

**SITE / BUILDING / PARKING SUMMARY:**

**TOTAL SITE AREA = 33,784 m<sup>2</sup> (8.35 acres)**  
**VW SITE = 11,259 m<sup>2</sup> (2.78 acres)**  
**SUBARU SITE = 11,071 m<sup>2</sup> (2.74 acres)**  
**NISSAN SITE = 11,453 m<sup>2</sup> (2.83 acres)**  
**= 33,784 m<sup>2</sup> (8.35 acres)**

**BUILDING AREAS: (OUT-TO-OUT)**  
**VW SITE = 2,970 m<sup>2</sup>**  
**SUBARU SITE = 2,989 m<sup>2</sup>**  
**NISSAN SITE = 1,840 m<sup>2</sup>**  
**= 7,599 m<sup>2</sup>**

**OVERALL FLOOR SPACE INDEX = 0.25**  
**LOT COVERAGE:**  
**VW SITE = 2,448 m<sup>2</sup>**  
**SUBARU SITE = 2,781 m<sup>2</sup>**  
**NISSAN SITE = 1,525 m<sup>2</sup>**  
**= 6,754 m<sup>2</sup>**

**TOTAL LOT COVERAGE = 20.0%**  
**MINIMUM WIDTH OF LANDSCAPING:**  
**ABUTTING STRANDHERD DR. = 6.0m**  
**ABUTTING STREET = 3.2m**  
**ABUTTING O'KEEFE DRAINAGE CORRIDOR = 3.0m**  
**OTHER CASES = 0.0m**

**TOTAL LANDSCAPE AREA:**  
**VW SITE = 9,105 m<sup>2</sup>**  
**SUBARU SITE = 1,128 m<sup>2</sup>**  
**NISSAN SITE = 1,743 m<sup>2</sup>**  
**= 11,976 m<sup>2</sup>**

**% LANDSCAPE AREA = 35.4%**  
**PARKING ON SITE:**

	REQ'D	PROVD
VW SITE	59 spaces	183 spaces
SUBARU SITE	xx	203 spaces
NISSAN SITE	37 spaces	170 spaces
	= xx	558 spaces

**BARRIER-FREE PARKING:**

	REQ'D	PROVD
VW SITE	1x 'A', 2x 'B'	3x 'A'
SUBARU SITE	xx	2x 'A', 1x 'B'
NISSAN SITE	1x 'A', 1x 'B'	1x 'A', 1x 'B'

'A' = 3.4m x 5.2m  
 'B' = 2.6m x 5.2m

**BICYCLE PARKING:**

	REQ'D	PROVD
VW SITE	2	2
SUBARU SITE	3	3
NISSAN SITE	2	2
<b>TOTAL</b>	<b>7</b>	<b>7</b>

**SITE PLAN SYMBOLS**

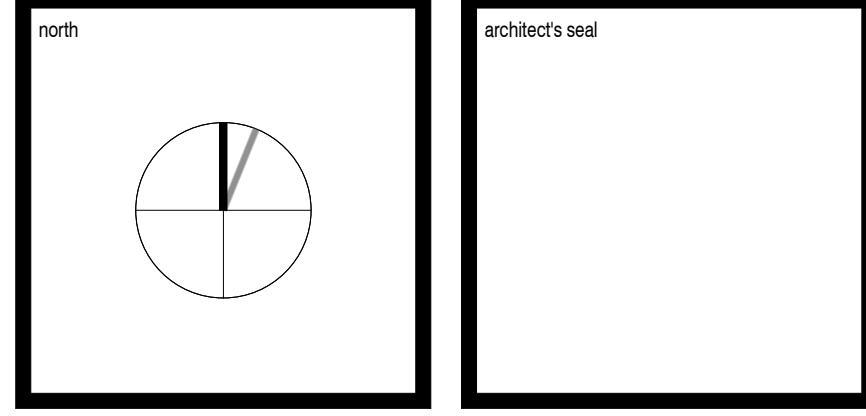
ICON	DESCRIPTION
[Symbol]	Existing Buildings
[Symbol]	Proposed Buildings
[Symbol]	Property Lines
[Symbol]	Setback Lines
[Symbol]	Fence
[Symbol]	Road Lanes
[Symbol]	Existing Concrete Curb
[Symbol]	Proposed Concrete Curb
[Symbol]	Depressed Concrete Curb
[Symbol]	Concrete Sidewalk
[Symbol]	Proposed Concrete Pavers
[Symbol]	Sawcut Asphalt
[Symbol]	Existing Landscape Area
[Symbol]	Proposed Landscape Area
[Symbol]	Proposed Turfstone Area
[Symbol]	Barrier Free Parking Space
[Symbol]	Exterior Bicycle Parking Spot with Bolard Style Bike Rack
[Symbol]	Two Way Vehicle Circulation
[Symbol]	Principal Entrance Door
[Symbol]	Exterior Door ("OH" indicates Overhead Door)
[Symbol]	Exterior 6m Wide Fire Route (12m centerline radius on all turns, TYP.)
[Symbol]	Fire Department Connection
[Symbol]	Fire Hydrant
[Symbol]	Stop Sign

**TOPOGRAPHICAL SKETCH OF ELEVATIONS OVER PART OF**  
**BLOCK 4 REGISTERED PLAN 4M-1538**  
**CITY OF OTTAWA**  
 ANNIS, O'SULLIVAN, VOLLEBECK Ltd.  
 E.H. Herweyer O.L.S.  
 Field Work Completed: Sept 2019

**REVISIONS**

No.	DATE	DESCRIPTION
0	11 Jan 2022	Issued for Coordination
1	22 Apr 2022	Issued for Coordination
2	20 July 2022	Progress for Review
3	09 Aug 2022	Revised per SPA City Comments 1
4	18 Aug 2022	Issued for Consultant Coordination

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and / or omissions to the Architect. All contractors must comply with all pertinent codes and by-laws. Do not scale drawings. This drawing may not be used for construction until signed by KWC Architects Inc. and shall not be used without the Architect's consent.



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**owner**  
 ZENA INVESTMENT CORPORATION

**project**  
 MYERS BARRHAVEN SUBARU AUTOMOBILE DEALSHIP  
 4149 Strandherd Drive

**drawing title**  
 SITE PLAN - OVERALL COMPOSITE PLAN

**project no.** kwc 2174 **drawing no.**  
**scale** As indicated **A010A**  
**drawn by** CM / AK  
**date** 11 JANUARY 2022

1 SITE PLAN OVERALL  
 A010A 1:400

