

## Planning Rationale:

# Site Plan Control Application HONI Orléans – Operations Centre 3440 Frank Kenny Road, Ottawa





**Table of Contents**

---

1.0	INTRODUCTION.....	1
1.1	Background.....	1
2.0	SITE LOCATION AND DEVELOPMENT PROPOSAL.....	3
2.1	Site Location .....	3
2.2	Development Proposal .....	4
2.3	Public Consultation Strategy .....	5
3.0	POLICY AND REGULATORY FRAMEWORK.....	6
3.1	City of Ottawa Official Plan, 2003, as amended.....	6
3.2	City of Ottawa Official Plan 2048.....	6
3.3	City of Ottawa Zoning By-Law 2008-250 .....	6
4.0	CONCLUSION .....	7



## **1.0 INTRODUCTION**

---

This Planning Brief has been prepared by J.L. Richards & Associates Limited (JLR) on behalf of BGIS to support an application for Hydro One Network Inc. (HONI) Site Plan Control at 3440 Frank Kenny Road, Ottawa.

BGIS is acting as the design builder for HONI for a new HYDRO ONE OPERATIONS CENTRE to be constructed in Orléans, ON (HONI OC) to meet Hydro One stakeholder requirements, current industry, regulatory, safety and operational standards and to allow Hydro One to perform its Business Line operations at this site. The Lines of Business (LoB) to be housed in this new facility are:

- Provincial Lines
- Design Services

JLR has been retained to provide professional planning, architectural, engineering and related technical/design services to complete this project.

### **1.1 Background**

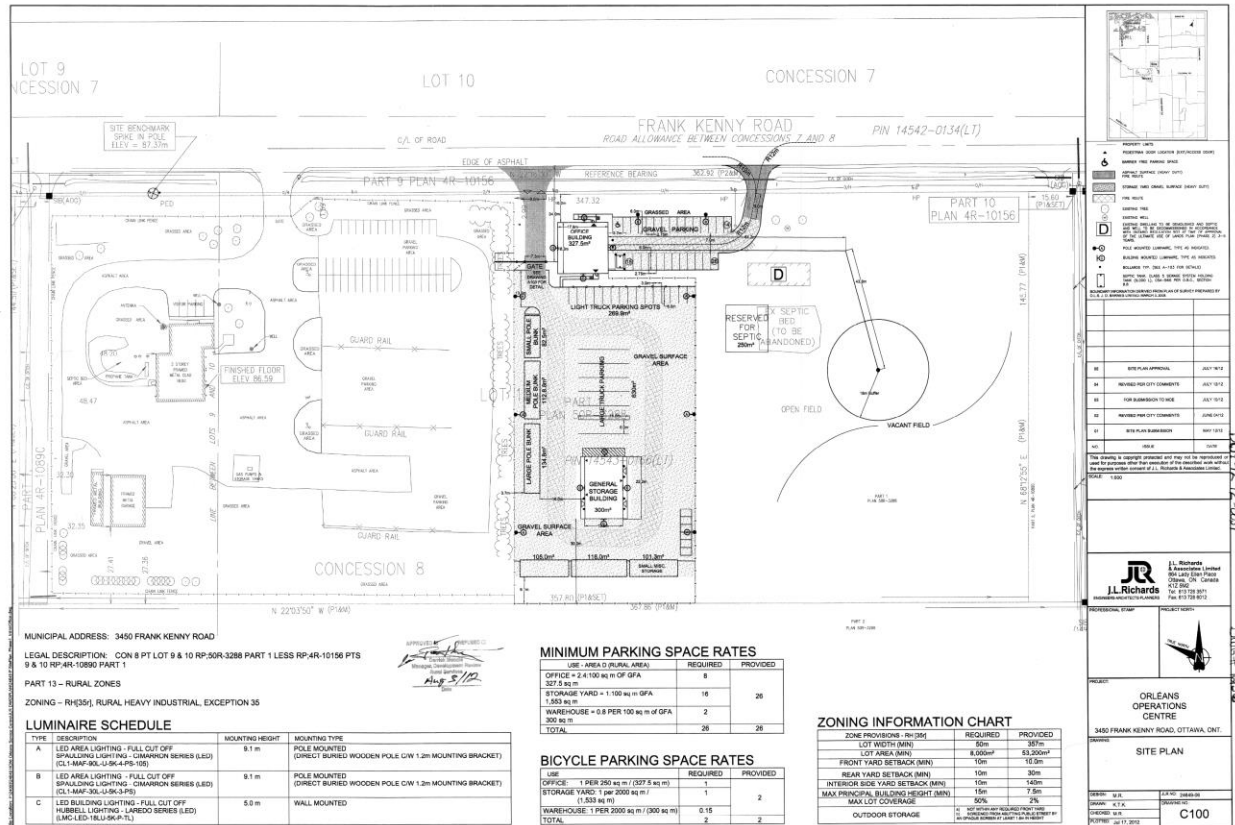
The project is the second phase of a previous project (3450 Frank Kenny Road) which was submitted by JLR on behalf of M.L. Bradley Ltd. for HONI. As part of the original project, the site yard works were completed as was a warehouse (storage building) and temporary modular office space. A revision to the existing (M.L. Bradley Ltd.) Site Plan was approved August 3, 2012 (City File No. D07-12-12-0051) to permit the development of HONI Phase 1 development of their OC.

