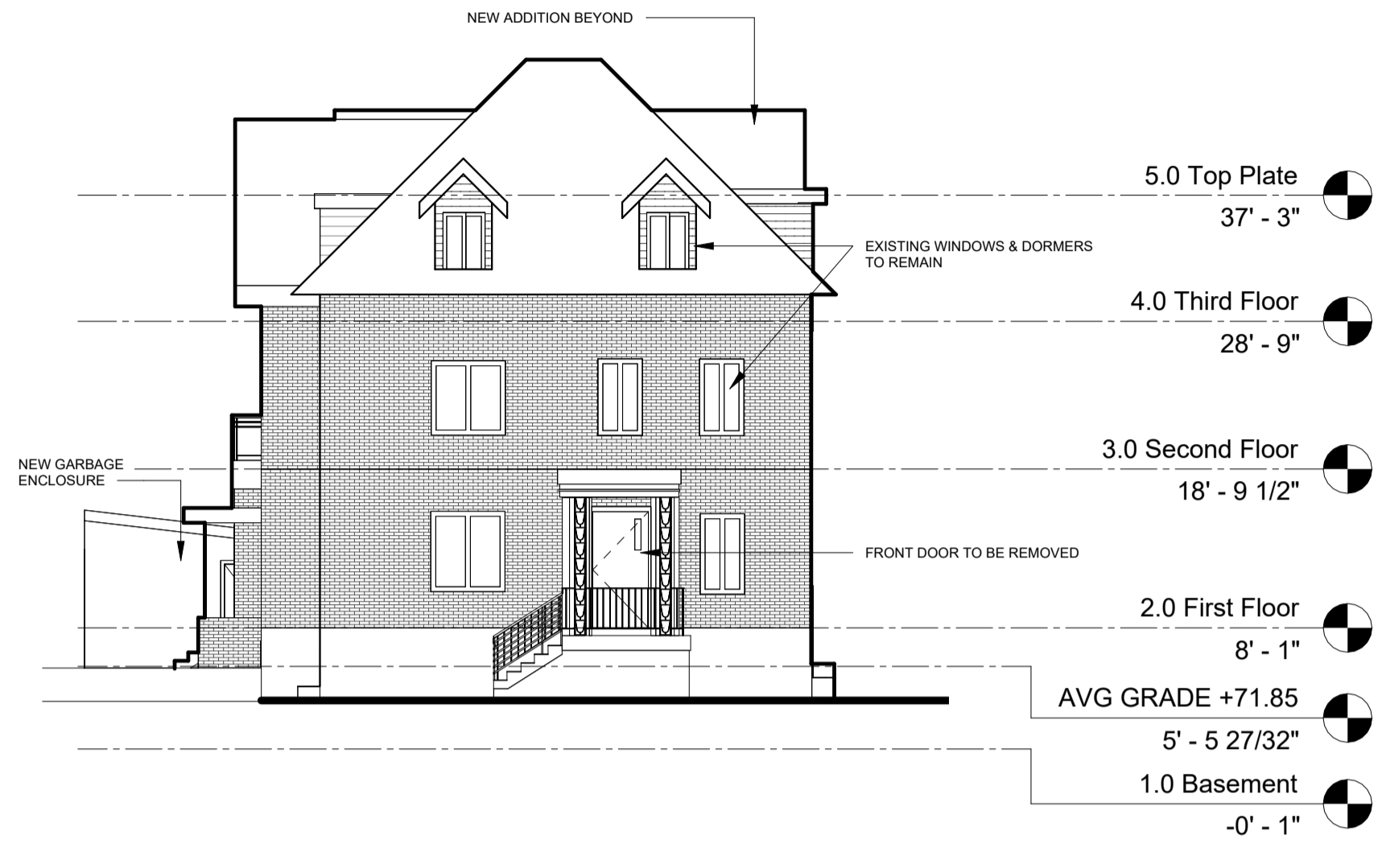
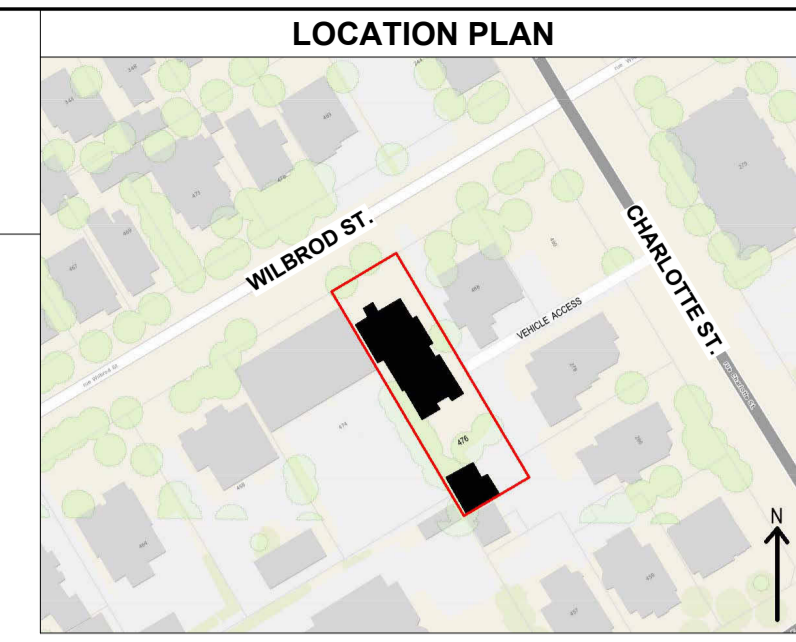
