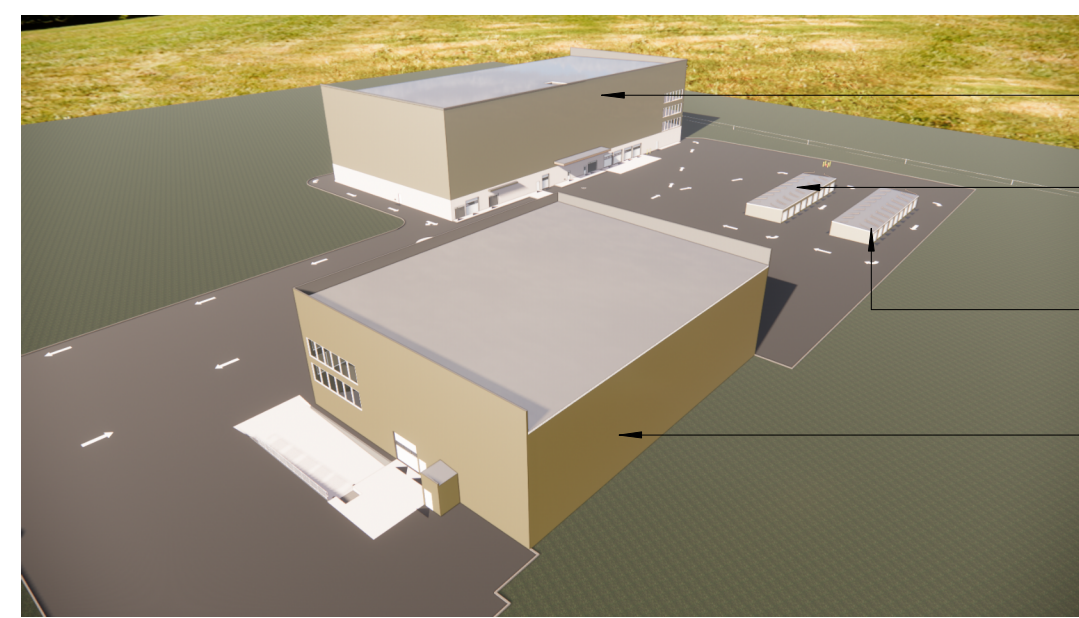


SITE LEGEND:	
	PROPERTY LINE
	ZONING SETBACKS
	FIRE ROUTE
	GLYCOL HEAT TRACING
	2.6m x 5.2m PARKING SPACE (YELLOW)
	3.4m x 1.5m x 5.2m BARRIER FREE PARKING SPACE (YELLOW)
	2.6m x 6.7m PARALLEL PARKING SPACE (YELLOW)
	LIGHT STANDARD (REFER TO ELECTRICAL)
	EXIT OR ENTRANCE (REFER TO SITE PLAN FOR ADDITIONAL NOTES)
	0.6mx1.8m BICYCLE PARKING SPACE
	EXIST. MH
	EXIST. FH
	EXIST. SAN. MH
	EXIST. MH THH
	EXIST. CB
	NEW MH
	NEW CB
	FDC
	GM
	1.5m WIDE PAINTED STRIPED PEDESTRIAN WALKWAY (YELLOW)
	REMOVE EXISTING LANDSCAPING IN THE FUTURE ROW AND REPLACE WITH TOP SOIL/SEED/GRASS (REFER TO LANDSCAPE DRAWINGS)
	NEW LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
	CONCRETE SLAB
	EXISTING MANHOLE COVER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY MANHOLE COVER
	EXISTING MANHOLE COVER THH
	EXISTING CATCH BASIN
	NEW MANHOLE COVER
	NEW CATCH BASIN
	FIRE DEPARTMENT CONNECTION
	NATURAL GAS METER (REF. TO MECH.)
	1.5m WIDE PAINTED STRIPED PEDESTRIAN WALKWAY (YELLOW)
	REMOVE EXISTING LANDSCAPING IN THE FUTURE ROW AND REPLACE WITH TOP SOIL/SEED/GRASS (REFER TO LANDSCAPE DRAWINGS)
	NEW LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
	CONCRETE SLAB



2 3D VIEW - SOUTH-NORTH AERIAL

A-1001 Scale: NTS

GENERAL NOTES:

- U-HAUL WILL PROVIDE "BUTLER" STAMPED ENGINEERING DRAWINGS FOR PERMIT SUBMISSION. WE ARE ASSUMING THAT THE BUILDING IS SUPPLIED, AND WE DESIGN THE FOUNDATIONS FOR IT.
- *AS CORRESPONDED BETWEEN U-HAUL AND COLETTE GORNI, CITY PLANNER, ON MARCH 21st 2022. THE ZONING FOR THE SITE IS IL6(1414) H(30)-H (LIGHT INDUSTRIAL, SUBZONE 6, URBAN EXCEPTION 1414, HEIGHT LIMIT OF 30M, WITH A HOLDING SYMBOL). THIS ZONING PERMITS A MAXIMUM HEIGHT OF 30M, WHICH SHOULD ALLOW A 5-STORY BUILDING (ASSUMING EACH STOREY HAS A HEIGHT OF 3-4M).

ALL OTHER ZONING REQUIREMENTS CAN BE FOUND IN TABLE 203 OF THE ZONING BY-LAW. PLEASE ALSO REVIEW SECTION 204(6) OF THE ZONING BY-LAW AND URBAN EXCEPTION 1414 FOR ADDITIONAL PROVISIONS APPLICABLE TO THE SITE.

SITE DATA AND ZONING INFORMATION		
PROJECT LOCATION	30 FRANK NIGHBOR PLACE, OTTAWA, ONTARIO, K2V 1B9	
LEGAL DESCRIPTION	PART OF BLOCK 2, REGISTERED PLAN 4M-1012, CITY OF OTTAWA.	
PROPERTY OWNER	AMERCO REAL ESTATE COMPANY 2727 N. CENTRAL AVENUE, PHOENIX, AZ USA 85004. PHONE: (602) 263-6502	
ZONING DESIGNATION	IL6(1414) H(30)-H - LIGHT INDUSTRIAL	
ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	2000 m ²	38,245.6 m ²
MINIMUM LOT FRONTAGE	NO MINIMUM	148.11 m
MAX LOT COVERAGE	65%	14%
MAXIMUM FLOOR INDEX	2	0.14
FRONT YARD SETBACK	12 m (39.4 FT)	68.3 m (223'-11")
INTERIOR SIDE YARD SETBACK	7.5 m (25 FT)	8.5 m (28')
REAR YARD SETBACK	7.5 m (25 FT)	43.1 m (141'-6")
EXTERIOR YARD SETBACK	7.5 m (25 FT)	7.5 m (25 FT)
MAXIMUM BUILDING HEIGHT	30 m*	21.3 m
LANDSCAPE BUFFER	- FRONT = 3 m - SIDE = NO MINIMUM - REAR = 3 m	- FRONT = 3 m - SIDE = 3 TO 7.5 m - REAR = 5.3m
LANDSCAPE AREA / PERCENTAGE OF SITE AREA	N/A (INDUSTRIAL ZONE)	3811.6 m ² / 10.1% OF SITE AREA
PARKING SPACES	101	101
B.F. PARKING SPACES	2	3
LOADING PARKING SPACES	2	2
BICYCLE PARKING SPACES	10	10

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ISSUES

No.	DESCRIPTION	DATE
1	CONCEPT DESIGN	2022-04-29
2	ISSUED FOR SITE PLAN CONTROL APPLICATION	2022-05-18
3	DESIGN DEVELOPMENT	2022-06-03
4	ISSUED FOR PERMIT	2022-07-19
5	RESPONSE TO SPC COMMENTS	2022-08-26

KEYPLAN

CONSULTANTS

ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION:
IBI GROUP - OTTAWA
333 PRESTON STREET UNIT 400, OTTAWA, ON K1S 5M4

CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

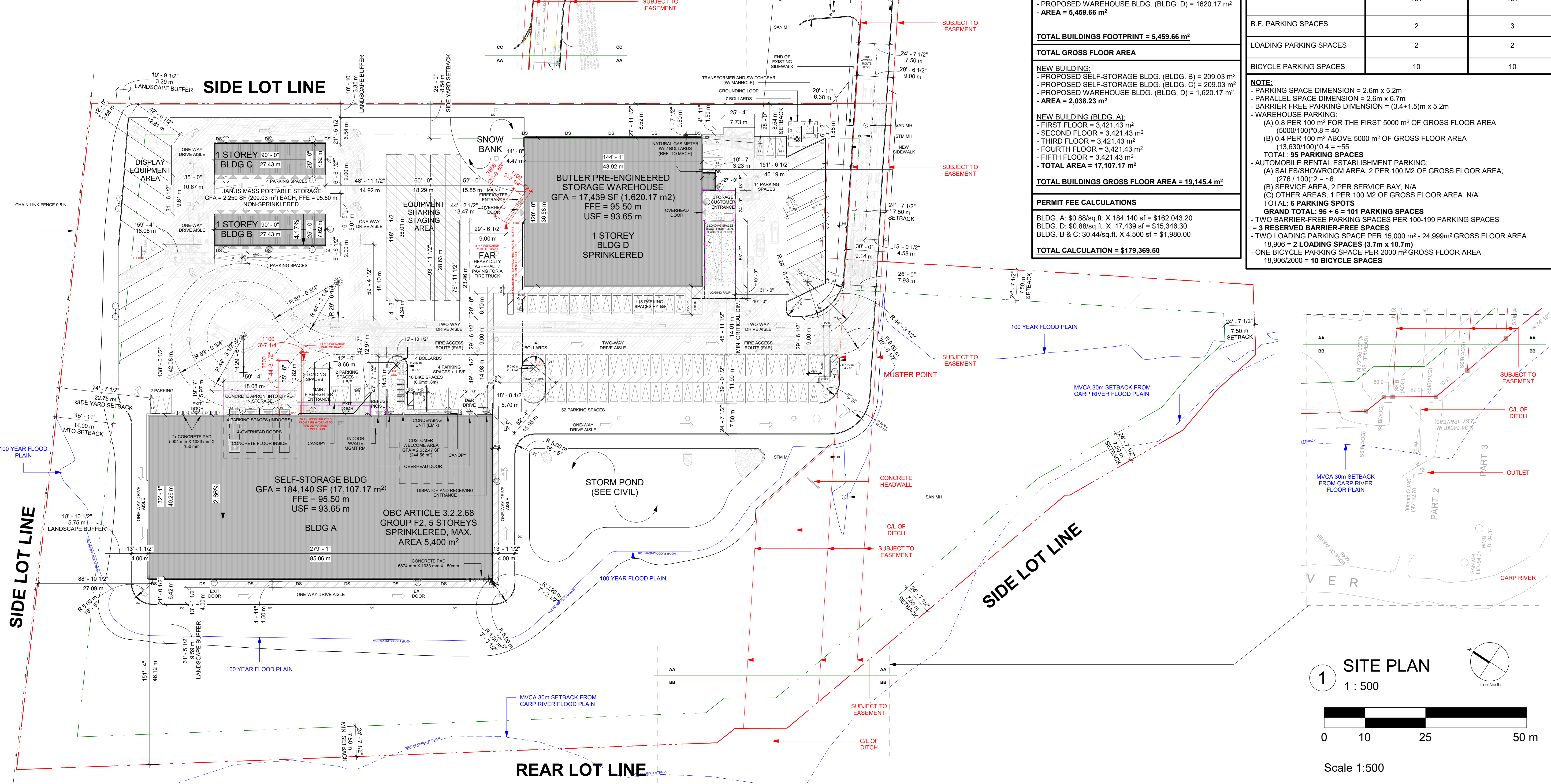
GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS
1188 WOODWARD DRIVE, OTTAWA, ON K2C 3R8

