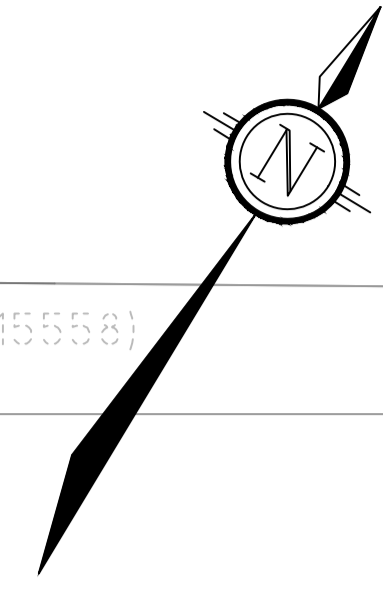


LEGEND

- Property Line
- _{UP} Existing Utility Pole
- ☀_{LS} Existing Light Standard
- ⊙_{mb} Existing Manhole
- ▤ Existing Catchbasin
- ww Existing Window Well

Maclaren Street

Metcalfe Street



KEYPLAN
NOT TO SCALE

SITE PLAN
255 METCALFE STREET

LOTS 1 AND 2
(East Side of Metcalfe Street)
REGISTERED PLAN 15558
CITY OF OTTAWA

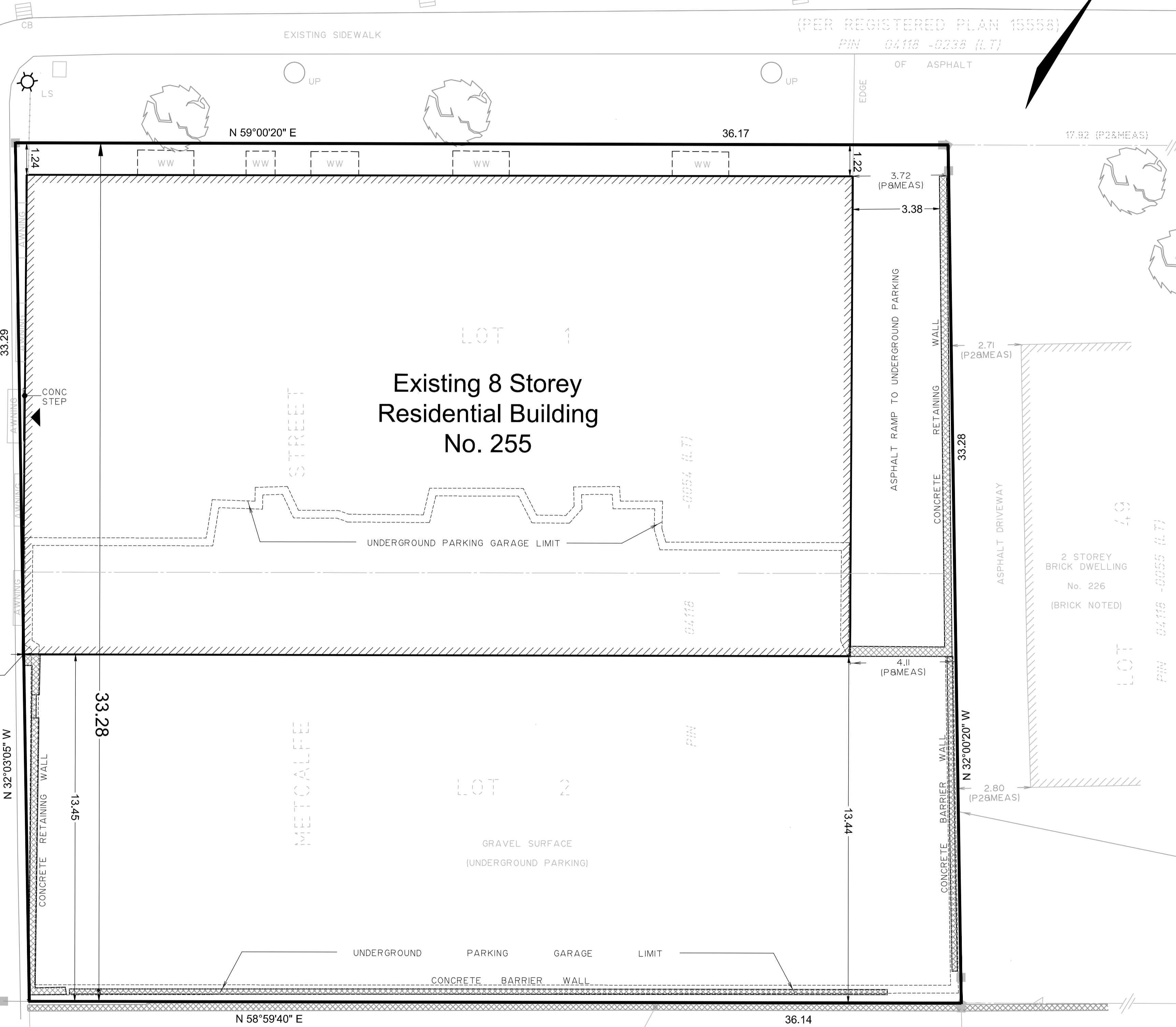
0 1 2 3 4 5 10 metres
SCALE 1:100

1	ISSUED FOR SITE PLAN APPROVAL	OCT 14/22	SS
No.	REVISION	DATE	BY

NOVATECH
Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6
Telephone: (613) 254-9643
Facsimile: (613) 254-5867
Website: www.novatech-eng.com

ISSUED
OCTOBER, 2022
PROJECT No.
121185
DRAWING No.
121185-SP

SOURCE REFERENCE:
Legal / Topographic Information: *Surveyors Real Property Report (Ref: 21-10-068-00)*
J. D. Barnes Ltd. / July 26, 2021 / MTM Zone 9, NAD 83 CSRS
Topographic Information: 1:1000
City of Ottawa / 2017 / MTM Zone 9, NAD 83 ORIG



Residential Fifth Density Zone R5B [479] H (19)		
Zoning Provision	Required	Provided
Minimum Lot Area (m ²)	675 m ²	1203.1 m ²
Minimum Lot Width (m)	22.5 m	33.2 m
Minimum Front Yard Setback (m)	3 m	0 m
Min Interior Yard Setback (m)	7.5 m	13.4 m
Minimum Corner Yard Setback (m)	3 m	1.2 m
Minimum Rear Yard Setback (m)	25% of the lot depth but not more than 7.5 m	3.7 m
Maximum Building Height (m)	19 m	8 storeys

M:\2021\121185\CAD\Planning\Site Plans\121185-SP.dwg, SP-A1, Oct 13, 2022, 11:46am, webster

DXX-XX-XX-XXXX

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