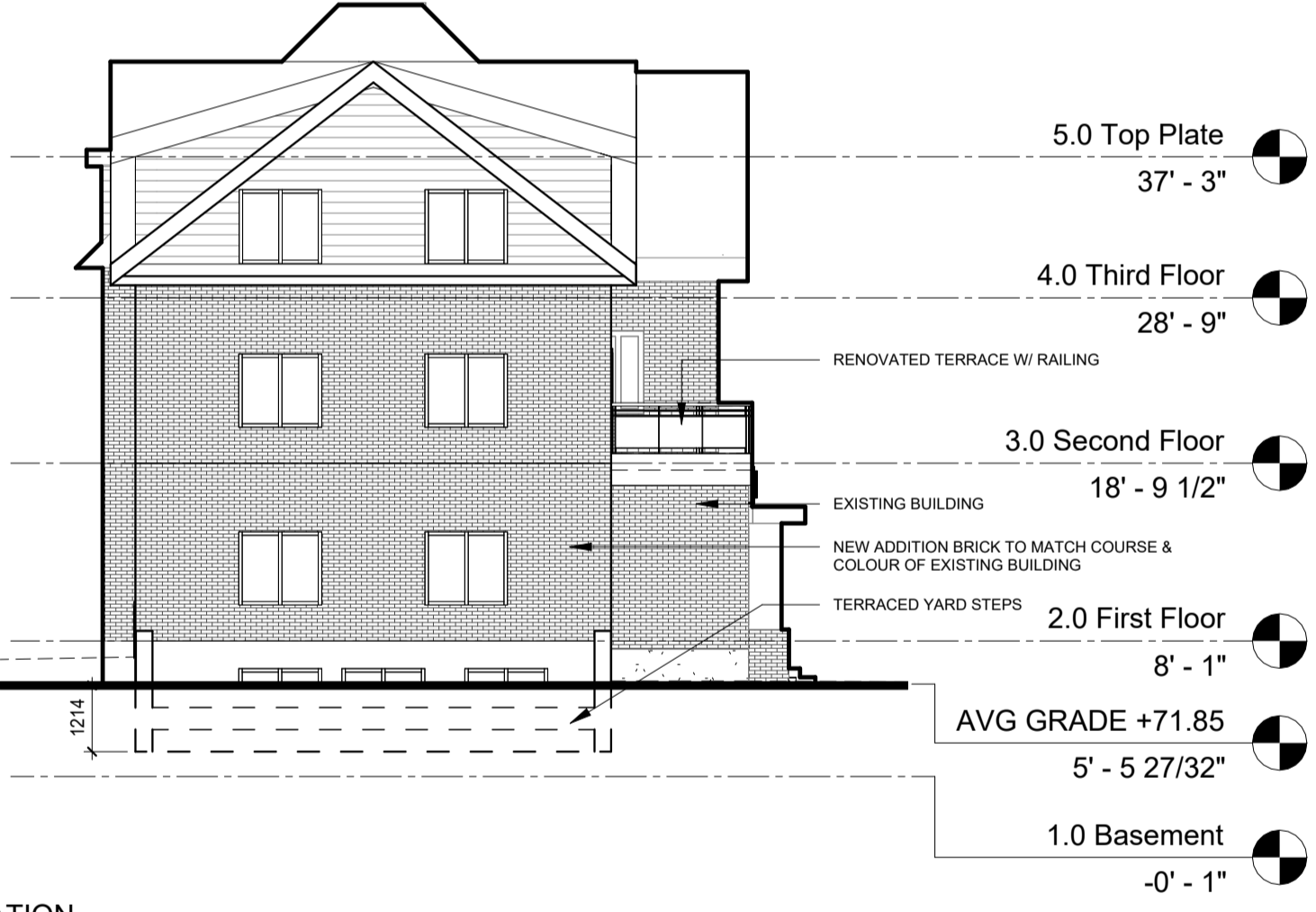


