

SITE PLAN OF SURVEY PLAN PART 1 PLAN OF LOT 25 REGISTERED PLAN 523, CITY OF OTTAWA

ZONING: R1GG REZONED TO RAM
 PROPOSED BUILDING TYPE: 4 STOREY, LOW RISE RENTAL BUILDING
 16 RESIDENTIAL RENTAL UNITS
 LOT DEPTH: 34.39m (112.83ft)
 ADJACENT ZONING:
 NORTH: R1GG
 SOUTH: R1Y523
 WEST: R1FF
 EAST: R3M(1710)
 SCHEDULE 1 AREA: AREA 'C'
 SCHEDULE 1A AREA: AREA 'C'

LOT INFO - AFTER ZONING AMENDMENT - ALL MEASUREMENTS MADE TO ROW

B. STANDARD	REQUIRED	PROPOSED	SINGLE	NOTES
LOT WIDTH:	15m	38.44m	42.85m	
LOT AREA:	540m ²	894.88m ²	1027.5m ²	
HEIGHT:	14.5m	~14.5m	~10.0m	
FRONT YARD:	3.0m	3.04m	10.83m	
CORNER YARD:	n/a	n/a	n/a	
REAR YARD:	10.3m	13.49m	17.81m	
INTERIOR YARD:	3m	3.00m	0.34m	
AMENITY AREA:	168m ²	265.9m ²	n/a	238.9m ² COMM.
PARKING SPACES:	10 res.	11	1	
BIKE SPACES:	4 visitor	0	0	
M.L.C.:	NO MAX.	22	0	

BUILDING AREAS

BASEMENT FL. GFA:	115.7m ²
FIRST FL. GFA:	180.3m ²
SECOND FL. GFA:	390.4m ²
THIRD FL. GFA:	390.4m ²
FOURTH FL. GFA:	297.3m ²
STORAGE:	57.5m ²
GARAGE/CARPOR:	166.0m ²
ENTRANCE (ALL FLOORS):	290.2m ²
TOTAL GFA:	1374.1m ²
TOTAL ALL AREAS:	1742.5m ²

PROPOSED SITE DEVELOPMENT INFO

NEW GROSS FLOOR AREA:	1374.1m ²
EX. GROSS FLOOR AREA:	0.0m ²
NUMBER OF UNITS:	20
PROPOSED STOREYS:	4
BUILDING COVERAGE:	40.7%
SOFT LANDSCAPING CVG.:	13.1%
HARD LANDSCAPING CVG.:	1.3%
DECK/SOPORCHES/STEPS:	0.0%
ASPHALT CVG.:	42.5%
OTHER:	2.4%

SURVEY INFO:
 SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1, PLAN OF LOT 25, REGISTERED PLAN 523, CITY OF OTTAWA PREPARED BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD DEC. 03, 2021

SITE NOTES
 NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES
 EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
 ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL
 ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)
 EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER
 SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