CLELAND JARDINE ENGINEERING LTD
200-580 TERRY FOX, KANATA, ON, K2L 4B9

STATE OF THE ART ACOUSTIC INC.
43-1010 POLYTEK STREET, OTTAWA, ON K1J 9J3

J.D. BARNES LTD
103-82 STANLIE DRIVE, OTTAWA, ON K2K 2A9

SENEZ CONSULTING LTD.,
208 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7



TOTAL LAND AREA
9.44 ACRES / 411,673 SQ. FEET / 38,245.6 SQ. METERS

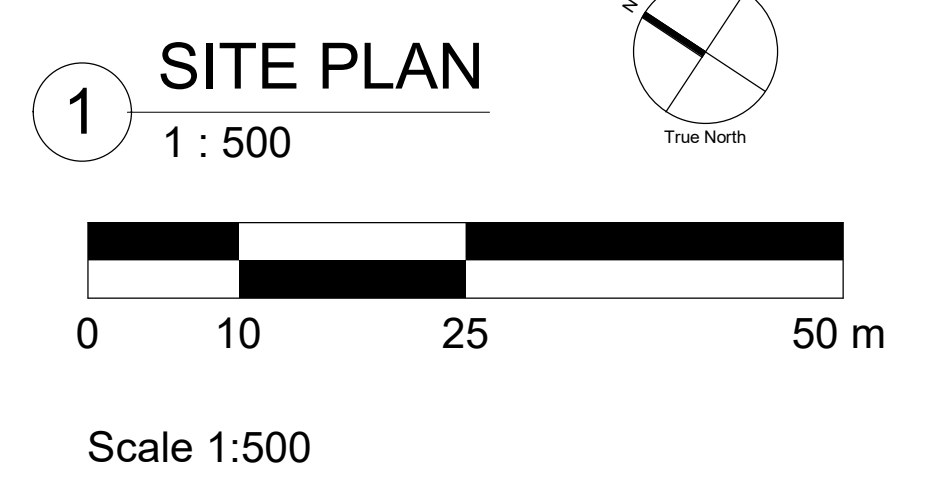
TOTAL FOOTPRINT AREA
NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. A) = 3421.43 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1620.17 m²
- AREA = 5,459.66 m²

TOTAL BUILDINGS FOOTPRINT = 5,459.66 m²

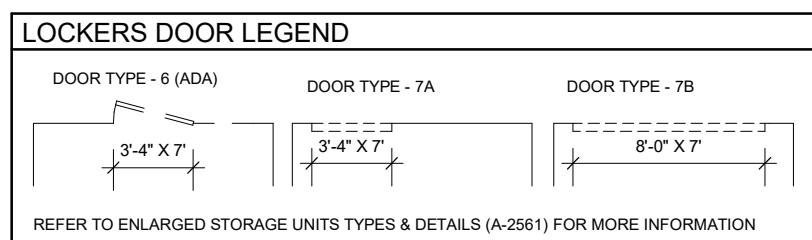
TOTAL GROSS FLOOR AREA
NEW BUILDING:
- PROPOSED SELF-STORAGE BLDG. (BLDG. B) = 209.03 m²
- PROPOSED SELF-STORAGE BLDG. (BLDG. C) = 209.03 m²
- PROPOSED WAREHOUSE BLDG. (BLDG. D) = 1,620.17 m²
- AREA = 2,038.23 m²

TOTAL BUILDINGS GROSS FLOOR AREA = 19,145.4 m²

PERMIT FEE CALCULATIONS
BLDG. A: \$0.88/sq.ft. X 184,140 sf = \$162,043.20
BLDG. D: \$0.88/sq.ft. X 17,439 sf = \$15,346.30
BLDG. B & C: \$0.44/sq.ft. X 4,500 sf = \$1,980.00
TOTAL CALCULATION = \$179,369.50



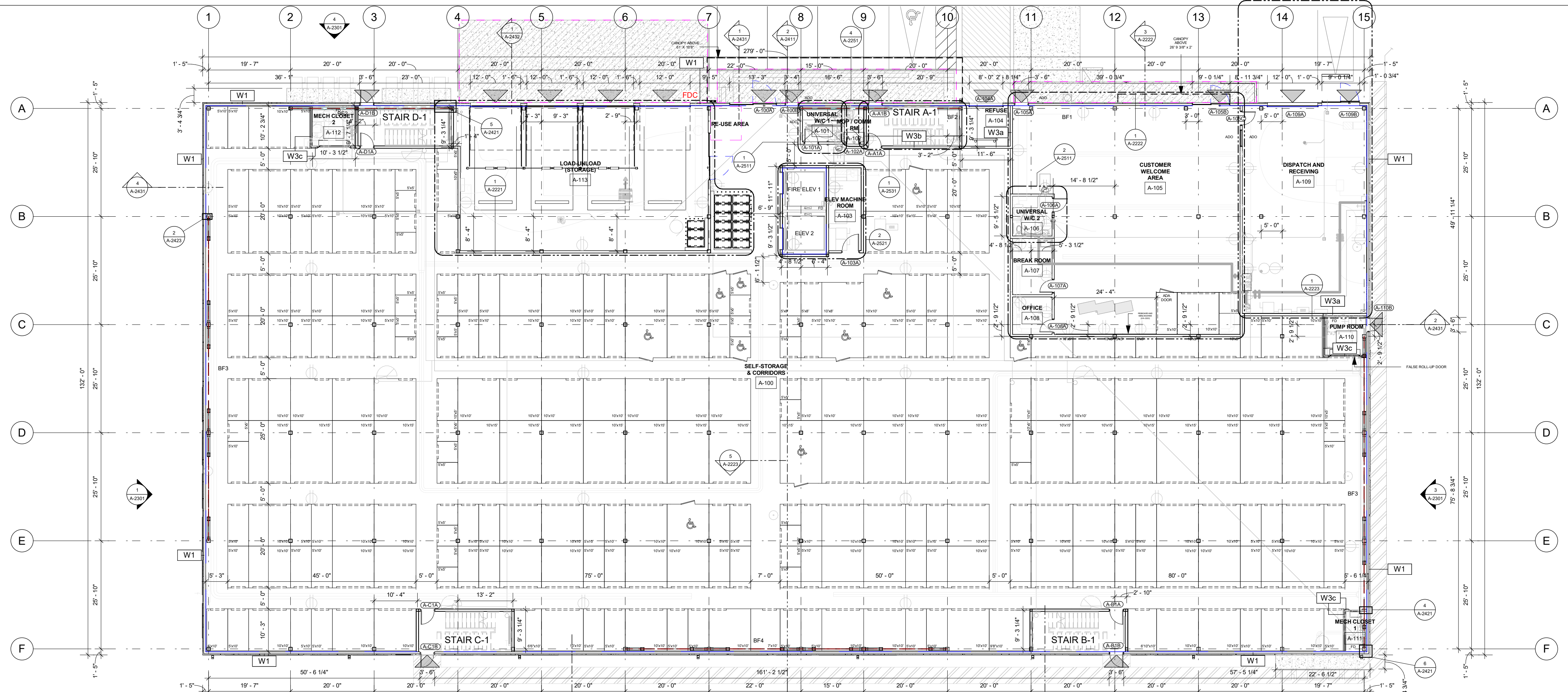
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SLAB EDGE DEPRESSION SETBACK

NOTES:

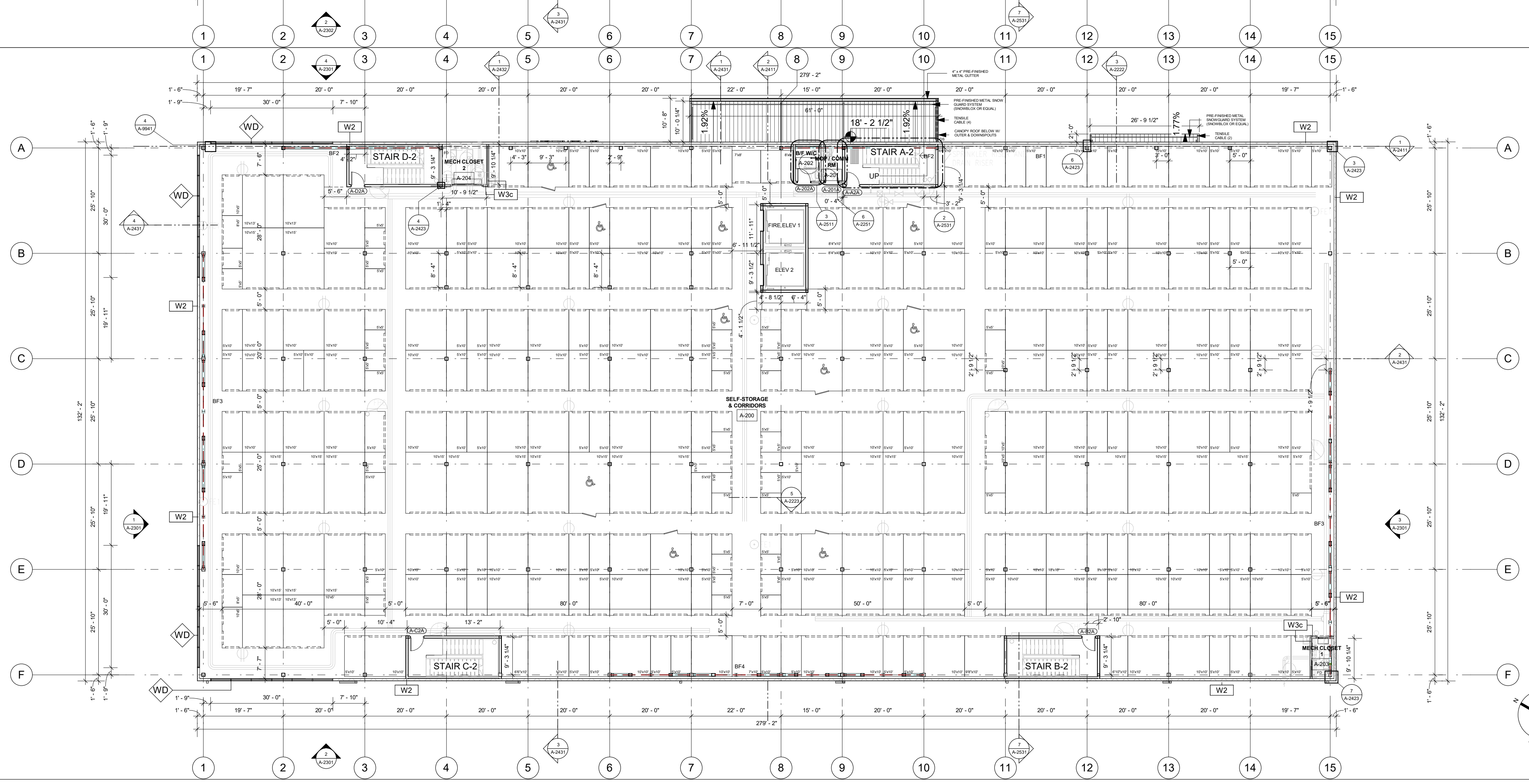
- TOP OF NON-BEARING STORAGE LOCKERS 10FT AFF
- SLAB EDGE IS 3/4" DEPRESSED AND SET BACK 9 1/4" FROM FOUNDATION WALL FACE ALONG BUILDING PERIMETER (REFER TO 4 / A-2432)
- WHERE OVERHEAD DOORS ARE INSTALLED, THE DEPRESSED SLAB EDGE IS SET BACK 12" (REFER TO 2 / A-2432)
- LOCATIONS OF PERIMETER BRACED FRAMES TO BE REVISED ONCE BUILDING ENVELOPE HAS BEEN DETERMINED (PRECAST OR TILTWALL)