**GENERAL NOTES**

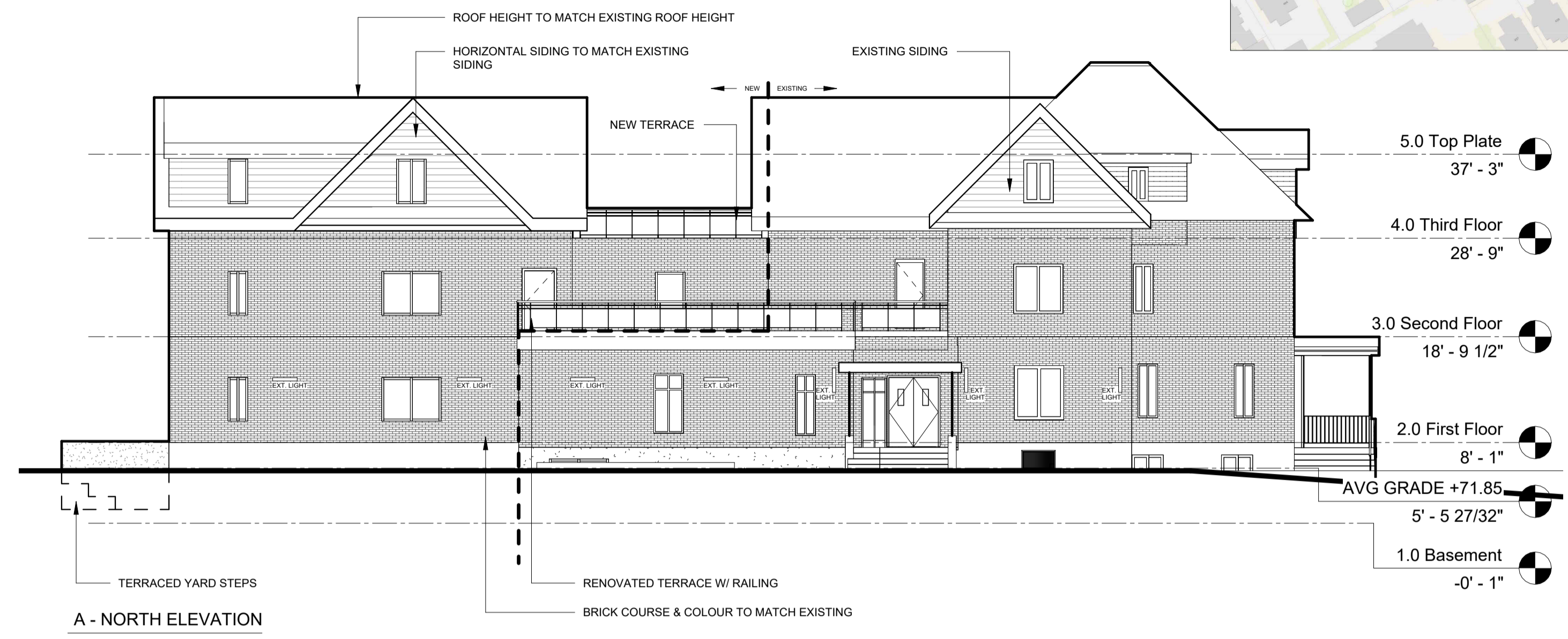
1. SEE SITE PLAN FOR GARAGE ENCLOSURE DWGS
2. AVERAGE GRADE WAS DETERMINED BY: CALCULATING THE AVERAGE GRADE POINTS AT - THE INTERSECTION OF INTERIOR SIDE LOT LINES WITH THE MINIMUM REQUIRED FRONT YARD AND REAR YARD SETBACKS OF THE ZONE IN WHICH THE LOT IS LOCATED.



