW 2438mm (8'-0") HIGH CHAIN LINK FENCE C/W 1219 (4'-0") GATE, PER CLIENT REQUIREMENTS AS INDICATED IN MODULE 22286
FP76	NEW 2438mm (8'-0") HIGH CHAIN LINK FENCE C/W 1524 (5'-0") GATE, PER CLIENT REQUIREMENTS AS INDICATED IN MODULE 2168

Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ARCHD 24' x 36'  
 Last Printed: 10/14/2023 9:16:46 PM  
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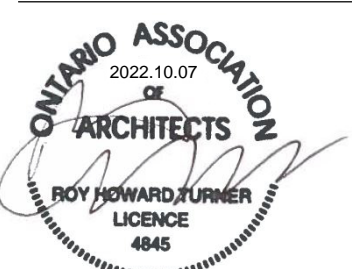
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**REGISTRATION**



**ISSUE/REVISION**

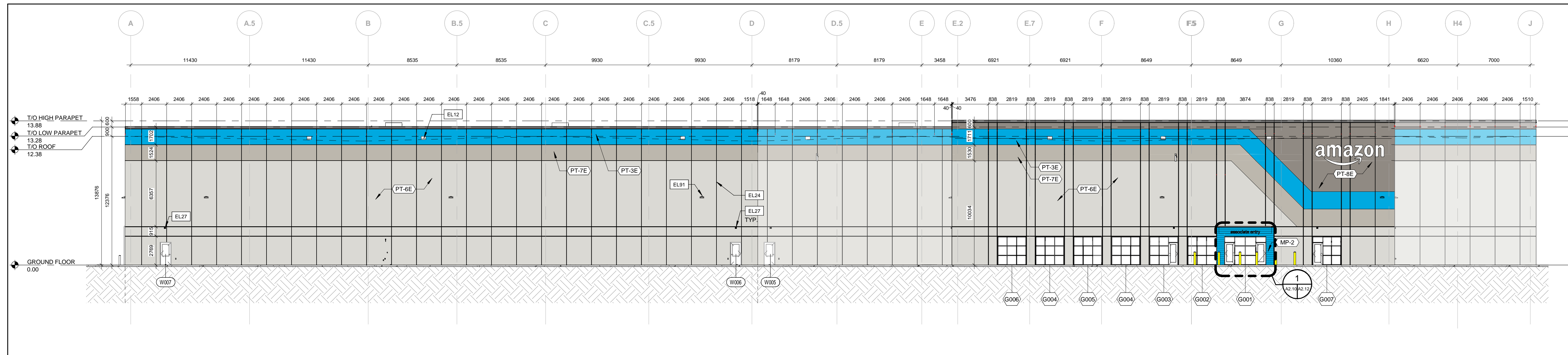
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1	2022-09-08	ISSUED FOR CLIENT REVIEW
0	2022-08-30	LANDLORD REVIEW - SPA SET

**NOT FOR CONSTRUCTION**

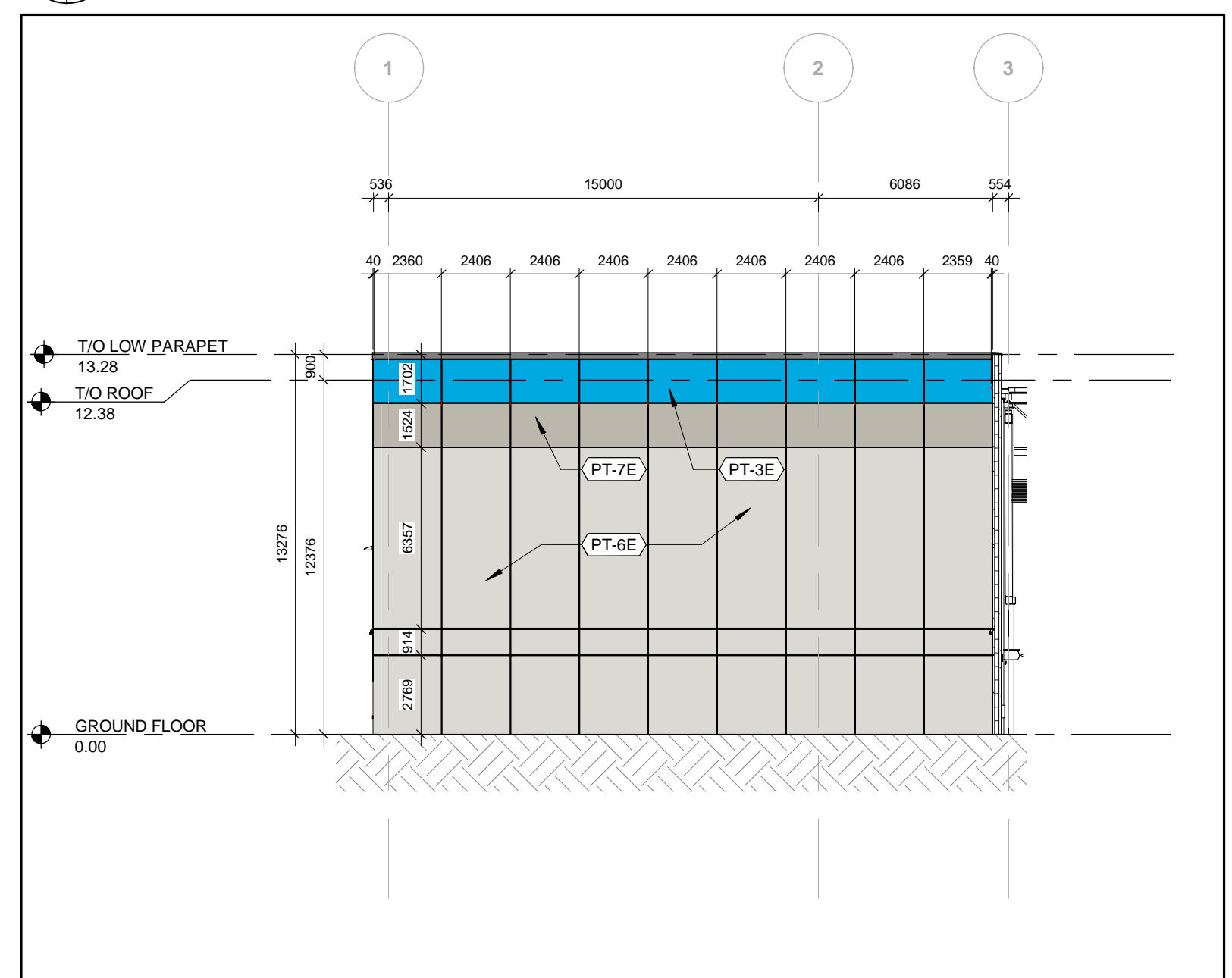
Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ARCH/D 24' x 36'



