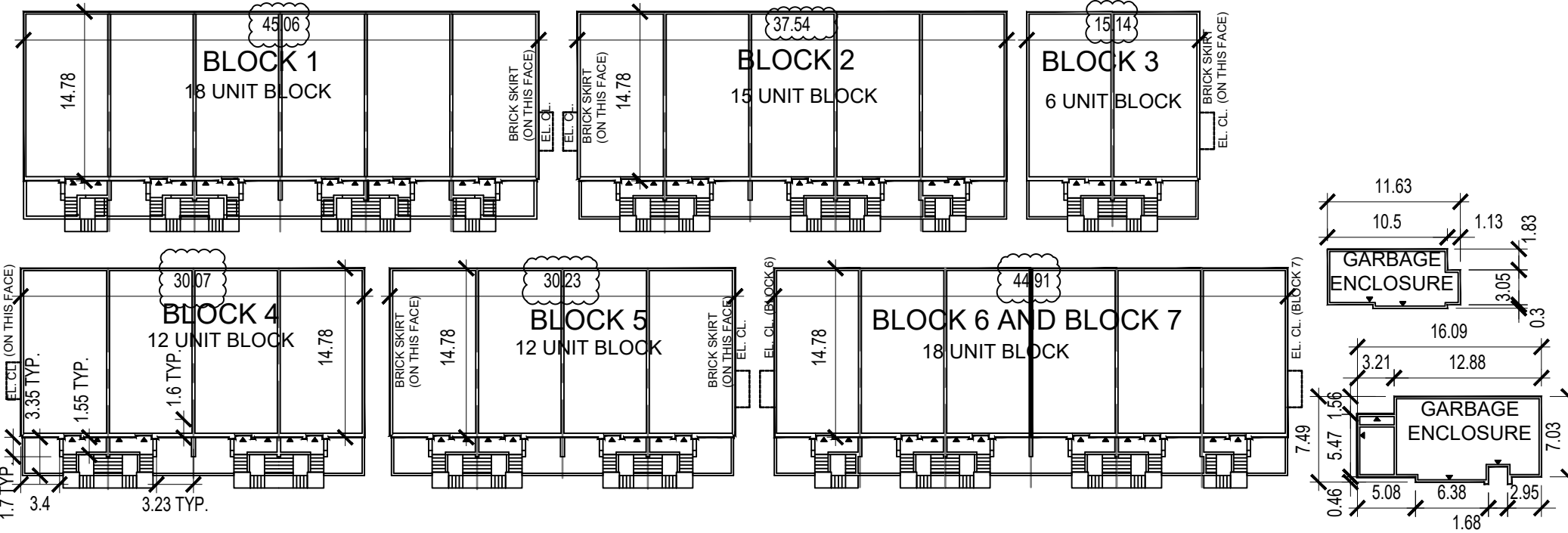




CLIENT

 **Urbandale**
CORPORATION

ISSUES		
No.	DESCRIPTION	DATE
1.	REVIEW PARKING, BLK FDNs, PATHWAYS, & ENTRANCES	2020/05/11
2.	ISSUED FOR SITE PLAN CONTROL	2020/08/21
3.	ISSUED FOR SITE PLAN CONTROL	2021/04/19
4.	REVISED AS PER CITY COMMENTS	2021/07/05
5.	REVISED PARKING SPACE SIZE AS PER CLIENT, AND COUNT BY BLK 1. ADDED CLARIFICATION DIMENSIONS TO BLOCK 1 AND 2 @ FRONT AND PARKING AT BACK, REVISED CONDO AND CONSTRUCTION PHASING AND CHARTS AS PER CLIENT	2022/01/11
6.	REVISED BUILDING FOOTPRINTS, FSI, GROSS FLOOR AREA, BUILDING AREA, DIMENSIONS, PATHWAYS, AND 1 LIGHT STANDARD	2022/03/30
3.	REV- ISSUED FOR SITE PLAN CONTROL UPDATE	2022/06/02

Electrical (Site Lighting):
JRP Engineering
9 Holgate Court, Kanata, ON K2K1B4, ca
info@jrpeng.com