EXISTING PLANTING MATERIAL

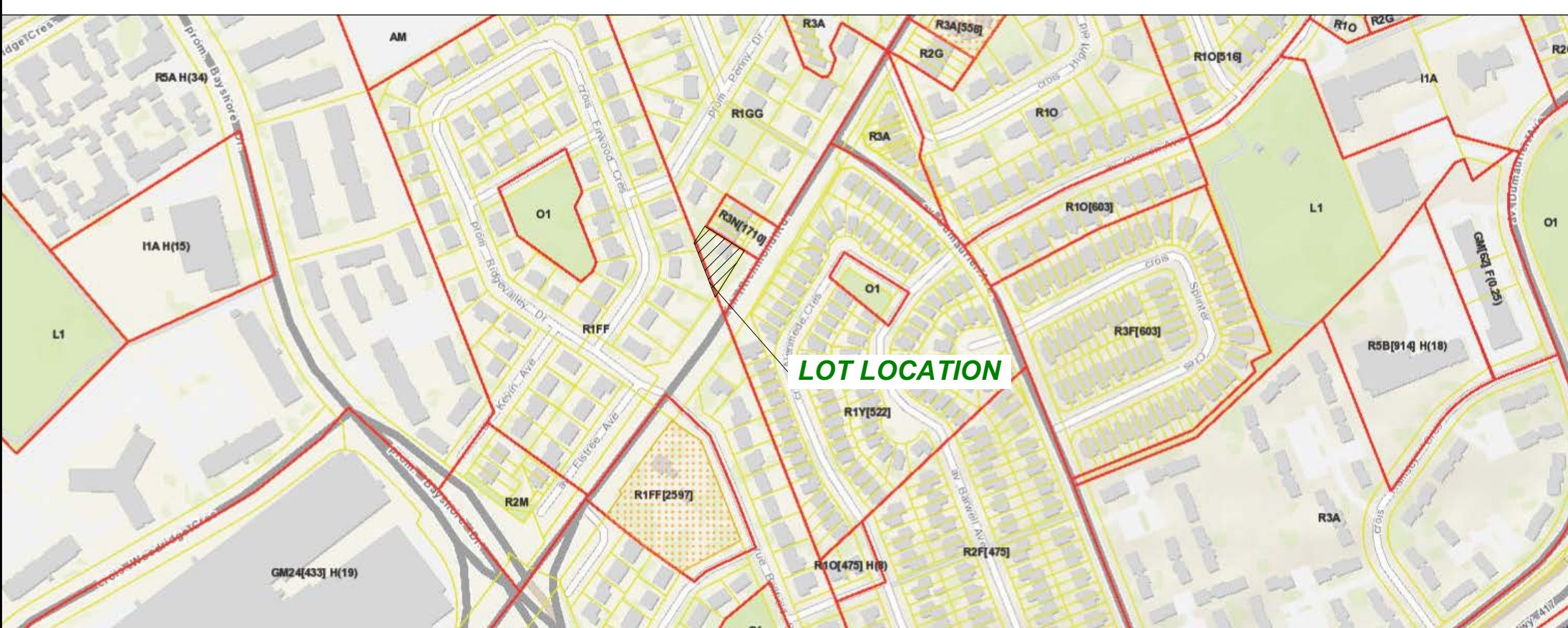
CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES				
CONIFEROUS TREES				
SHRUBS				

NEW PLANTING MATERIAL

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES				
DT1	RED MAPLE	2	50mm Cal.	
CONIFEROUS TREES				
SHRUBS				

TREE CONSERVATION NOTES
 1. ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES;
 2. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE;
 3. DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 4. DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL;
 5. TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE;
 6. DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE;
 7. ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.
 * THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.
 * TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