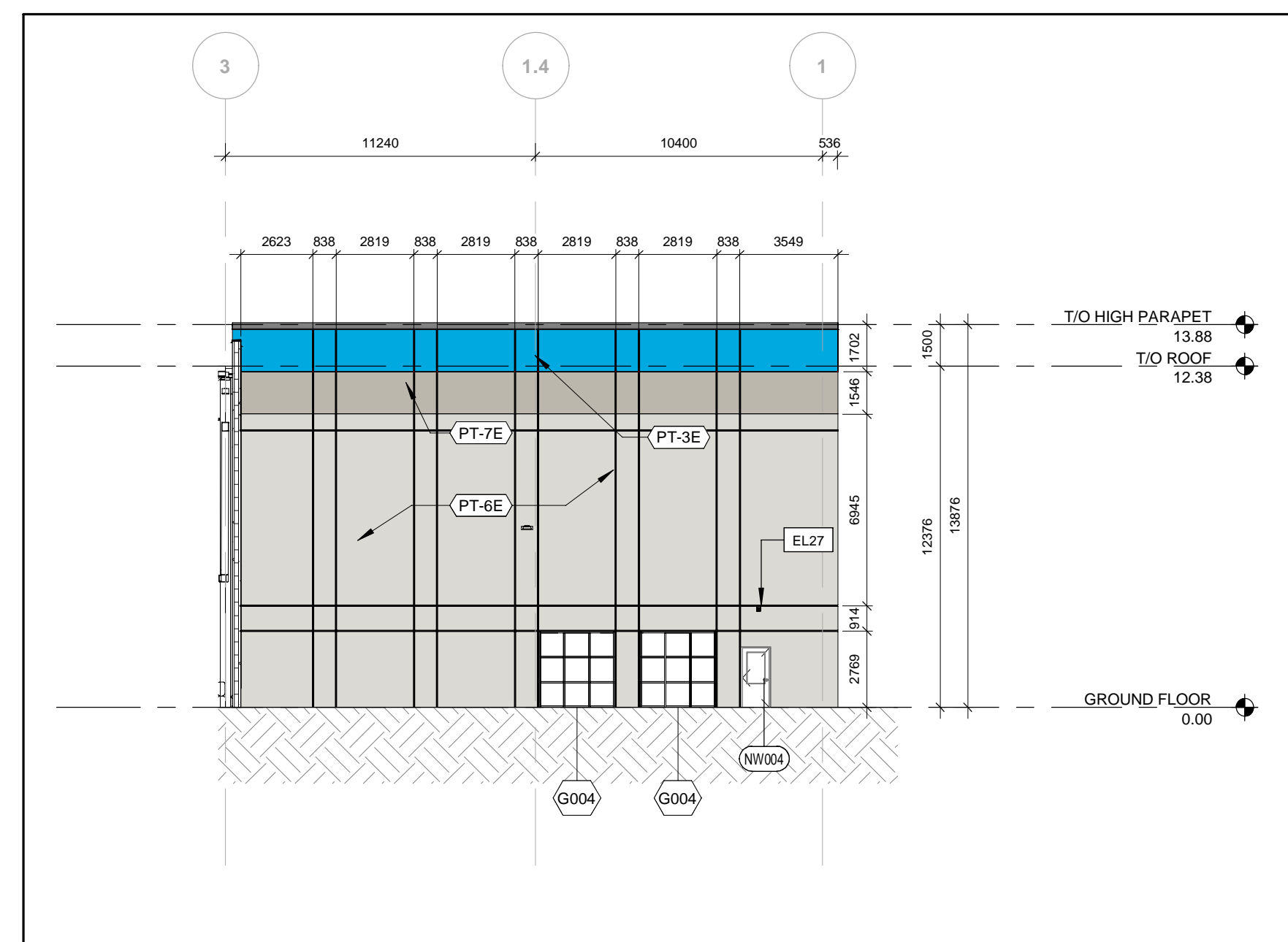
**1 EAST ELEVATION**  
 A1.10 A2.10 1:200



**2 WEST ELEVATION**  
 A1.10 A2.10 1:200



**3 WEST-NORTH ELEVATION**  
 A1.10 A2.10 1:200



**4 WEST-SOUTH ELEVATION**  
 A1.10 A2.10 1:200

- EXTERIOR FINISHES**
- ALL EXTERIOR FINISHES ARE SUBJECT TO OWNER APPROVAL PRIOR TO IMPLEMENTATION.
  - REFER TO KEYNOTES AND GENERAL NOTES FOR ADDITIONAL EXTERIOR FINISHES.
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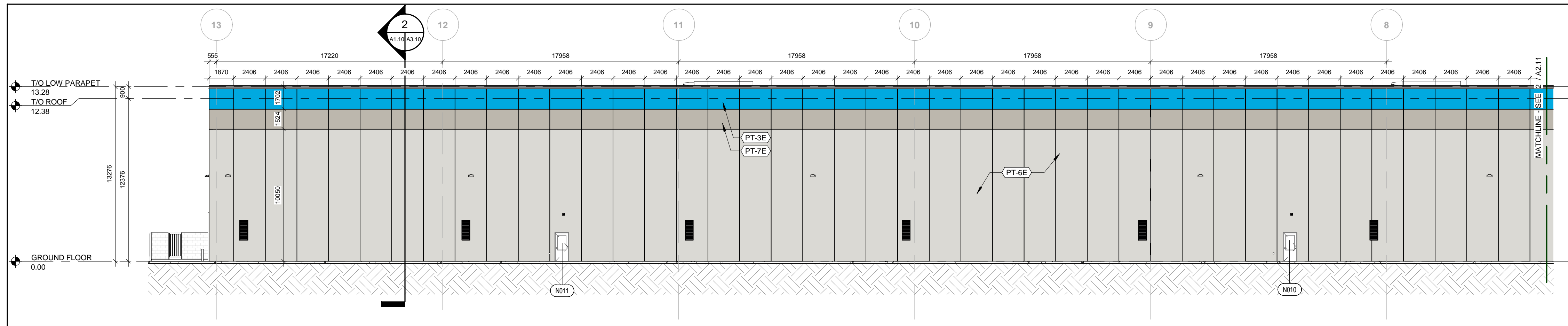
**KEYNOTE LEGEND**

TAG	DESCRIPTION
EL12	PRE-FINISHED METAL SCUPPER. COLOUR TO MATCH ADJACENT PANEL
EL24	PANEL REVEAL
EL27	EXTERIOR WALL-MOUNTED LIGHT FIXTURE W1 REFER ELECTRICAL
EL91	EXTERIOR WALL-MOUNTED LIGHT FIXTURE W2 REFER ELECTRICAL