1 BLDG A - FIRST FLOOR PLAN
1/16" = 1'-0"

NOTES:

- TOP OF NON-BEARING STORAGE LOCKERS 10FT AFF



2 BLDG A - SECOND FLOOR PLAN
1/16" = 1'-0"

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5	RESPONSE TO SPC COMMENTS	2022-08-26

CONSULTANTS

ARCHITECTURE / PROJECT MANAGEMENT / TRANSPORTATION:
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CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

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208 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

PRIME CONSULTANT
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Ottawa ON, K1S 5N4, Canada
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ibigroup.com

PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entity 942072

PROJECT NO:
138165

DRAWN BY: A. Chu
CHECKED BY: Y. Bilbeisi

PROJECT MGR: Y. Bilbeisi
APPROVED BY: H. Semple

SHEET TITLE
BLDG A - FIRST AND SECOND FLOOR PLAN

SHEET NUMBER A-2001	ISSUE 5
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File Number: D07-07-22-0005 & D07-12-22-0088
City Plan No. 18789

2022-08-25 2:00:32 PM

Autodesk Docs/138165-Uhaul_Kanata R2022/UH07-NewIBI_Kanata.rvt

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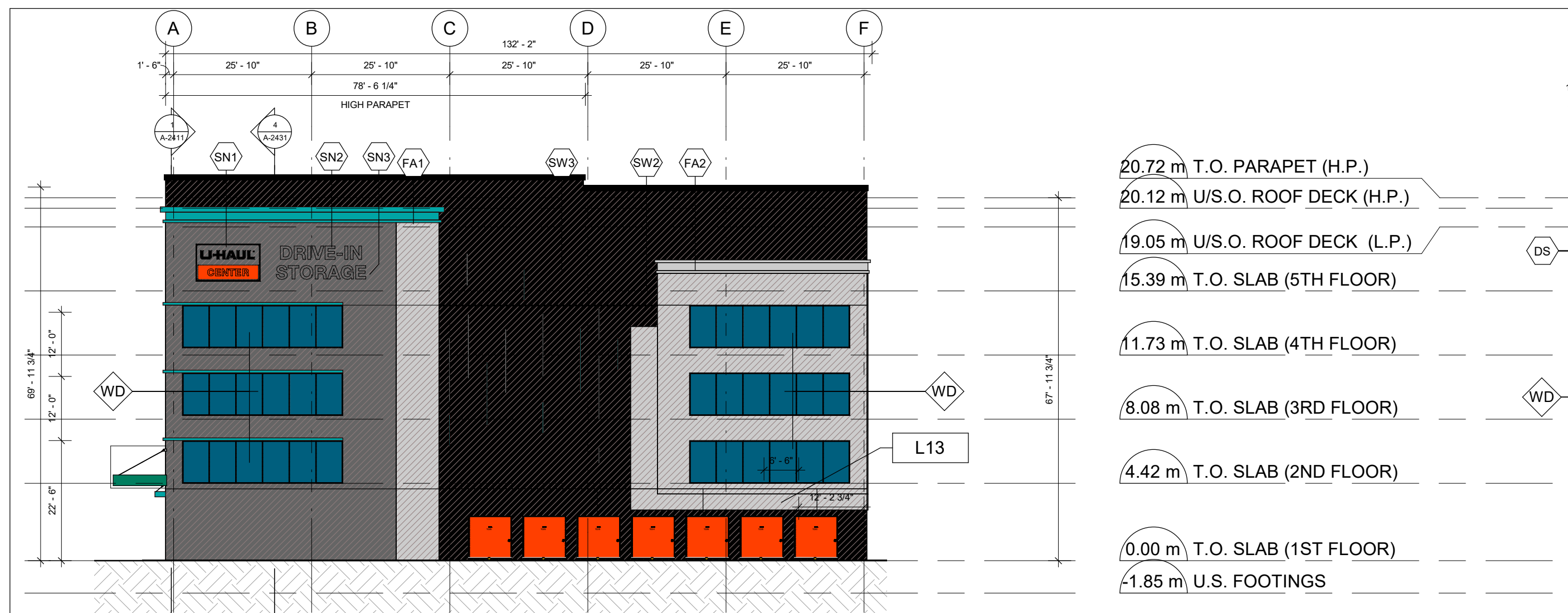
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200-580 TERRY FOX, KANATA, ON, K2L 4B9