Concurrently, a rezoning was approved to zone the site to Rural Heavy Industrial Rural Exception 35 (RH [35r]) by By-law 2012-207. The exception permitted an office related to a utility as well as a storage yard and light industrial use limited to forestry workshop – warehouse limited to the storage and distribution of goods and equipment related to a utility – the storage of hydro transformers – and a minimum front yard setback of 10 metres. Outside storage is not permitted within any required front yard or corner side yard and must be screened from abutting residential uses and public streets by an opaque screen 1.8 metres in height from finished grade.

A consent for easement was approved for the storm outlet as part of the Site Plan Approval and registered at the Land Registry Office as OC1430569 on November 20, 2012.

Site Plan Approval was provided on August 10, 2012 with certain conditions.

# Planning Rationale: 3440 Frank Kenny Road, Ottawa



**Figure 1: Phase 1 Site Plan Approval (Revision)**

A Site Plan Agreement was registered at the Land Registry Office (OC1436157) on December 5, 2012 between the City of Ottawa and 743120 Ontario Inc. (being M.L. Bradley Ltd). Subsequently an application for consent to create a new rural industrial lot was approved (creating 3440 Frank Kenny Road) and the property was acquired by HONI.

An Environmental Compliance Approval was issued on December 6, 2012 under Number 3750-92FKEH for the establishment of stormwater management works.

The project is the second phase of this previous project. As part of this project, the new Operations Centre (OC) is to be constructed and the temporary modular office space and holding tank is to be removed. The concept for the design is to be the next progression of the HONI template based on latest advancements in pre-engineered structures.

**Planning Rationale:  
3440 Frank Kenny Road, Ottawa**

---

A pre-application meeting was held with the City of Ottawa and South Nation Conservation on February 16, 2022. On March 17, 2022, the City provided a list of required plans and studies and minutes of meeting.

**2.0 SITE LOCATION AND DEVELOPMENT PROPOSAL**

---

**2.1 Site Location**

The Subject Property is located at 3440 Frank Kenny Road, with a total lot size of approximately 26,480 m<sup>2</sup> and a frontage onto Frank Kenny Road of approximately 182 metres. The site is legally described as Part 2 on Plan 4R-30029.

Frank Kenny Road is a rural arterial road connecting neighborhoods like Orléans and Navan to Highway 417 and functions as its main entrance point for vehicles. Frank Kenny Road, as a rural arterial street, has paved shoulders and open ditches. The site is located next to the M.L. Bradley Ltd. school bus yard and office and is in close proximity to the Village of Navan.

The location is ideal for HONI in order to serve its existing and future clientèle as Orléans has and is expected to continue to see rapid growth.

The following aerial imagery illustrates the development of the Phase 1 Operations Centre. The temporary modular office building, septic holding tank and parking lot would be removed with the ultimate Operations Centre (future location of septic field).