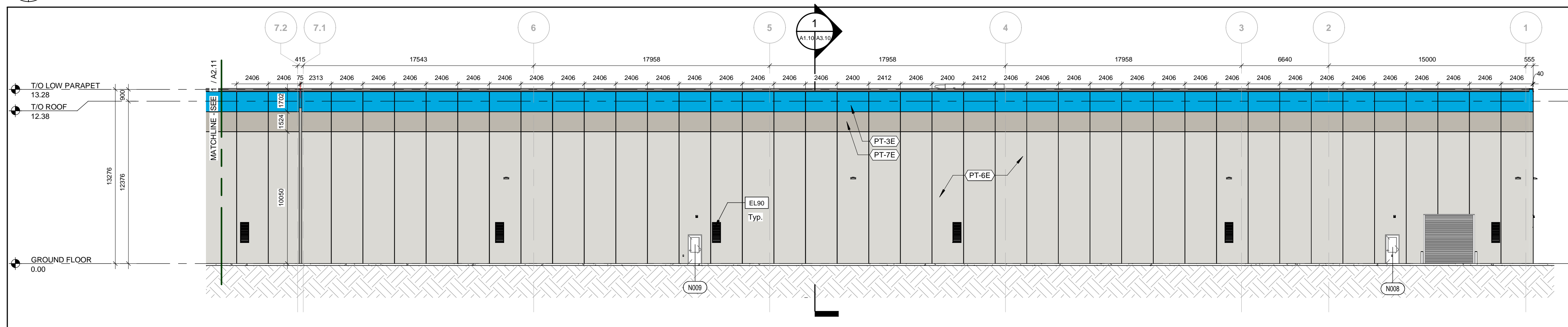
**ELEVATION LEGEND:**

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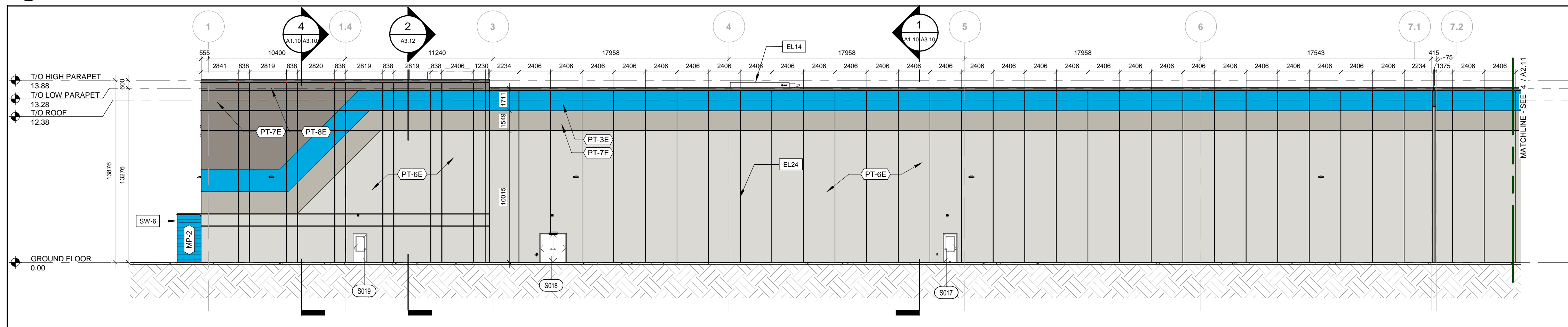
MARK	DESCRIPTION	REMARKS
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)		
[Symbol]	ANODIZED ALUMINUM STOREFRONT SYSTEM	
PT-3E	AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR FIELD COLOUR
PT-6E	SW 7646 FIRST STAR	EXTERIOR FIELD COLOUR
PT-7E	SW 7016 MINDFUL GRAY	EXTERIOR FIELD COLOUR
PT-8E	SW 7018 DOVE TAIL	EXTERIOR FIELD COLOUR
PT-4E	MANU. STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOUR
PT-5E	OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	COLUMN BASE AND COLUMN PROTECTION
MP-1	ALUMINUM SIDING, TITANIUM 35	EXTERIOR ACCENT COLOUR
MP-2	ALUMINUM SIDING, AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR ACCENT COLOUR



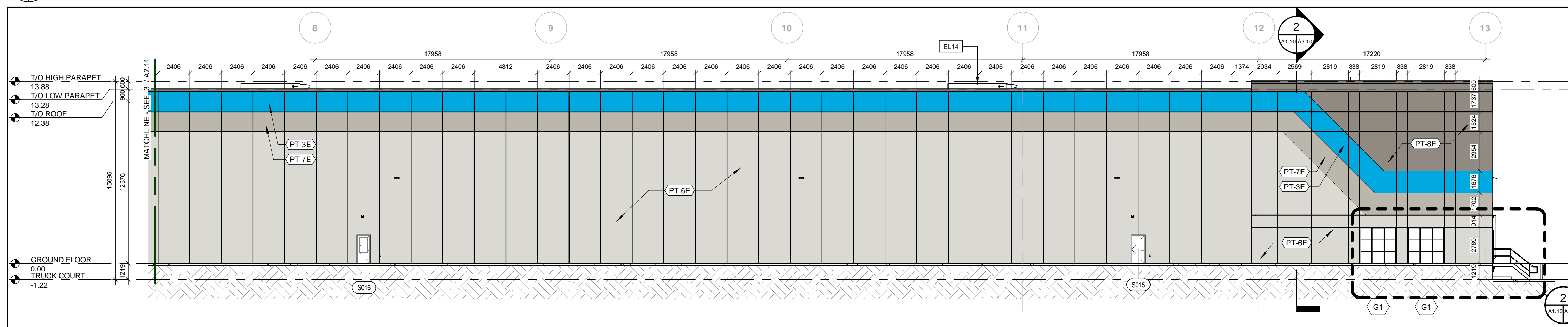
1 PARTIAL NORTH ELEVATION 01  
A1.10 A2.11 1:200



2 PARTIAL NORTH ELEVATION 02  
A1.10 A2.11 1:200



3 PARTIAL SOUTH ELEVATION 01  
A1.10 A2.11 1:200



4 PARTIAL SOUTH ELEVATION 02  
A1.10 A2.11 1:200

**EXTERIOR FINISHES**

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**KEYNOTE LEGEND**

TAG	DESCRIPTION
EL14	ROOF TOP UNIT
EL24	PANEL REVEAL
EL90	LOUVERS REFER TO MECH DRAWINGS FOR MORE INFORMATION
SW-6	TENANT SIGNAGE - ASSOCIATE ENTRY SIGN -- REFER TO A6.51



**PROJECT**  
DYT3 GEN 3.1 BTS,  
OTTAWA, ONTARIO  
2625 SHEFFIELD ROAD

**CLIENT**  
CHOICE PROPERTIES REIT  
700-22 ST. CLAIR AVENUE EAST  
TORONTO, ONTARIO, M4T 2S5  
647 533 5057 tel.

**CONSULTANT**  
AECOM Canada Architects Ltd.  
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**ELEVATION LEGEND:**

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MARK	DESCRIPTION	REMARKS
EXTERIOR COLOUR LEGEND		
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)		
PT-3E	ANODIZED ALUMINUM STOREFRONT SYSTEM	EXTERIOR FIELD COLOUR
PT-6E	AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR FIELD COLOUR
PT-7E	SW 7646 FIRST STAR	EXTERIOR FIELD COLOUR
PT-7E	SW 7016 MINDFUL GRAY	EXTERIOR FIELD COLOUR
PT-8E	SW 7018 DOVE TAIL	EXTERIOR FIELD COLOUR
PT-4E	MANU STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOUR
PT-5E	OSHA CAUTION YELLOW/ BLACK DIAGONAL STRIPES	COLUMN BASE AND COLUMN PROTECTION
MP-1	ALUMINUM SIDING, TITANIUM 35	EXTERIOR ACCENT COLOUR
MP-2	ALUMINUM SIDING, AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR ACCENT COLOUR