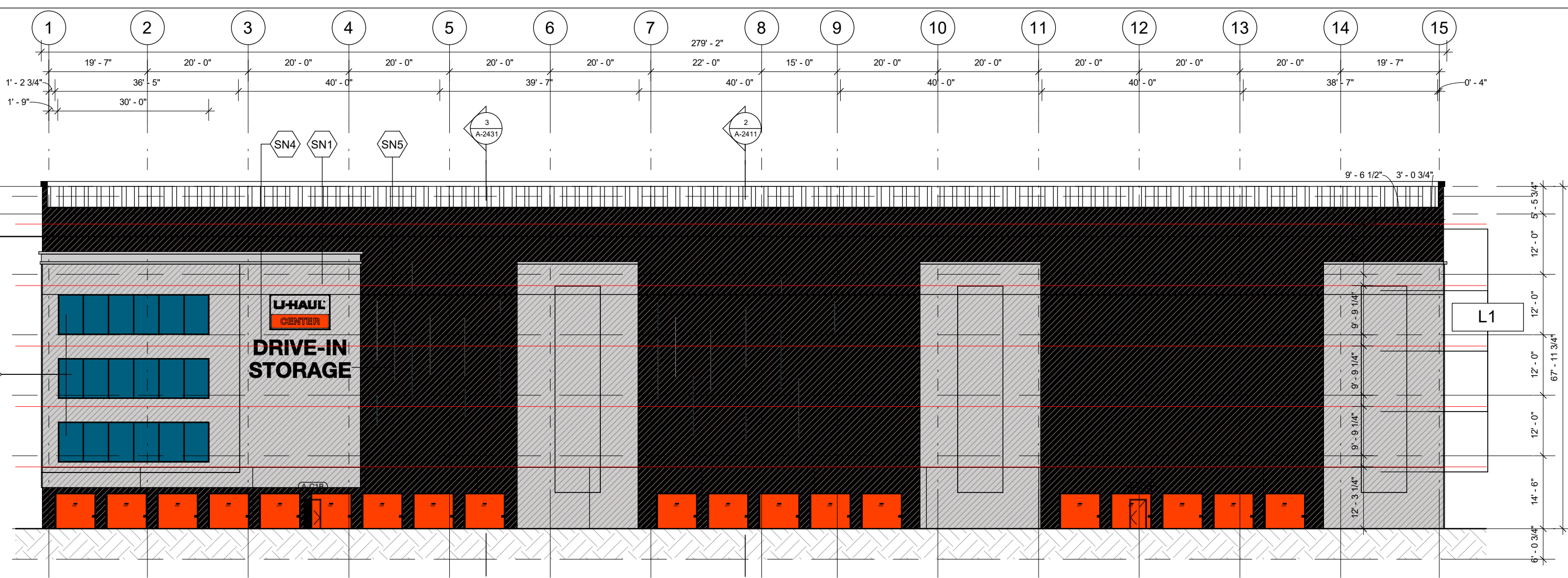
STATE OF THE ART ACOUSTIC INC.
43-1010 POLYTEK STREET, OTTAWA, ON K1J 9J3

J.D. BARNES LTD
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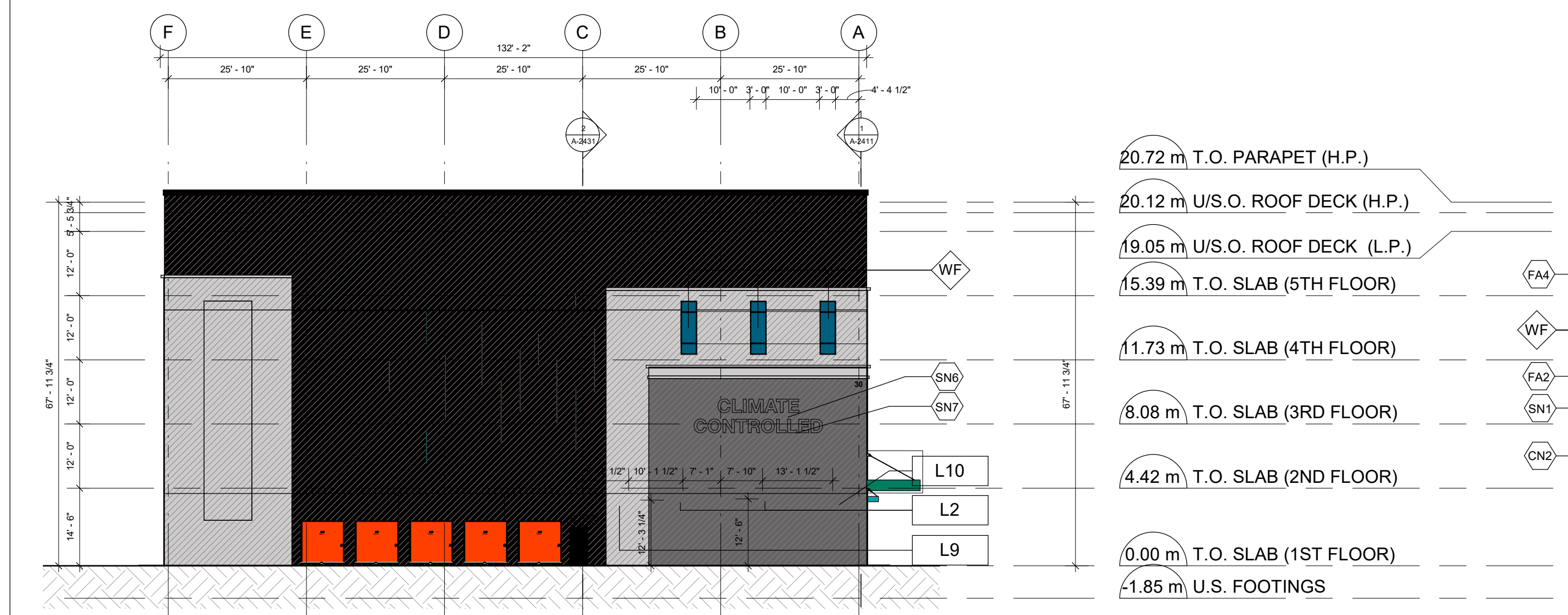
SENEZ CONSULTING LTD.
208 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7



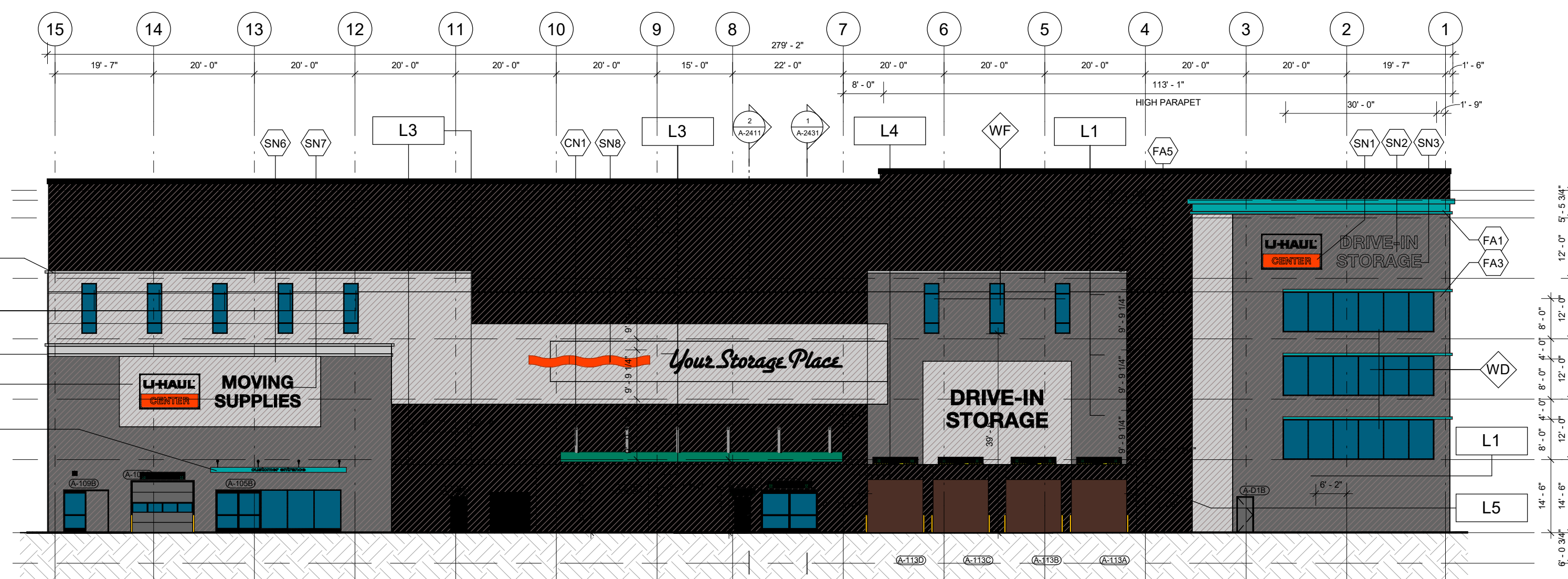
1 BLDG A - ELEVATION - NORTH
1" = 20'-0"



2 BLDG A - ELEVATION - WEST
1" = 20'-0"



3 BLDG A - ELEVATION - SOUTH
1" = 20'-0"



4 BLDG A - ELEVATION - EAST
1" = 20'-0"

MARK	FINISH	COLOUR	DESCRIPTION
DS			DOWNSPOUT TO AVOID WINDOWS AND SIGNAGE
FA1			
FA2			
FA3			
FA4			
FA5			
SN1			LIT CABINET SIGN 12"W X 7"H 84 SQFT
SN2			PLASTIC FORMED CHANNEL LETTERS 15.2"W X 2.5"H 38 SQFT
SN3			PLASTIC FORMED CHANNEL LETTERS 16.77"W X 2.5"H 41.92 SQFT
SN4			PLASTIC FORMED CHANNEL LETTERS 18.24"W X 3"H 54.72 SQFT
SN5			PLASTIC FORMED CHANNEL LETTERS 20.13"W X 3"H 60.39 SQFT
SN6			PLASTIC FORMED CHANNEL LETTERS 13.95"W X 2.5"H 34.87 SQFT
SN7			PLASTIC FORMED CHANNEL LETTERS 17.03"W X 2.5"H 42.57 SQFT
SN8			PLASTIC FORMED CHANNEL LETTERS 34.29"W X 2.5"H 171.45 SQFT
CN1	PREFINISHED	SW 6748 "GREENS" (OR EQUIVALENT)	CANOPY - ARCHITECTURAL AWNING DETAIL 6"H X 6"D

MARK	FINISH	COLOUR	DESCRIPTION
CN2	PREFINISHED		CANOPY - PROMINENT ENTRY FEATURE
SW2	PREFINISHED	SW 6450 "EASY GREEN" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
SW3	PREFINISHED	SW 6451 "NURTURE GREEN" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
SW5	PREFINISHED	SW 6767 "AQUARIUM" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
W1	LIGHT BROOM FINISH	LIGHT GRAY	TILT-UP EXPOSED AGGREGATE CONCRETE
WF			FALSE WINDOW
WT			TRUE WINDOW
L1			LOUVER 18"W X 18"H
L2			LOUVER 5"W X 5"H
L3			LOUVER 12"W X 12"H
L4			LOUVER 20"W X 36"H
L5			LOUVER 20"W X 52"H
L6			LOUVER 32"W X 32"H
L7			LOUVER 4"W X 4"H
L8			LOUVER 60"W X 40"H
L9			LOUVER 36"W X 20"H
L10			LOUVER 24"W X 20"H
L12			LOUVER 72"W X 32"H
L13			LOUVER 40"W X 40"H

KINGSPAN OR EQUIVALENT
LAP SIDING EMBOSSED HORIZONTAL WALNUT

KINGSPAN PANELING WITH WOOD GRAIN FINISH, PROVIDES ARTICULATION AND WARMTH TO THE BUILDING

BEST PANEL COMPANY OR EQUIVALENT
REVOLUTION SERIES TUMBLER REGAL OAK

BEST PANEL COMPANY REVOLUTION TUMBLER BRICK PROVIDES DEPTH AND TEXTURE

ATAS RIGID WALL II OR EQUIVALENT

Rigid Wall II profiles are available in widths of 8", 12", or 16". The panels are 1/2" deep and provide dramatic shadow lines with their 1/2" wide ribs. The panels utilize the "Walk-Lap" concealed fastening system and offer uninterrupted vertical or horizontal sight lines.

KINGSPAN ARCHITECTURAL PANELING PROVIDES ARTICULATION, DEPTH AND TEXTURE TO THE BUILDING

VERSA-SEAM OR EQUIVALENT

Versa-Seam is a rainscreen style system that requires a water and air barrier system behind it. The panel forms architectural shadow lines in its horizontal installation and is available with three optional reveal or shadow line configurations and optional end folds.

STUCCO EMBOSSED IMP, PROVIDES SUPERIOR R22.45 INSULATION, LEED ENERGY COMPLIANT

FALSE WINDOW DISPLAY (FOR REFERENCE ONLY) (TBD)

NOTES:

- BRACEFRAMES IN THE WINDOWS TO BE PAINTED WHITE
- CHANGE IN MATERIALS TO PROVIDE VISUAL SEPARATION TO THE FACADE
- GENEROUS USE OF GLASS - GLAZING TO BE FRITTED
- ARCHITECTURAL PENETRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA
- ARTISTIC USE OF MATERIALS
- PROJECTION CREATES ARCHITECTURAL INTEREST ABOVE CUSTOMER STORAGE AREA AND PROVIDES PROTECTION FROM THE ELEMENTS
- VERTICAL AND HORIZONTAL MODULATION IN THE BUILDING ARCHITECTURAL ARTICULATION CREATES WALL PROTECTION AND VISUAL INTEREST
- ARCHITECTURAL MODULATION CONVEYING A MORE RETAIL APPEARANCE
- GLASS COLOR FOR FALSE WINDOWS (DISPLAY GLASS) TO MATCH THE LOOK AND COLOR OF TRUE WINDOWS
- GROUND LEVEL EXT. WALL SHALL BE PRECAST. REFER TO A-0002.
- EXT. WALL ASSEMBLY VENEER TO BE INSTALLED ON SITE
- PRECAST TBD BY SUPPLIER