**Figure 2 – Aerial View of Phase 1 HONI OC**

## Planning Rationale: 3440 Frank Kenny Road, Ottawa

---

The existing entrance to the yard would remain as will the warehouse (general storage building), pole bunks, and open storage areas along the rear lot line. The 2<sup>nd</sup> entrance from Frank Kenny Road would be removed and a new parking lot and yard exit would be added to the northern extremity of the site.

### **2.2 Development Proposal**

The design consists of a main building that has a central spine through the different sectors of the building. The first section is the main office, which houses offices, workstations, meeting rooms, kitchenette and washrooms. This is followed by a warehouse section that is complete with racking, loading dock, lock up areas and mustering rooms. Then there is indoor truck parking and outdoor covered parking.

The yard will continue to be used for general storage of hydro equipment and vehicles. The stormwater management is being expanded. A new septic system will be built within the front yard limiting tree plantings in certain areas. A solid opaque fence will be added as HONI requires clear lines of sight on both sides of their perimeter security fencing. The existing well was drilled during Phase 1 based on its ultimate location and will therefore be used for this development.

Fire protection has been reviewed with the City's Fire Protection Engineer to meet their requirements and Ontario Building Code.

For security purposes, HONI requires the entire yard be enclosed within a chain link fence with barbed wire. In addition, a 3.0 m clear line of sight must be maintained on each side of this security fence.

The landscape plan (tree inventory) has been designed to provide native shrubs and grasses along the east property line as recommended by the Bowfin fisheries report. Salt tolerant grass mix is being proposed in the security fencing areas (maintain line of sights). Street trees and landscape features has been incorporated in the front yard (where not in conflict with the above ground leaching bed). Many of the existing vegetation planted during Phase 1 will be re-utilized and large existing trees that were in the front yard of the old Bradley house will be maintained (as they were in Phase 1).

The following studies are being submitted in support of the proposed development:

- Hydrogeological and Terrain Analysis Report (Update)
- Well Inspection Report (the existing well record is proposed as the well was built for this proposed development and has been studied by Golder Associates).



## Planning Rationale: 3440 Frank Kenny Road, Ottawa

---

- Geotechnical Study
- Servicing Study (and plans)
- Site Plan
- Landscape Plan
- Erosion and Sediment Control Plan
- Environmental Impact Study
- Grading / Drainage Plan
- Stormwater Management Plan and Report

### 2.3 Public Consultation Strategy

The Public Consultation process for this application will follow the requirements of the *Planning Act* and the City's Public Consultation policy. These steps are the responsibility of the City of Ottawa and will be coordinated with our team.

A Public Consultation Strategy is planned to ensure adequate consultation of members of the community. At the time of application submission, the Province of Ontario is in a state of emergency due to the global COVID-19 pandemic. While in person meetings and open houses have either been very restricted, or not possible we will continue to meet as permitted.

Accordingly, some components of the strategy will likely be adjusted including more on-line type of events.

The clients, with the assistance of the project architect and J.L. Richards and Associates, will continue with their proactive engagement in the planning process for the subject property. The team has completed the required Pre-Application Meeting with the City of Ottawa staff to identify the studies required to support the applications, as noted in the section below. Our team has reached out to the Councillor's (Catherine Kitts) Office and the Navan Community Association to inform them of the project.

The following steps in the consultation strategy are proposed or have been undertaken:

- Email notifications to the Councillor Kitts' Office;
- Email notifications to the community associations;
- Posting of public signage, to be completed by City staff, and;
- Online submission of comments through the City's Development Applications Portal.

In partnership with the City of Ottawa, all public engagement activities will comply with *Planning Act* requirements and/or City Public Consultation Policy. To start the process, our client will work with the City and the Councillor's Office to determine whether an Open House will be required and then, of course, assist in the preparation of the meeting. As this development is in line with the Ultimate Use of Lands plan presented to the City and community in 2012 we wouldn't expect significant concerns as part of this development.

### **3.0 POLICY AND REGULATORY FRAMEWORK**

---

#### **3.1 City of Ottawa Official Plan, 2003, as amended**

The City of Ottawa Official Plan, adopted by City Council in May 2003, has been updated and amended numerous times by both Council and the Ontario Municipal Board. For the purposes of this planning rationale, the on-line consolidated version of the Official Plan, including Amendments No. 150 and 180, were used.