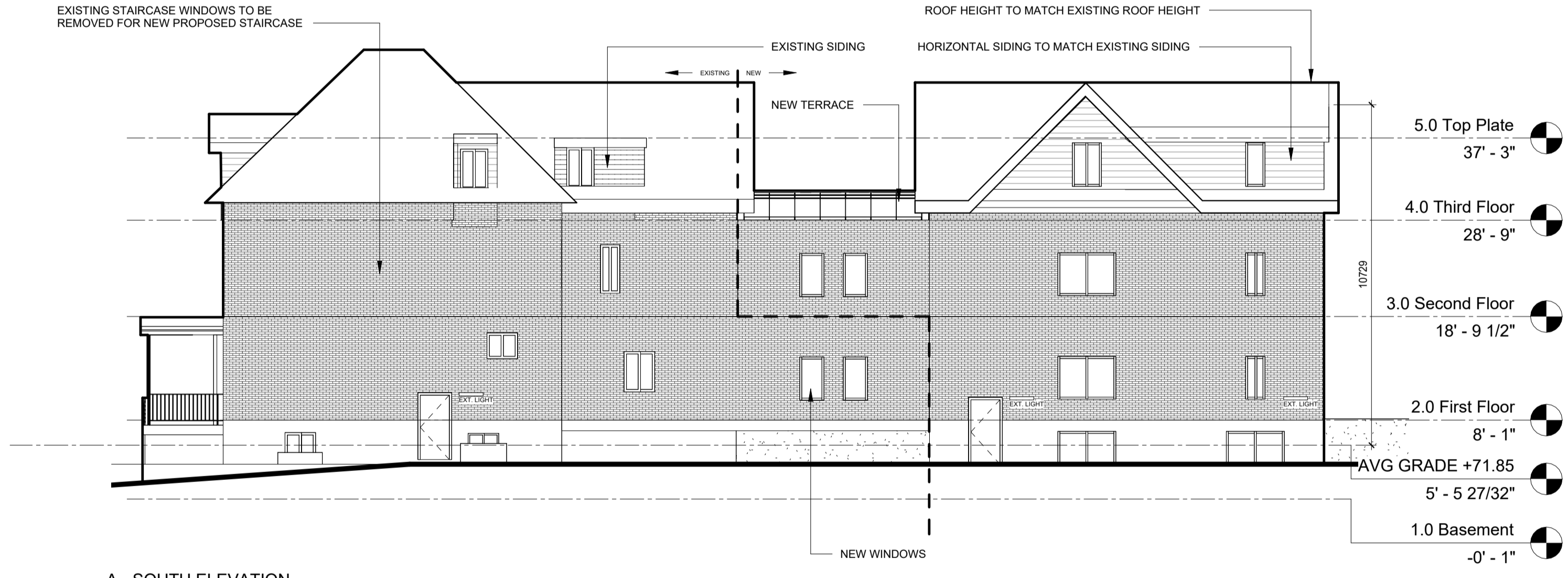
A - WEST ELEVATION



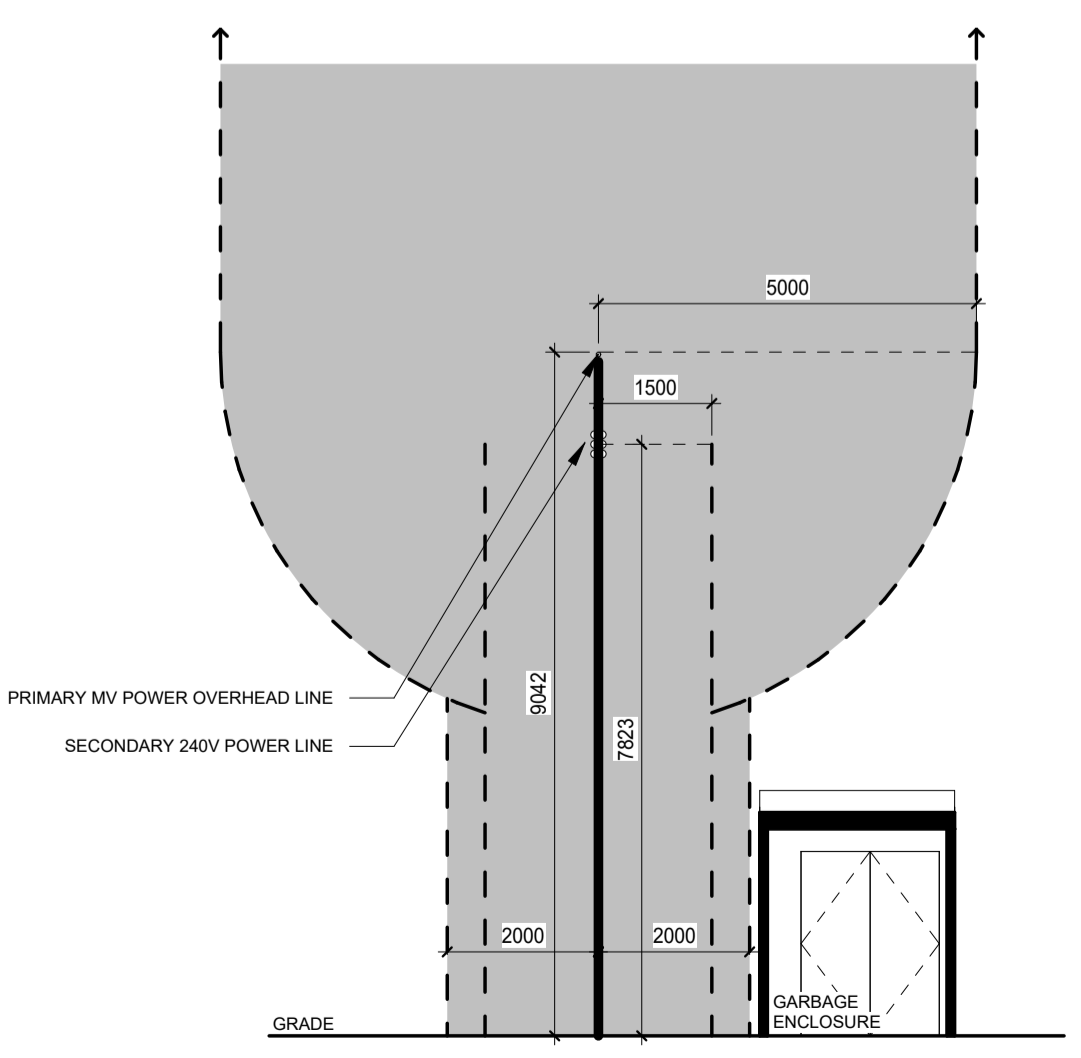
A - EAST ELEVATION



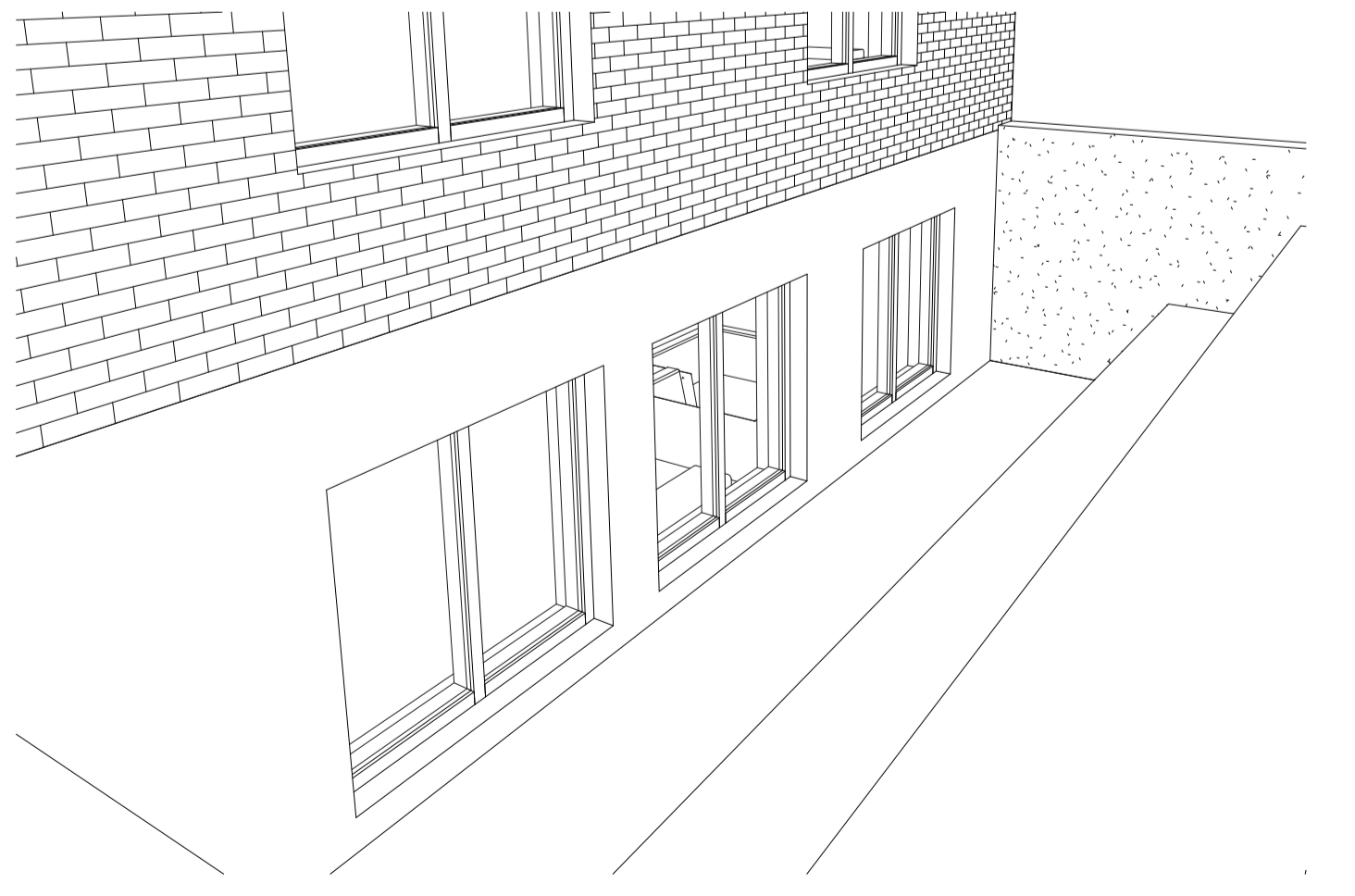
A - NORTH ELEVATION



A - SOUTH ELEVATION



UTILITY POLE CLEARANCE



3D TERRACE VIEW

**CONSULTANTS**

**ARCA-VERDE ARCHITECTURE INC.**  
304-1306 Wellington Street, Ottawa, Ontario, K1Y 3B2  
(P) 613-702-5033  
www.arca-verde.ca