SEAL

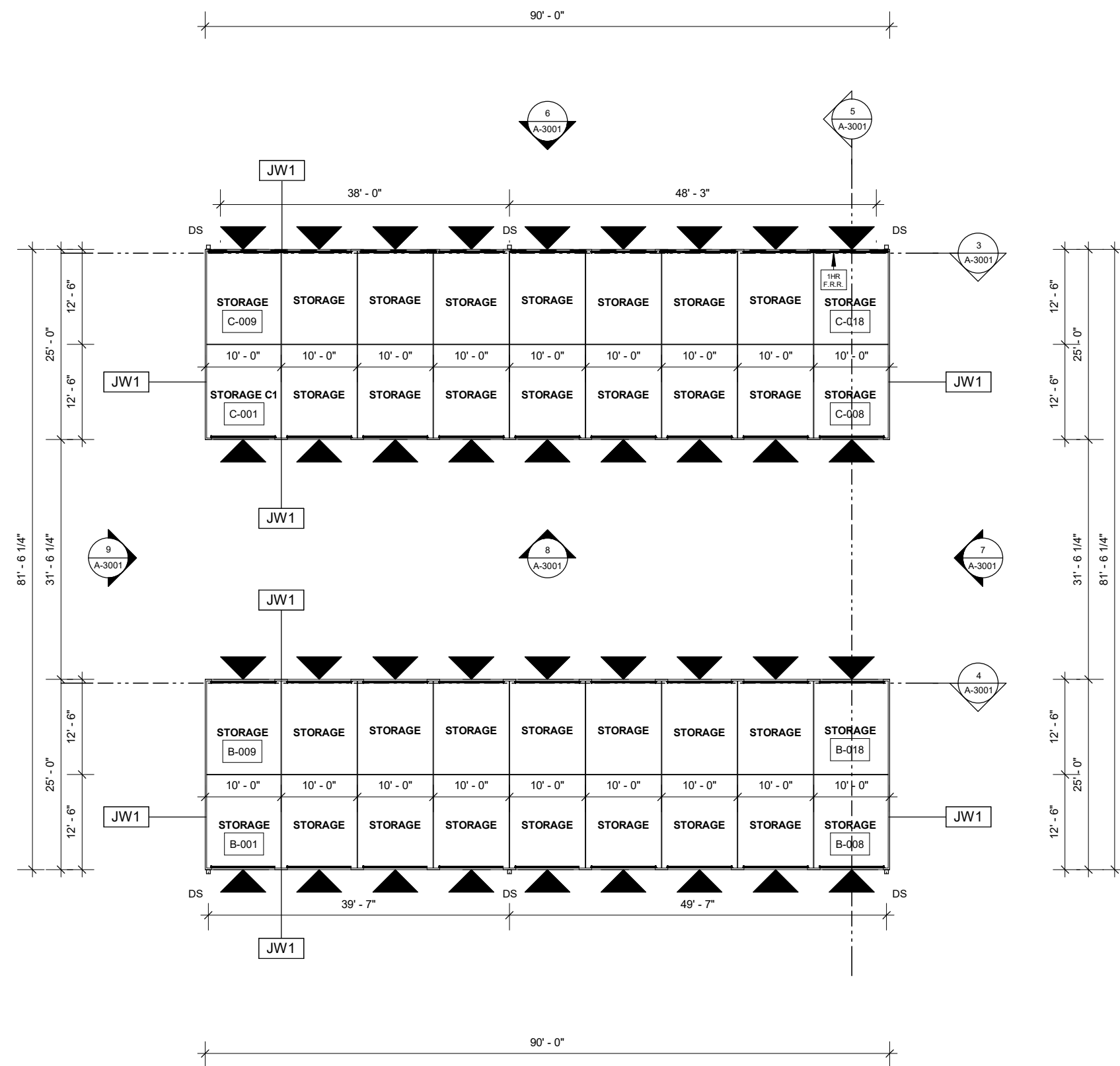
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U-Haul Entity 942072

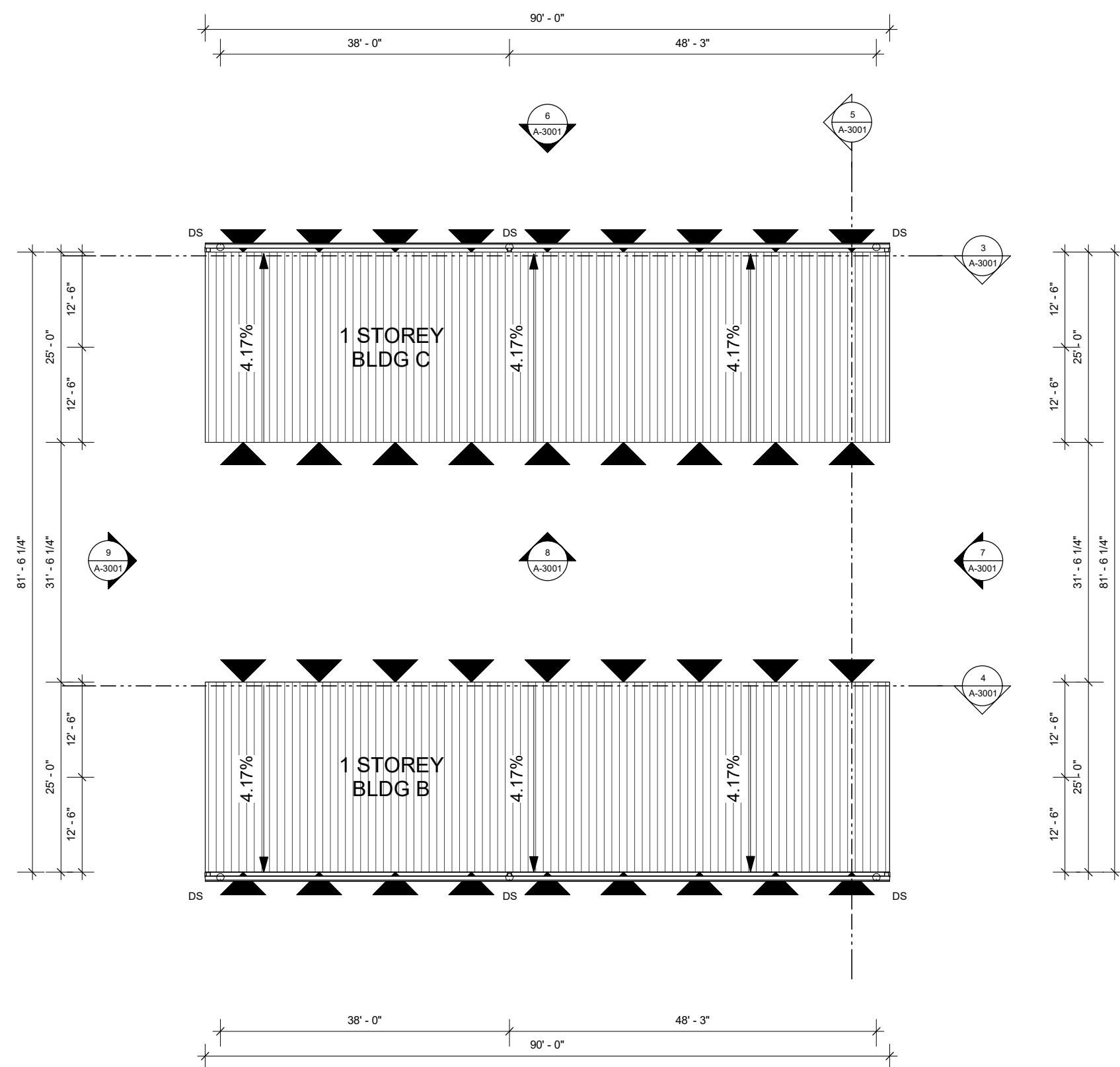
PROJECT NO:
138165
DRAWN BY:
A. Chu
CHECKED BY:
Y. Bilbeisi
PROJECT MGR:
Y. Bilbeisi
APPROVED BY:
H. Semple

SHEET TITLE
BLDG A - ELEVATIONS

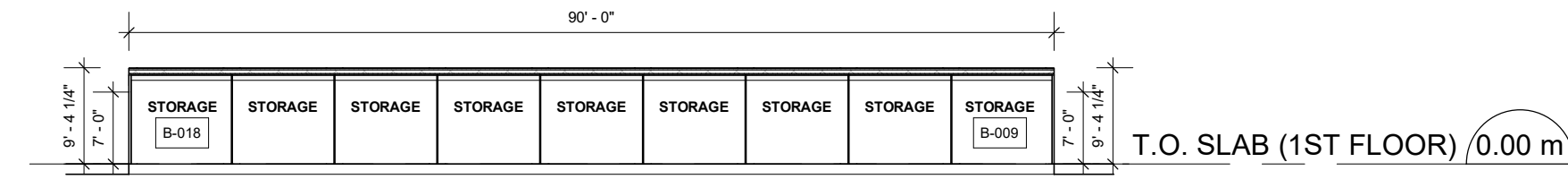
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A-2301
ISSUE
5