**NOT FOR CONSTRUCTION**

**PROJECT NUMBER**

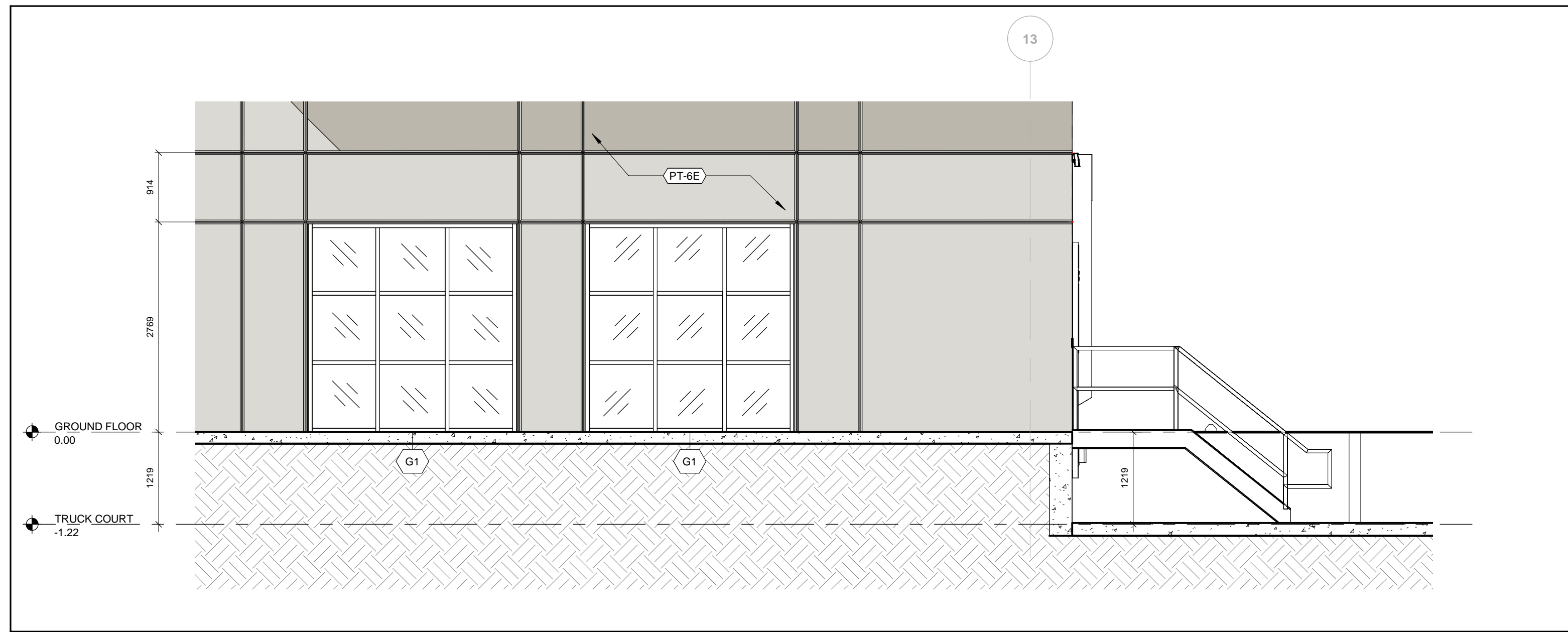
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**SHEET TITLE**