**OWNER INFORMATION**  
**SLEEPWELL PROPERTY MANAGEMENT**  
COLIN HOPKINS  
423 BRONSON AVE. OTTAWA, ONTARIO K1R 6J5  
(P) 613-521-2000  
colin@sleepwellmanagement.com

REVISIONS		
NO.	DESCRIPTION	REVISION DATE
1	SITE PLAN PRE-APPLICATION	12-22-2021
2	SITE PLAN APPLICATION	08-18-2022

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND IMMEDIATELY NOTIFY ARCHITECT OF ALL DISCREPANCIES

**PROJECT**

A A DETAIL NO.  
B B DRAWING NO. - WHERE DETAIL REQUIRED

SEAL

PROJECT TITLE  
**WILBROD APARTMENTS**

APPROVED BY  
AVA

DRAWN BY  
AVA

ADDRESS  
476 Rue Wilbrod St, Ottawa, ON K1N 6M8

CLIENT NAME  
SleepWell

PROJECT NO.  
21-06-10-01-01

SHEET NAME  
**ELEVATIONS - SITE PLAN APPROVAL**

DRAWING NO.  
**A300**

SCALE: As indicated SHEET SIZE: ARCH A1 - 594 x 841

SITE PLAN APPLICATION

D07-12-22-0051