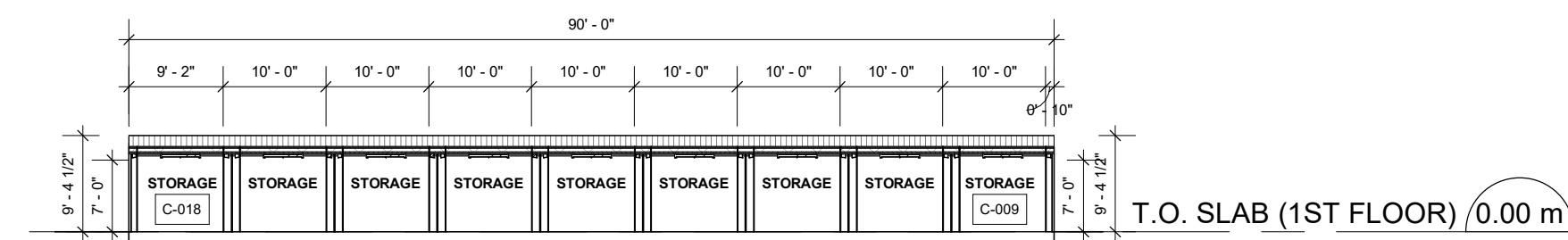
1 BLDG B & C - FIRST FLOOR PLAN
1 : 200



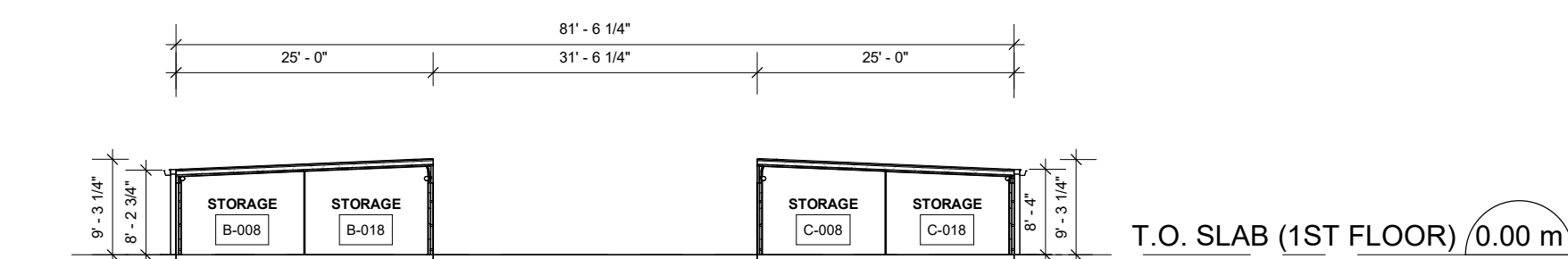
2 BLDG B & C - ROOF PLAN
1 : 200



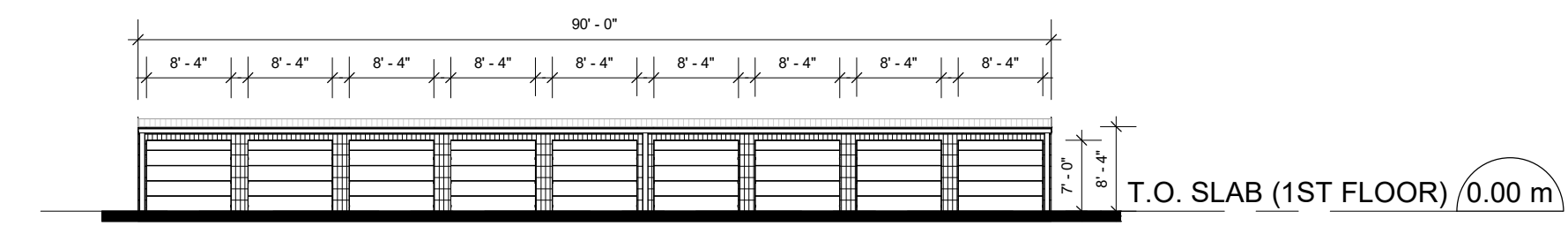
4 BLDG B & C - LONGITUDINAL SECTION
1 : 200



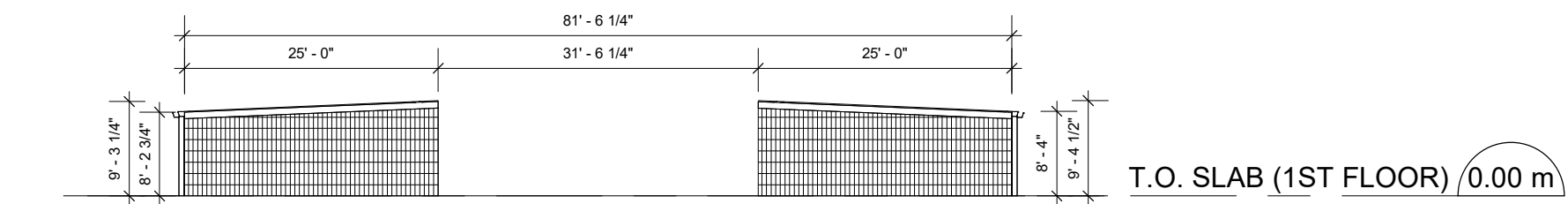
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1 : 200



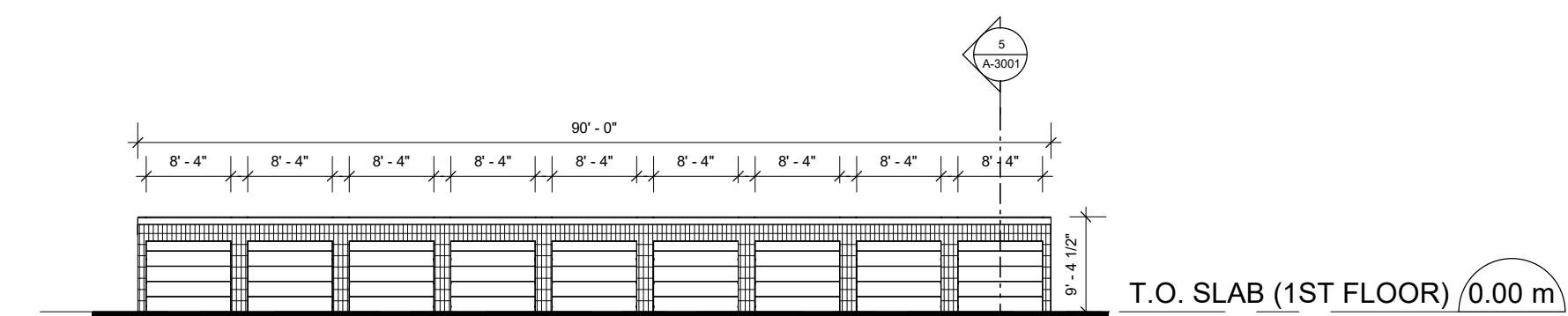
5 BLDG B & C - TRANSVERSE SECTION
1 : 200



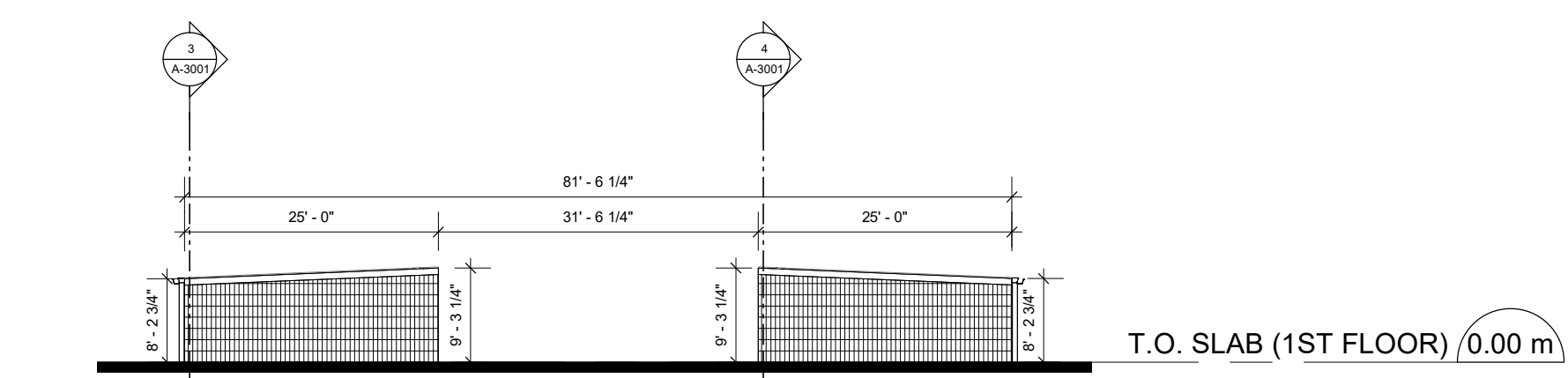
6 BLDG B & C - ELEVATION - EAST
1 : 200



7 BLDG B & C - ELEVATION - SOUTH
1 : 200



8 BLDG B & C - ELEVATION - WEST
1 : 200



9 BLDG B & C - ELEVATION - NORTH
1 : 200

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CIVIL / LANDSCAPE / PLANNING: NOVATECH
240 MICHAEL COWPLAND DRIVE SUITE 101, KANATA, ON K2M 1P6

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CLELAND JARDINE ENGINEERING LTD
200-580 TERRY FOX, KANATA, ON, K2L 4B9

STATE OF THE ART ACOUSTICK INC.
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SEAL