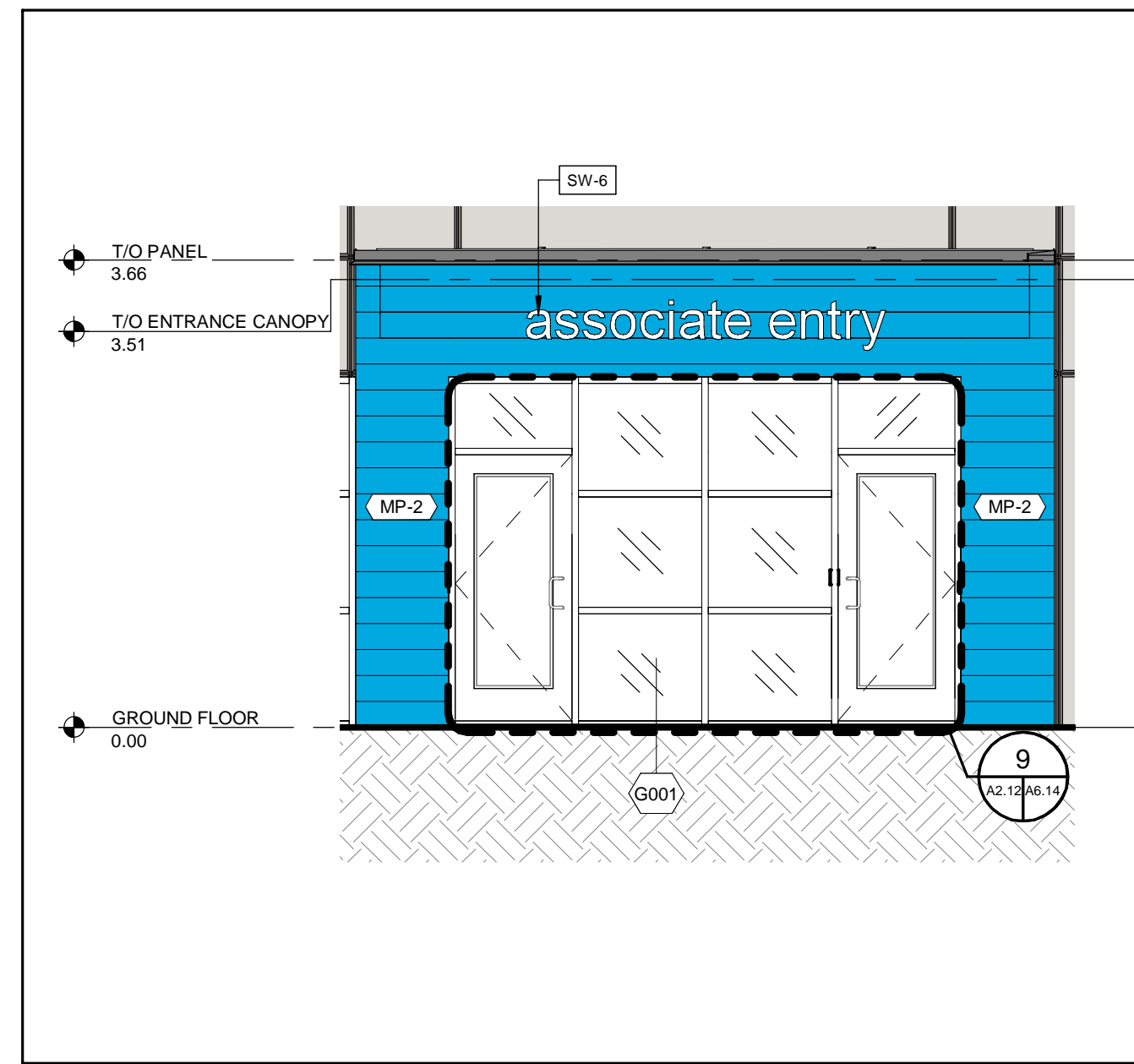
BUILDING ELEVATIONS

**SHEET NUMBER**

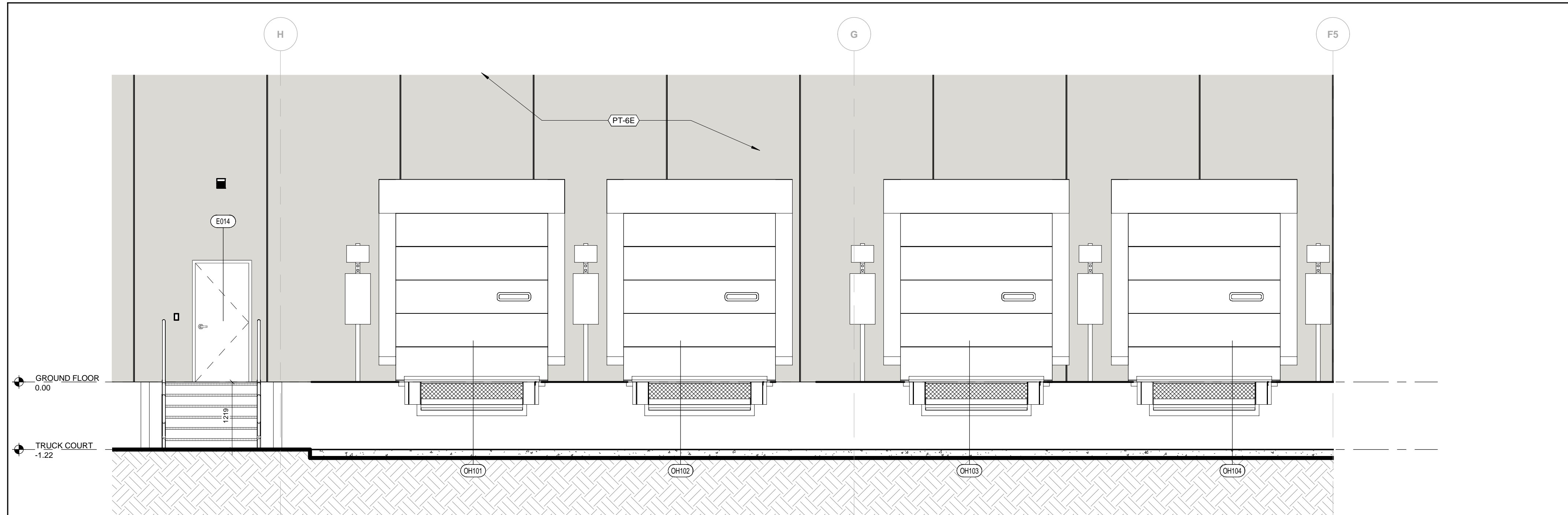
A2.11



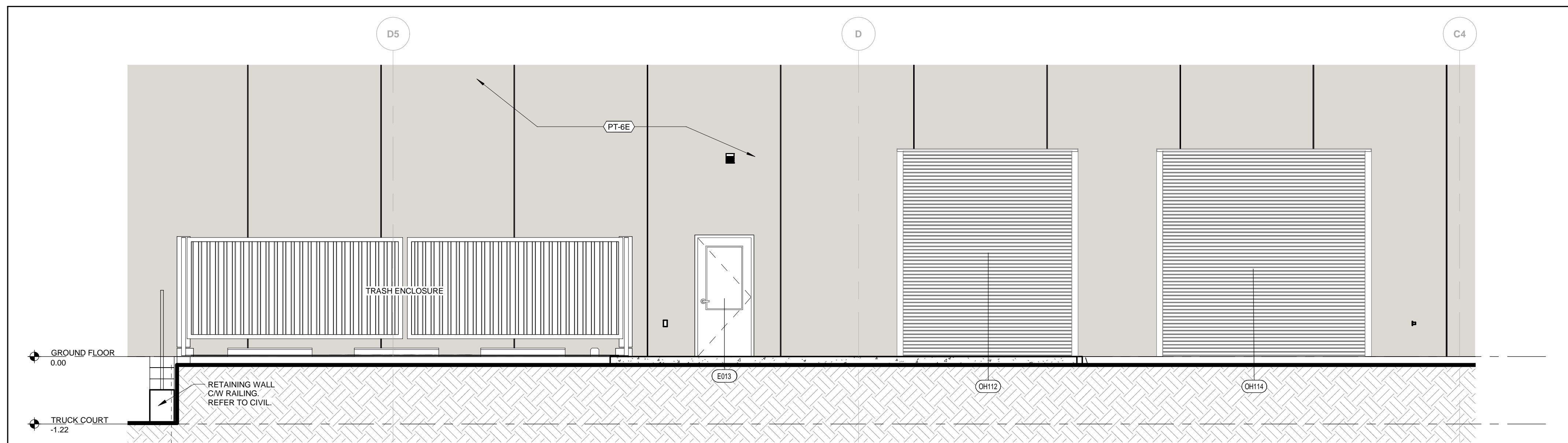
**2 SOUTH ELEVATION REAR OFFICE**  
A1.10 A2.12 1:50



**1 WEST CANOPY ELEVATION**  
A2.10 A2.12 1:50



**3 EAST ELEVATION**  
A1.10 A2.12 1:50



**4 EAST ELEVATION**  
A1.10 A2.12 1:50

**ELEVATION LEGEND:**

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EXISTING GRADE		
EXTERIOR COLOUR LEGEND		
MARK	DESCRIPTION	REMARKS
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)		
PT-3E	AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR FIELD COLOUR
PT-6E	SW 7646 FIRST STAR	EXTERIOR FIELD COLOUR
PT-7E	SW 7016 MINDFUL GRAY	EXTERIOR FIELD COLOUR
PT-8E	SW 7018 DOVE TAIL	EXTERIOR FIELD COLOUR
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PT-5E	OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	COLUMN BASE AND COLUMN PROTECTION
MP-1	ALUMINUM SIDING, TITANIUM 35	EXTERIOR ACCENT COLOUR
MP-2	ALUMINUM SIDING, AMAZON PRIME BLUE, TO MATCH PANTONE 2995C	EXTERIOR ACCENT COLOUR