3 KEY PLAN & CONTEXT
A1 SCALE NO SCALE

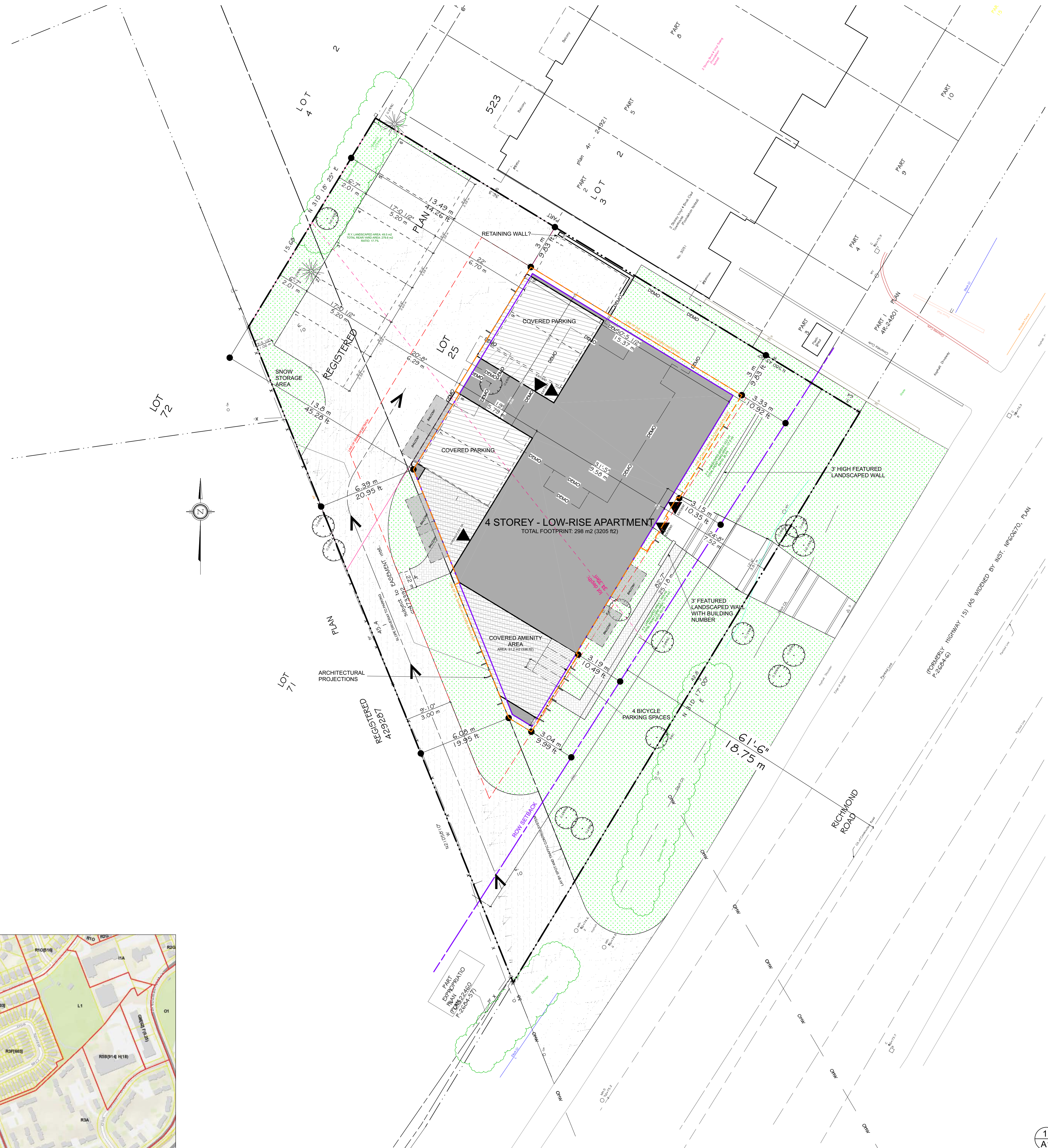


SITE LEGEND

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED RIVERSTONE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/ BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BIKCYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE
- MOTION SENSING EXT. LIGHTS

WASTE COLLECTION LEGEND

- GB 3YD + 2YD GARBAGE CONTAINERS
- BB 2YD FIBRE CONTAINER
- B 2YD GML CONTAINER
- G 240L ORGANICS
- PRIVATE COLLECTION



UNPOISED ARCHITECTURE INC.
 5-16 SWIFTLAND AVE.
 OTTAWA, ON K1N 7T5
 AZUL DESIGNS
 OTTAWA, ON K1H 3Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES

3055 RICHMOND ROAD
 SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 16 UNITS

CONSULTANTS:
 STRUCTURAL: TSD
 MECHANICAL: TSD
 ELECTRICAL: TSD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	06/09/22
2	REVISED SITE PLAN	01/20/22
1	PRELIMINARIES	04/12/22

PROJECT: 3055 RICHMOND RD.
 3055 RICHMOND RD.
 OTTAWA, ON K2B 5G8
 613-000-0000

DRAWING NAME: **SITE PLAN**

DATE: APRIL 12, 2022
 SCALE: AS NOTED

FILE NUMBER: D00-00-00-0000