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U-Haul Entity 942072

PROJECT NO:
138165

DRAWN BY:
A. Chu

CHECKED BY:
Y. Bilbeisi

PROJECT MGR:
Y. Bilbeisi

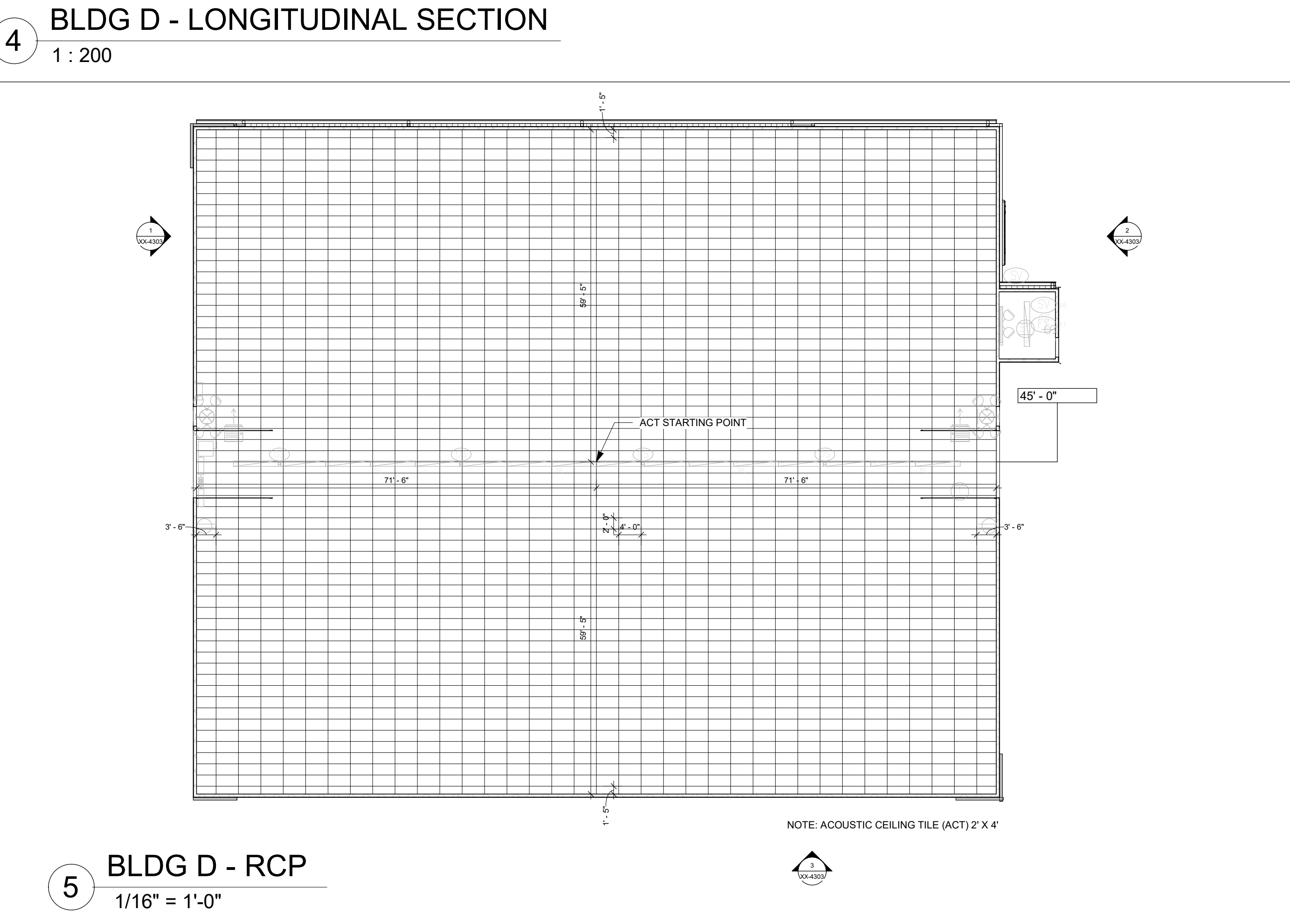
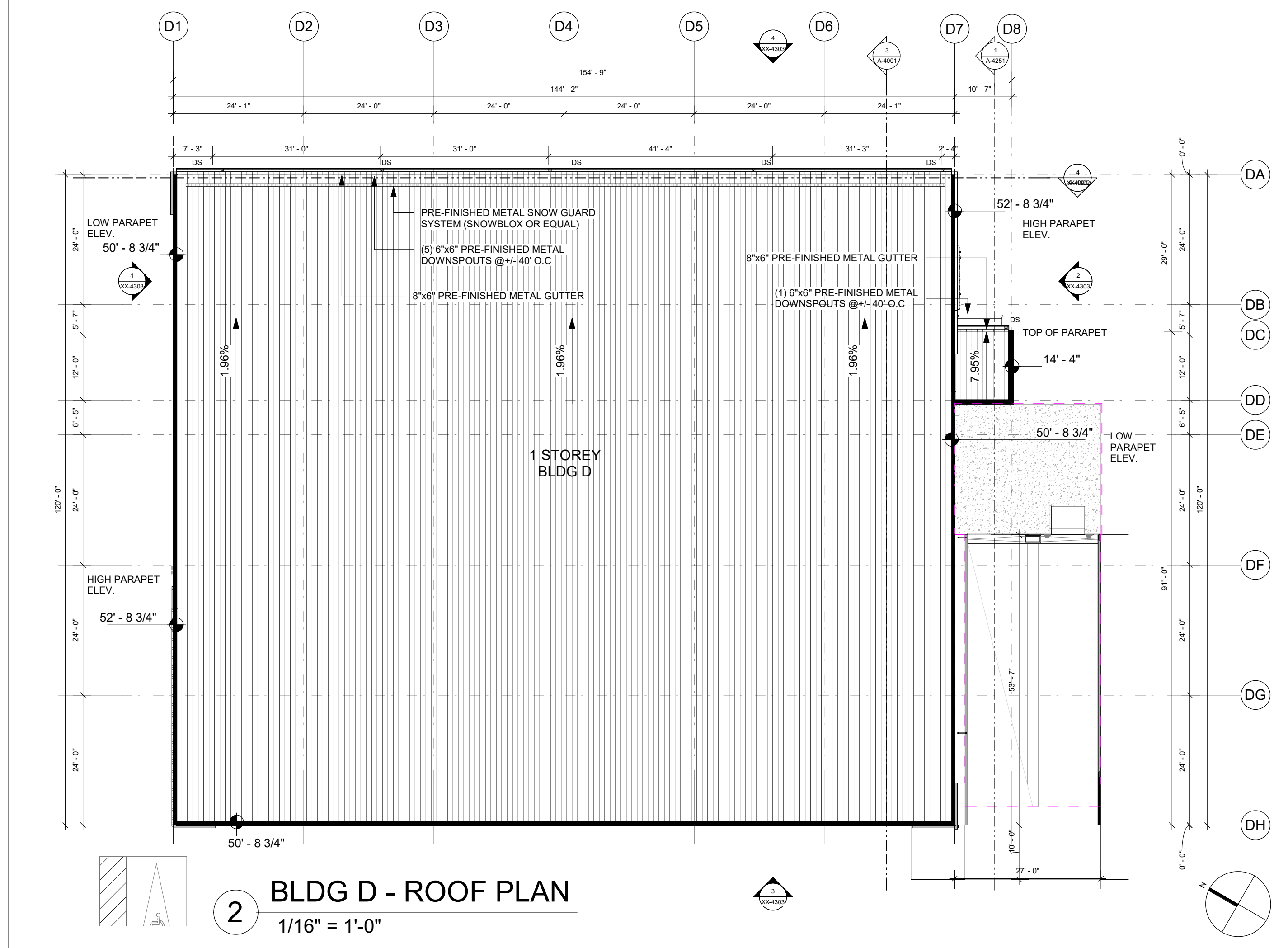
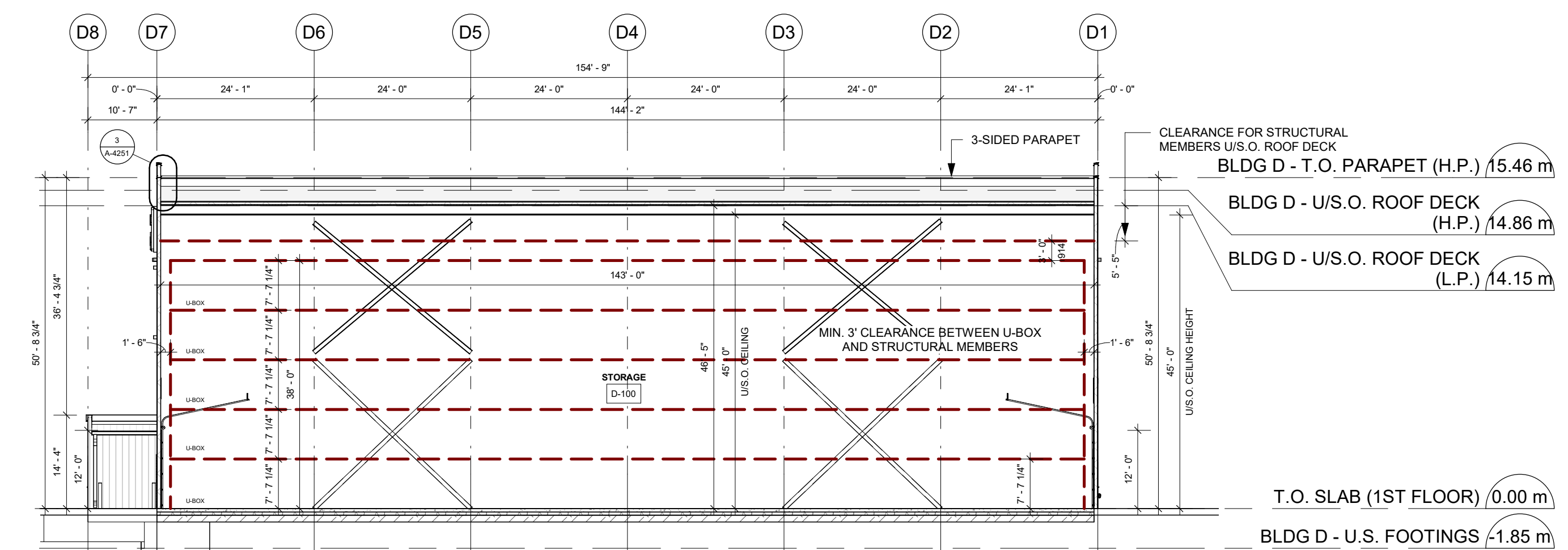
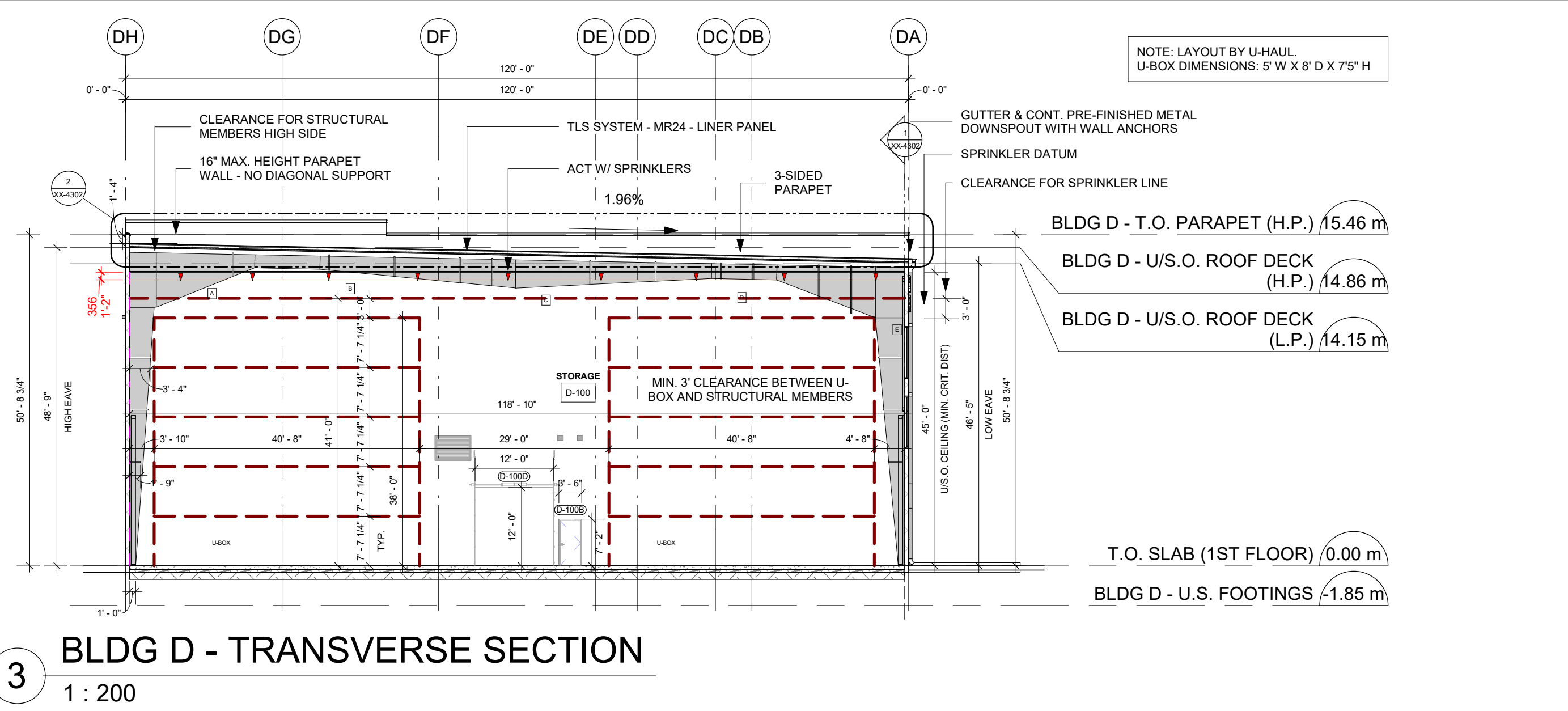
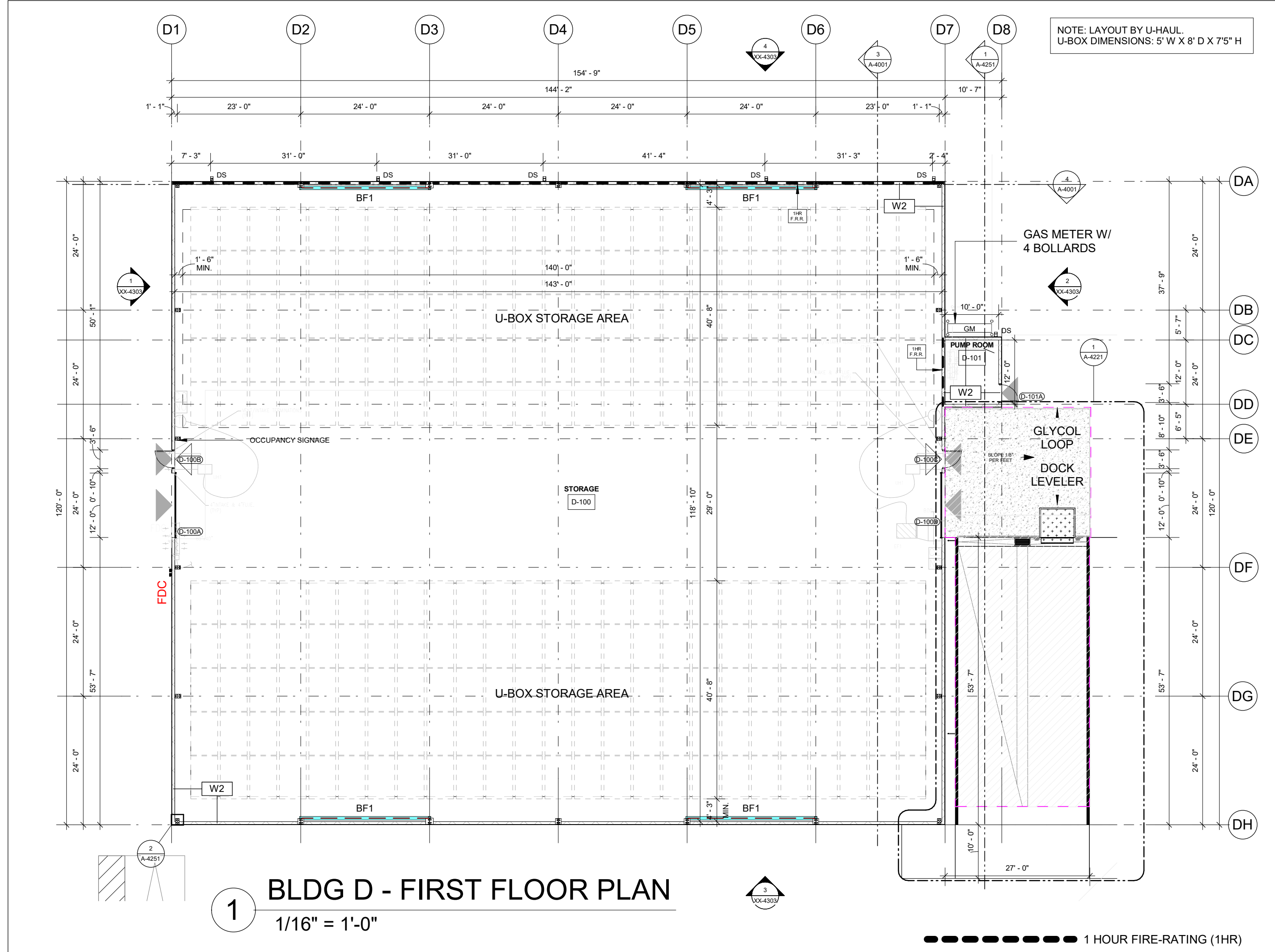
APPROVED BY:
H. Semple