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**KEYNOTE LEGEND**

TAG	DESCRIPTION
SW-6	TENANT SIGNAGE - ASSOCIATE ENTRY SIGN - REFER TO A6.51

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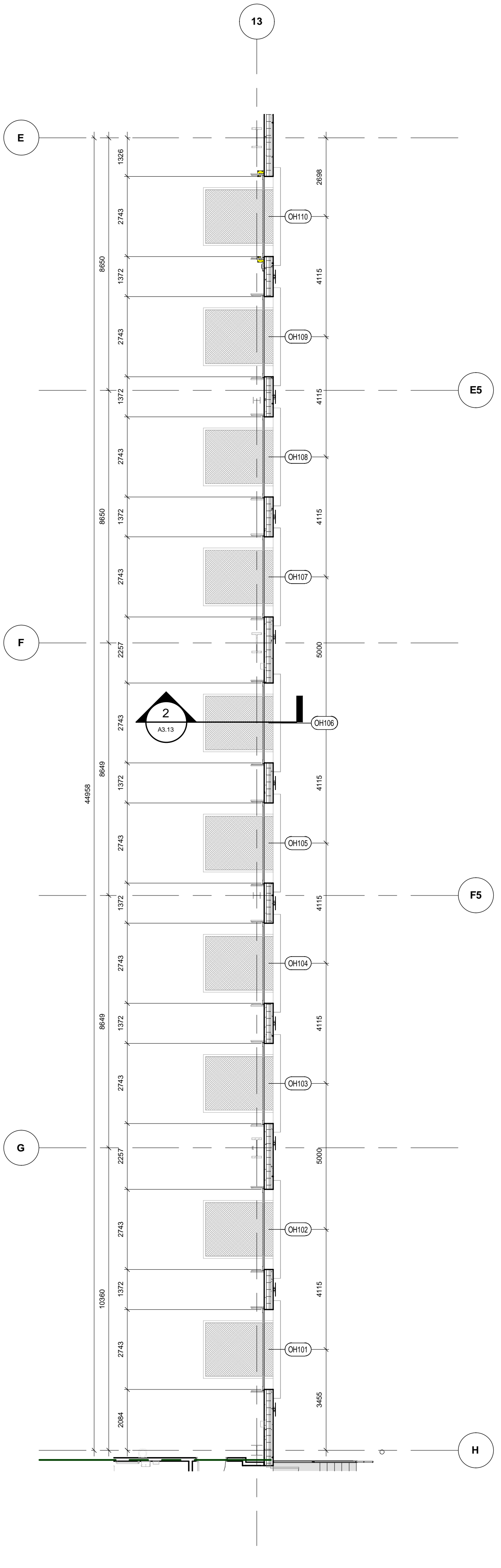
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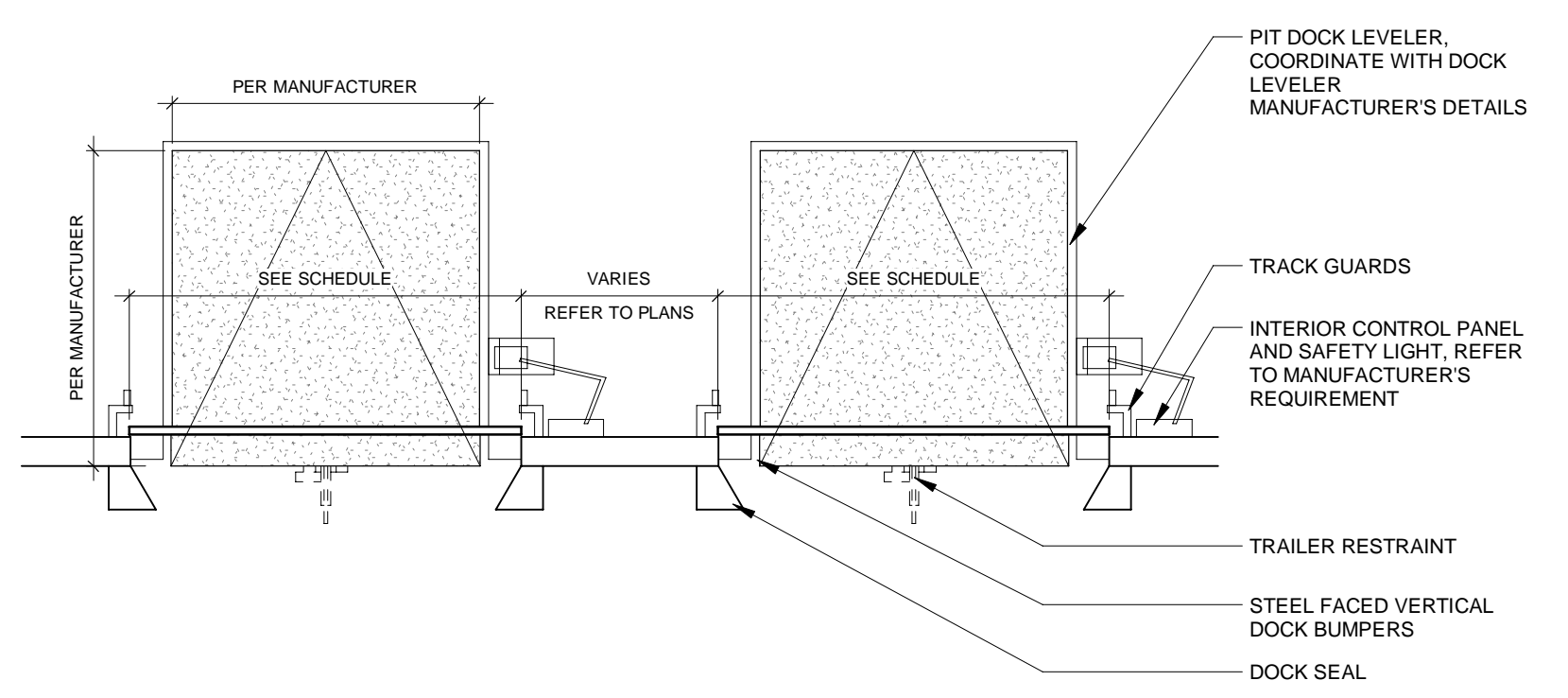
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**SHEET TITLE**  
DETAIL ELEVATIONS

