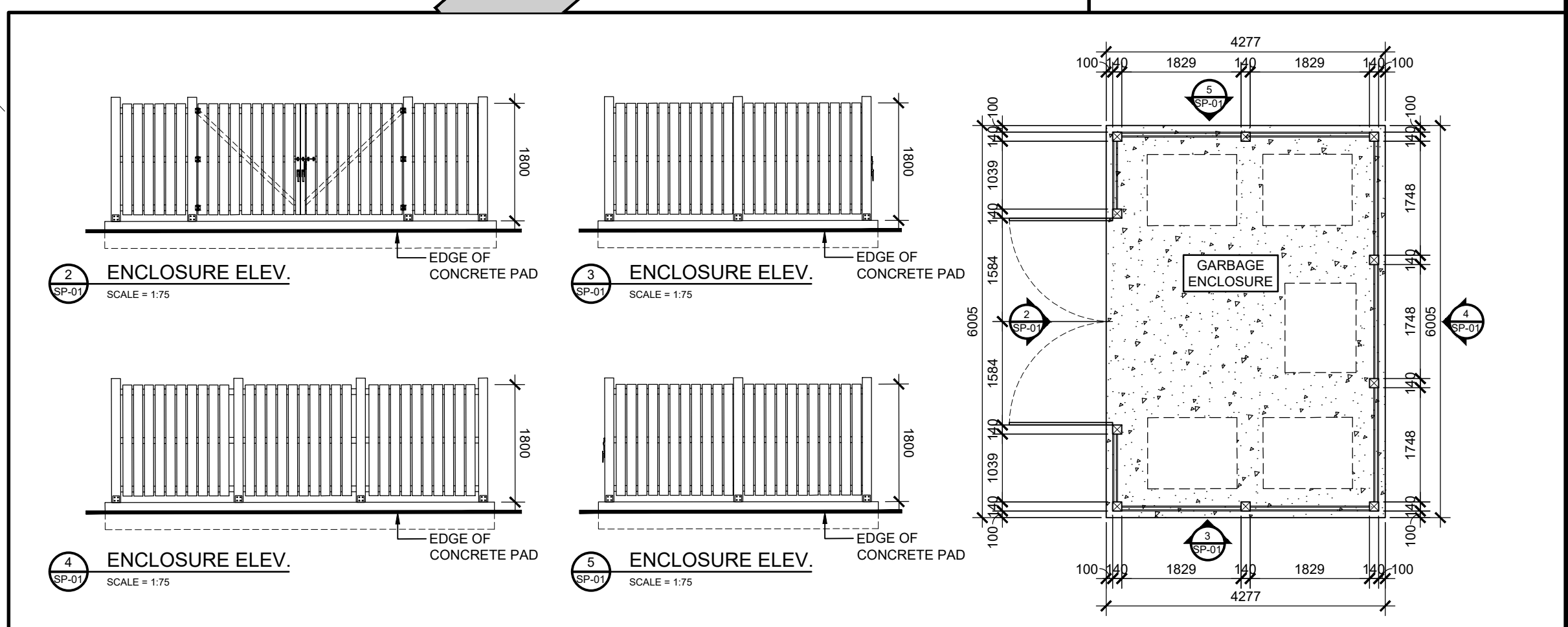


CLIENT:

LEGEND:

- PROPERTY LINE
- PROPERTY SETBACK
- OVERHEAD WIRES
- EXISTING BUILDING
- BUILDING ENTRANCE
- W.P. WALL MOUNTED LIGHT
- H.P. HYDRO POLE
- F.H. FIRE HYDRANT
- M.H. MANHOLE
- C.B. CATCH BASIN
- RETAINING WALL
- D.C. DEPRESSED CURB
- X 100.00 EXISTING GRADE
- 100.00 PROPOSED GRADE
- INTERLOCK PAVERS
- DESIGNATED FIRE ROUTE
- TERRACE



SITE STATISTICS 4 CAMPBELL REID COURT		REQUIRED	PROVIDED
Zone	Current	RU	
Lot Area		8000 sqm	7917 sqm (Minor Variance required)
Lot Width		50.0 m	25.84 m (Minor Variance required)
Maximum Building Height		12.0m	8.7 m (Existing two storey house) 5.6 m (Proposed Veterinary Clinic)
Minimum Front Yard (Campbell Reid Court)		10.0m	27.7 m (Existing two storey house)
Minimum Interior Side Yard		5.0 m	6.4 m (Existing two storey house) 8.1 m (Proposed Veterinary Clinic)
Minimum Corner Side Yard (March Road)		10.0m	10.0m
Minimum Rear Yard (Dunrobin Road)		10.0m	15.1 m (Proposed Veterinary Clinic)
Building Footprint		n/a	221 sqm (Existing two storey house) 504 sqm
Maximum Lot Coverage		20%	220 sqm (Existing two storey house) 504 sqm (Proposed Veterinary Clinic) 51 sqm (Maintenance Shed) 36 sqm (Utility Shed) 811 sqm TOTAL 10%
PARKING SPACES		4 Spaces per 100 sqm of medical facility GFA Minus exterior walls, washrooms and utility Laundry room 431 sqm 18.3 required	18 Spaces
Required Bike Racks		1 Space per 1000 sqm of medical facility GFA (0.4 required)	3 Spaces

No.	REVISIONS	BY	DATE
13			
12			
11			
10			
09	FOR REVIEW	PE	SEPT. 21 2022
08	FOR REVIEW	PE	AUG. 08 2022
07	FOR REVIEW	PE	MAR. 14 2022
06	FOR REVIEW	PE	OCT. 28 2021
05	FOR REVIEW	PE	OCT. 07 2021
04	FOR REVIEW	PE	AUG 03 2021
03	FOR REVIEW	PE	JULY 21 2021
02	FOR REVIEW	PE	JULY 09 2021
01	FOR REVIEW	PE	MAY 18 2021

NOT AUTHENTIC UNLESS SIGNED AND DATED

P2 concepts
CONSULTING ENGINEERS

DESIGNED BY: P.E.
DRAWN BY: P.E.
APPROVED BY: P.E.

PROJECT
**4 CAMPBELL REID ROAD
PROPOSED VETERINARIAN
CLINIC**

DRAWING TITLE
SITE PLAN

PROJECT NO.
0423

DATE
MAY, 18, 2021

SP-01