The Subject Site is located within the Agricultural Resource Area.

There are no Secondary Plan or specific design requirements for this property.

#### **3.2 City of Ottawa Official Plan 2048**

The City of Ottawa's new Official Plan, adopted by City of Ottawa Council in November 2021, has been reviewed and evaluated to see if there were any policies that would preclude or be more restrictive to the development of the subject property for the intended use.

The Subject Site is located within the Agricultural Resource Area.

There are no Secondary Plan or specific design requirements for this property. The site has been developed in accordance with all supporting studies. The landscape plan has considered the City's request to add trees along Frank Kenny Road as well as native vegetation within the 30 m setback to the watercourse on the Bertom Farms (east side) which actually serves as a farmer's drain collecting tile drainage. This is accordance with the Bowfin fisheries report. Site servicing has been reviewed by the JLR and Golder professionals. Site grading and stormwater management has also been designed by JLR professional engineers and will meet enhanced water treatment as requested by South Nation Conservation.

#### **3.3 City of Ottawa Zoning By-Law 2008-250**

A rezoning was approved to zone the site to Rural Heavy Industrial Rural Exception 35 (RH [35r]) by By-law 2012-207. The exception permitted an office related to a utility as well as a storage yard and light industrial use limited to forestry workshop – warehouse limited to the storage and distribution of goods and equipment related to a utility – the storage of hydro transformers – and a minimum front yard setback of 10 metres.

Outside storage is not permitted within any required front yard or corner side yard and must be screened from abutting residential uses and public streets by an opaque screen 1.8 metres in height from finished grade.

#### **4.0 CONCLUSION**

---

During Phase 1 (2011-2012) an Ultimate Use of Lands Plan was developed. The proposed development will serve as the next progression of the HONI template based on latest advancements in pre-engineered structures.

The development of this new HYDRO ONE OPERATIONS CENTRE (HONI OC) on Frank Kenny Road is essential to meet Hydro One stakeholder requirements, current industry, regulatory, safety and operational standards and to allow Hydro One to perform its Business Line operations at this site. The Lines of Business (LoB) to be housed in this new facility are:

- Provincial Lines
- Design Services

It is our professional planning opinion that the proposed Site Plan constitutes good planning and is appropriate.

J.L. RICHARDS & ASSOCIATES LIMITED

Prepared by:



Marc Rivet, MCIP, RPP  
Associate, Senior Planner

Reviewed by:



Noé O'Brien  
Planner



[www.jlrichards.ca](http://www.jlrichards.ca)

**Ottawa**

864 Lady Ellen Place  
Ottawa ON Canada  
K1Z 5M2  
Tel: 613 728-3571

[ottawa@jlrichards.ca](mailto:ottawa@jlrichards.ca)

**Kingston**

203-863 Princess Street  
Kingston ON Canada  
K7L 5N4  
Tel: 613 544-1424

[kingston@jlrichards.ca](mailto:kingston@jlrichards.ca)

**Sudbury**

314 Countryside Drive  
Sudbury ON Canada  
P3E 6G2  
Tel: 705 522-8174

[sudbury@jlrichards.ca](mailto:sudbury@jlrichards.ca)

**Timmins**

201-150 Algonquin Blvd.  
East  
Timmins ON Canada  
P4N 1A7  
Tel: 705 360-1899

[timmins@jlrichards.ca](mailto:timmins@jlrichards.ca)

**North Bay**

200-175 Progress Road  
North Bay ON Canada  
P1A 0B8  
Tel: 705 495-7597

[northbay@jlrichards.ca](mailto:northbay@jlrichards.ca)

**Hawkesbury**

326 Bertha Street  
Hawkesbury ON Canada  
K6A 2A8  
Tel: 613 632-0287

[hawkesbury@jlrichards.ca](mailto:hawkesbury@jlrichards.ca)

**Guelph**

107-450 Speedvale Ave.  
West Guelph ON Canada  
N1H 7Y6  
Tel: 519 763-0713

[guelph@jlrichards.ca](mailto:guelph@jlrichards.ca)