**SHEET NUMBER**  
A2.12

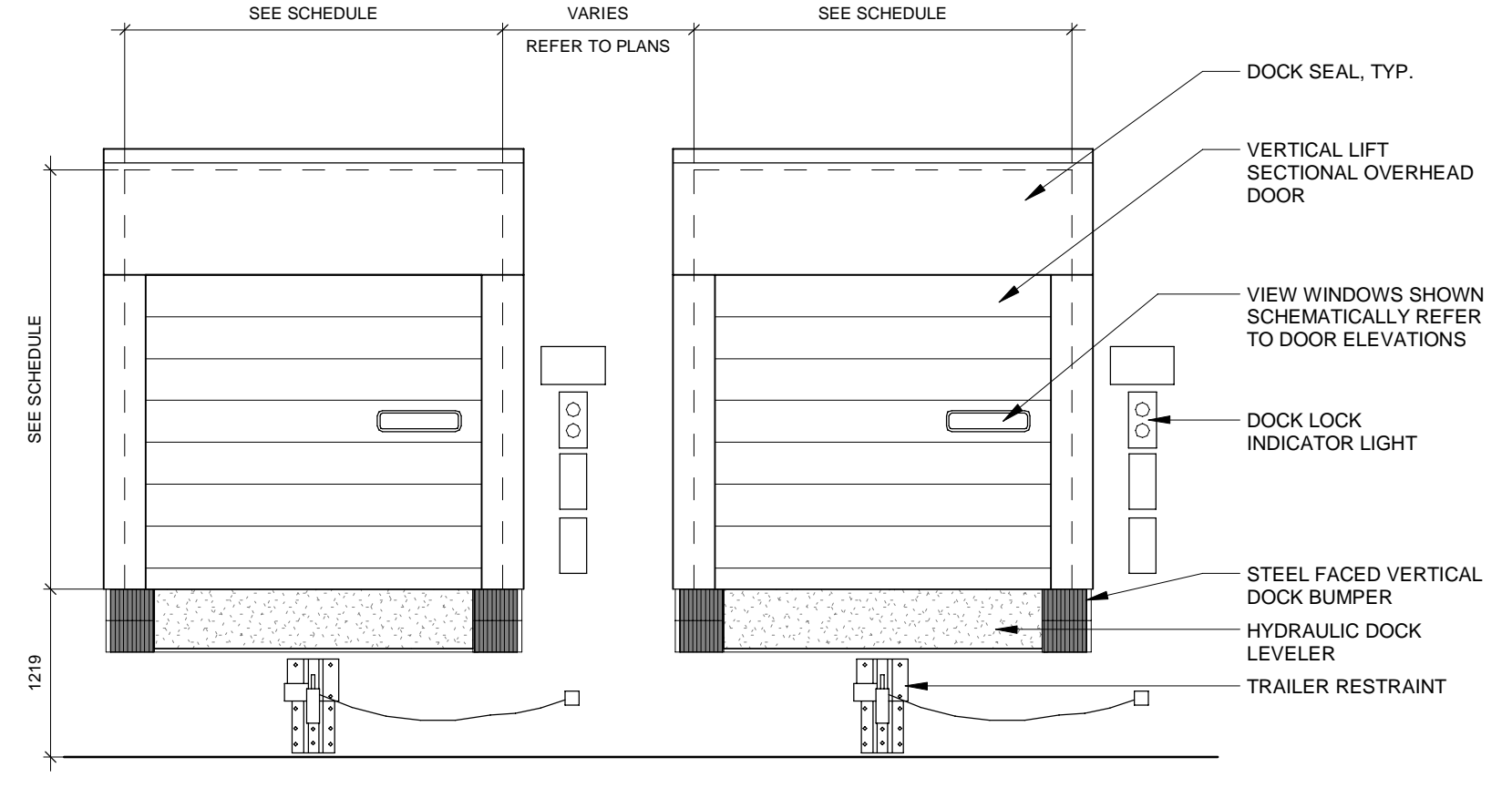




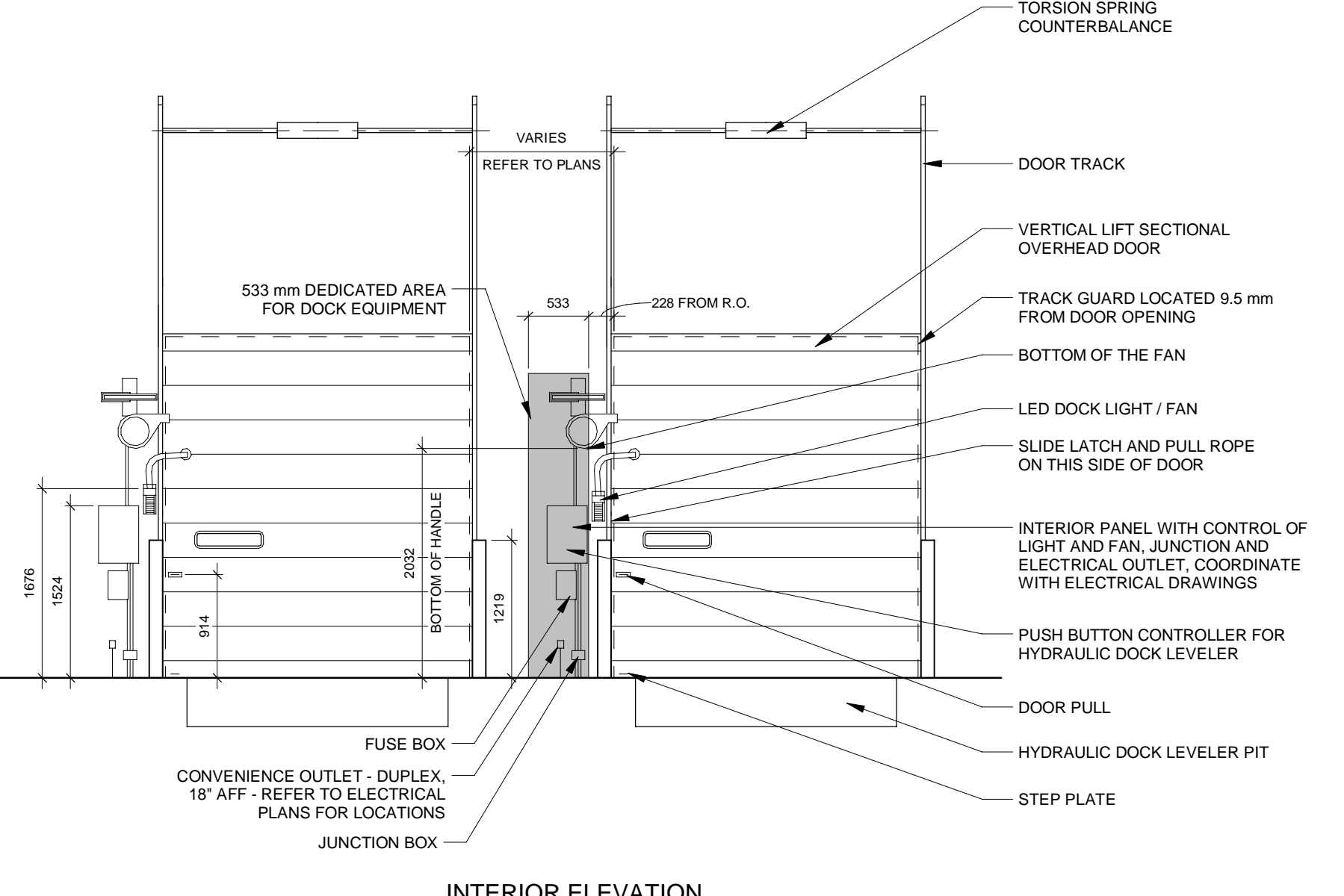
1 ENLARGED - DOCK DOORS  
A1.10 A4.29 1:100