ONTARIO ASSOCIATION
OF
ARCHITECTS
HEATHER M. REMPEL
LICENCE
7379

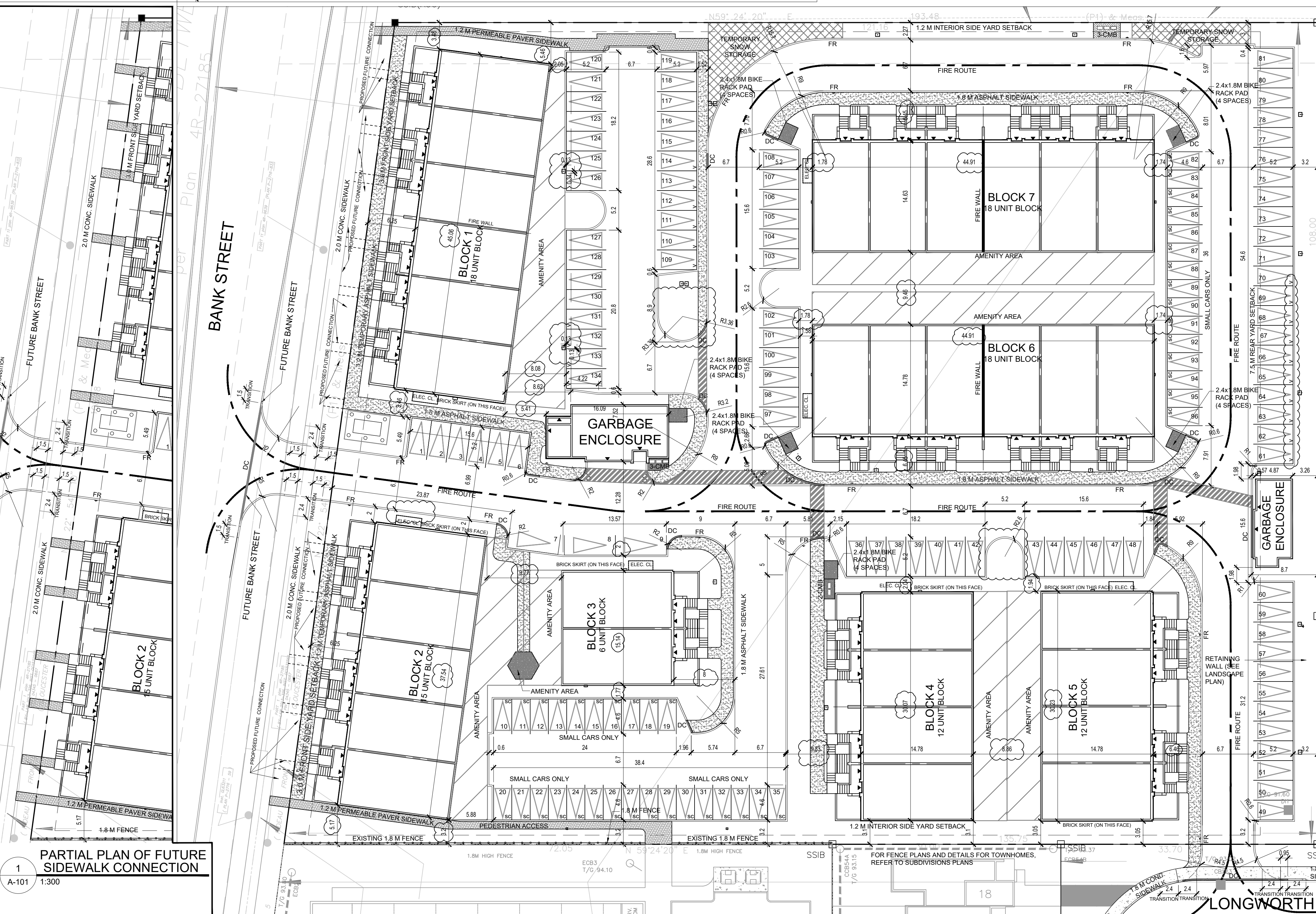
PROJECT


Cowan's
Grove

4791 Bank Street

SHEET NUMBER		ISSUE
A-101		3

UNIT ENTRANCE	PARALLEL PARKING SPACE	SMALL CAR PARKING SPACE	FIRE ROUTE	PROPERTY LINE	FRONT/SIDE/REAR YARD SETBACKS	ASPHALT	CEMENT PAD & BOLLARDS (REFER TO ELECTRICAL)
STANDARD PARKING SPACE	FIRE ROUTE (NO PARKING) SIGNAGE	FIRE ROUTE	SIDE WALK	ASPHALT	CONC. PAD	PERMEABLE PAVERS	CEMENT PAD W/ BOLLARDS
UNIT ENTRANCE	STANDARD PARKING SPACE	SMALL CAR PARKING SPACE	FIRE ROUTE	PROPERTY LINE	FRONT/SIDE/REAR YARD SETBACKS	ASPHALT	CEMENT PAD & BOLLARDS (REFER TO ELECTRICAL)
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UNIT ENTRANCE							



LANDSCAPE BUFFER LOCATION	REQUIRED	PROVIDED	MINOR VARIANCE REQ.
FRONT YARD (BANK STREET)	3.0 M	3.0 M	NO
REAR YARD	3.0 M	3.0 M	NO
INTERIOR SIDE YARD	3.0 M	3.0 M	NO
EXTERIOR SIDE YARD	3.0 M	3.0 M	NO
PARKING LOT % OF LANDSCAPING	15% OF PARKING LOT	843.81/2220.74=38%	