EQUIPMENT PLAN

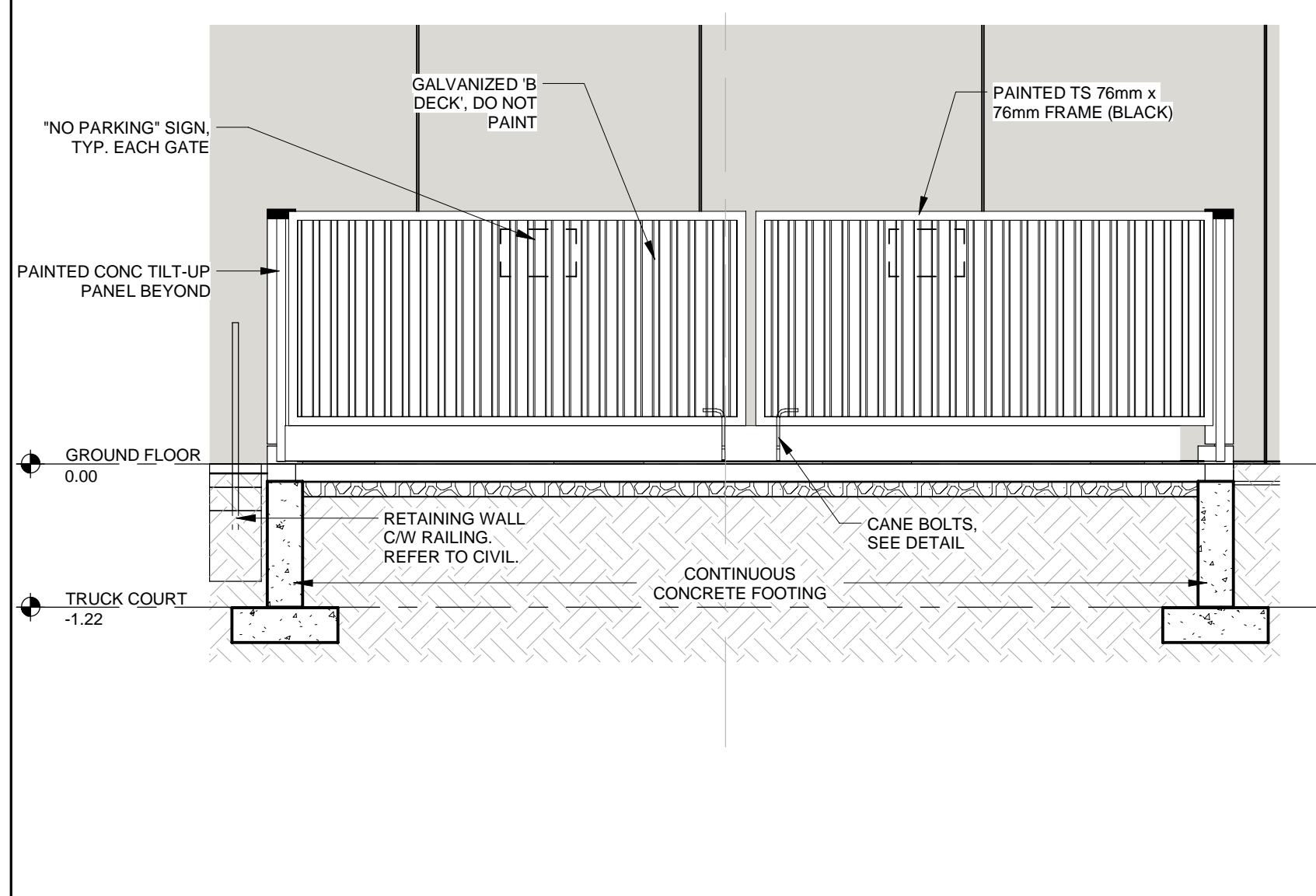


EXTERIOR ELEVATION

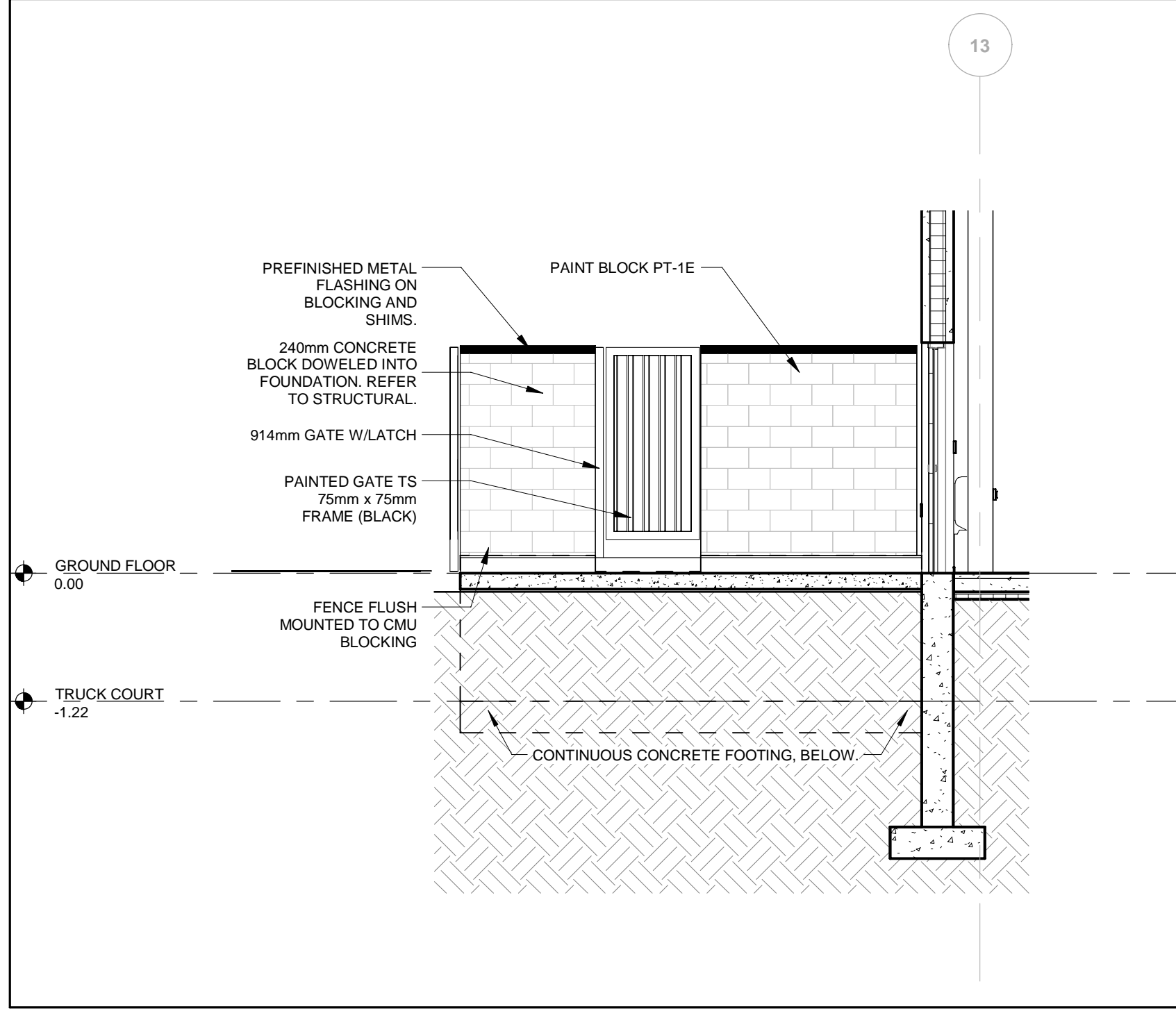


INTERIOR ELEVATION

2 SECTIONAL DOOR AND RELATED LOADING DOCK EQUIPMENT  
A4.29 1:50



3 FRONT ELEVATION - TRASH ENCLOSURE  
A3.12 A4.29 1:50



4 SIDE ELEVATION - TRASH ENCLOSURE  
A3.12 A4.29 1:50

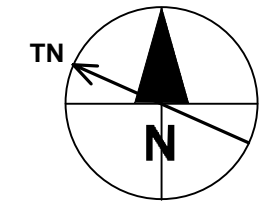
KEYNOTE LEGEND	
TAG	DESCRIPTION

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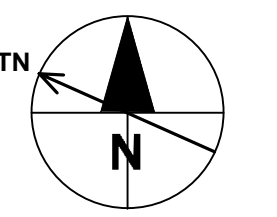
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I/R		

PROJECT NUMBER  
60648725

SHEET TITLE  
LOADING DOCKS / TRASH -  
ENLARGED PLAN AND ELEVATIONS

SHEET NUMBER  
A4.29

NOT FOR CONSTRUCTION



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I/R	DATE	DESCRIPTION

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