ZONING PROVISIONS	REQUIRED	PROVIDED	MINOR VARIANCE REQ.
MINIMUM LOT AREA	NO MINIMUM	1387.69 SQ. M.	NO
MINIMUM LOT WIDTH	NO MINIMUM	108.5 M.	NO
MAXIMUM HEIGHT	10.5 M.	10.5 M.	NO
FRONT YARD SETBACK	3.0 M	3.0 M	NO
REAR YARD SETBACK	7.5 M	7.5 M	NO
INTERIOR SIDE YARD SETBACK	1.2 M	3.0 M	NO
EXTERIOR SIDE YARD SETBACK	3.0 M	N/A	NO

AMENITY SPACE REQUIREMENTS	REQUIRED	PROVIDED	MINOR VARIANCE REQ.
TOTAL AMENITY AREA (SQ. M PER UNIT)	0.6 SQ. M.	16.1 SQ. M. (INN)	NO
COMMUNAL AMENITY AREA (SQ. M)	297 SQ. M.	1468.7 SQ. M.	NO

GENERAL PARKING PROVISIONS	REQUIRED	PROVIDED	
PARKING SPACE DIMENSIONS	2.6 M x 5.2 M and UP TO 4.0 M TOTAL CAR PARKING SPACE 1.4 M x 4.0 M PARALLEL PARKING SPACE 1.4 M x 6.7 M	2.6 x 5.2 M x 6.7 M and 2.6 M x 4.0 M	
PARKING SPACE RATE TOTAL	118 SPACES	134 SPACES	NO
PARKING SPACE RATE PER UNIT	1.0 PER UNIT = 99 (MIN.)	115	NO
VISITOR PARKING SPACE RATES	0.29 PER UNIT = 19 (MIN.)	20	NO
PARKING SPACE RATE FOR SMALL CAR (40% ALLOWABLE)	47 SPACES ALLOWED (MIN.)	41 SPACES (40%)	NO
	0.5 X 190 UNITS = 95		
BICYCLE PARKING		121/24 OUTDOOR; REMAINING INDOOR MECHANICAL ROOMS OF UNITS	
DRIVE ALAIE PROVISIONS	6.7 M	6.7 M	
BIKE RACK PROVISIONS	6.7 M	6.7 M	

WINTER SNOW STORAGE		SNOW WILL BE TRANSPORTED OFF SITE	
ZONING COMPLIANCE TABLE BY PHASE			
PHASE 1 COMPLIANCE TABLE			
AMENITY SPACE REQUIREMENTS	REQUIRED	PROVIDED	MINOR VARIANCE REQ.
COMMUNAL AMENITY AREA	153.0 SQ. M.	621.84 SQ. M.	NO
GENERAL PARKING PROVISIONS	REQUIRED	PROVIDED	
PARKING LOT LOT OF LANDSCAPING	15% OF PARKING LOT	640.00 (20% MIN/15% NO)	NO
PARKING SPACE RATE TOTAL	61 SPACES	68 SPACES (INCL. VISITORS)	
PARKING SPACE RATE PER	1.04-151 (5% MIN.)	55	
VISITOR PARKING SPACE RATES	20 SPACES MINETS + 10 (MIN.)	10	NO
PARKING SPACE RATE FOR	20 SPACES ALLOWED	26 SPACES	
PER MONTHLY ALLOWABLE	5000 €	8 OUTDOOR, 51	

ZONING CONFORMANCE TABLE BY PHASE			
PHASE 2 COMPLIANCE TABLE			
AMENITY SPACE REQUIREMENTS	REQUIRED	PROVIDED	MINOR VARIANCE REQUIRED
COMMUNAL AMENITY AREA (SQ. M)	72.0 SQ. M	286.0 SQ. M	NO
GENERAL PARKING PROVISIONS	REQUIRED	PROVIDED	
PARKING LOT LAYOUT & LANDSCAPING	15% OF PARKING LOT	375.13/72.38 = 5.19 (30%)	NO
PARKING SPACE RATE TOTAL	29 SPACES	66 SPACES (INCL VISITORS)	NO
PARKING SPACE RATE PER UNIT	1.0 x 48 UNITS = 48	56	NO
VISITOR PARKING SPACE RATE	0.2 x 48 UNITS = 10	10	NO
PARKING SPACE RATE FOR SMALL CAR (40% ALLOWABLE)	19 SPACES ALLOWED (MN)	19 SPACES (23%)	NO
BICYCLE PARKING BY PHASE	48X30 = 5.4	16 OUTDOOR 48 INDOOR	NO


LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

GENERAL NOTE:

APPROVED
ENTRANCE DESIGN AND
COVERED
TO BE USED TO MEET CITY
OF KENTWA STANDARD 28, 2022
DETAIL SC7.1

Project North

D07-12-20-0015