SHEET TITLE
BLDG B & C - PLANS,
SECTIONS AND ELEVATIONS

SHEET NUMBER
A-3001

ISSUE
5

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1	CONCEPT DESIGN	2022-04-29
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3	DESIGN DEVELOPMENT	2022-06-03
4	ISSUED FOR PERMIT	2022-07-19
5	RESPONSE TO SPC COMMENTS	2022-08-26

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PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Office 942072

PROJECT NO:
138165

DRAWN BY:
A. Chu

CHECKED BY:
Y. Bilbeisi

PROJECT MGR:
Y. Bilbeisi

APPROVED BY:
H. Semple

SHEET TITLE
BLDG D - PLANS AND SECTIONS

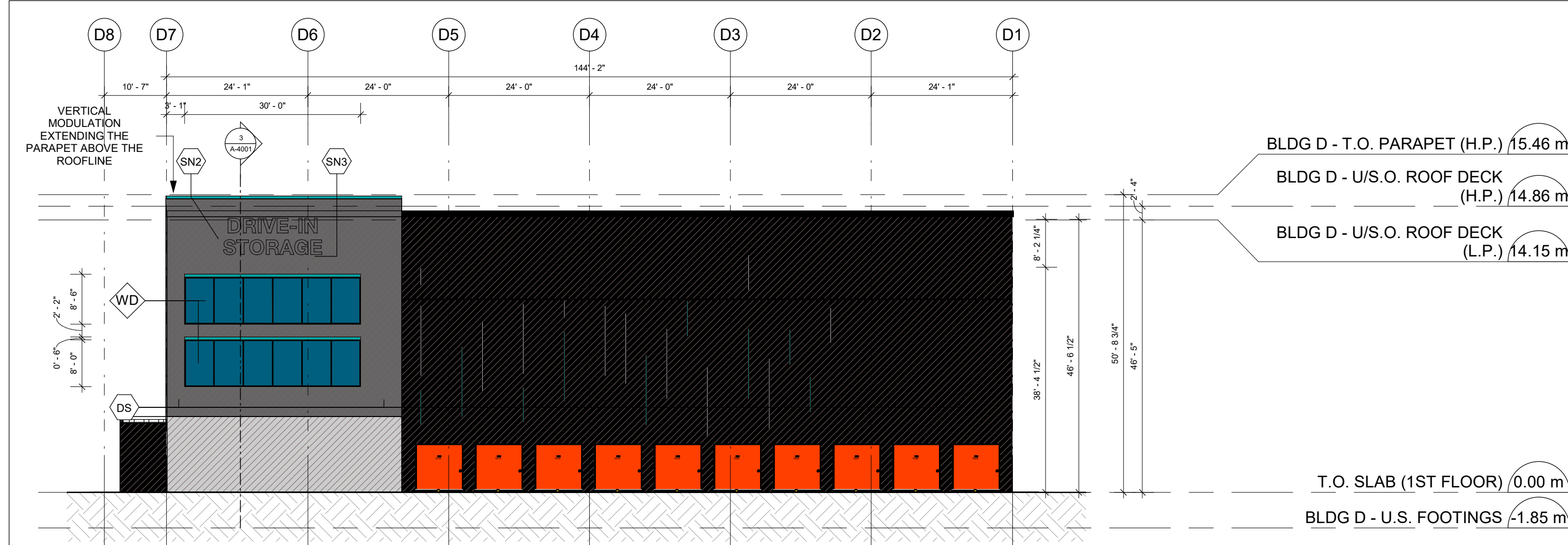
SHEET NUMBER	ISSUE
A-4001	5

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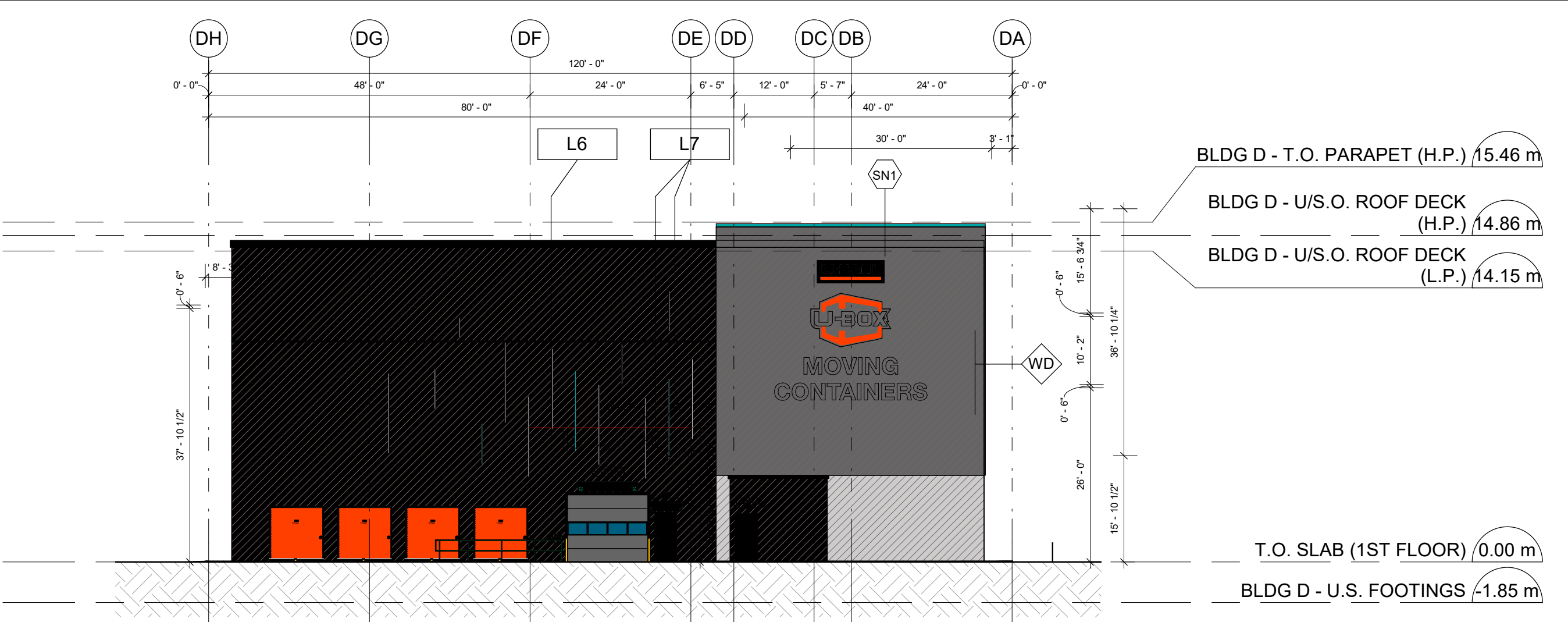
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1/16"

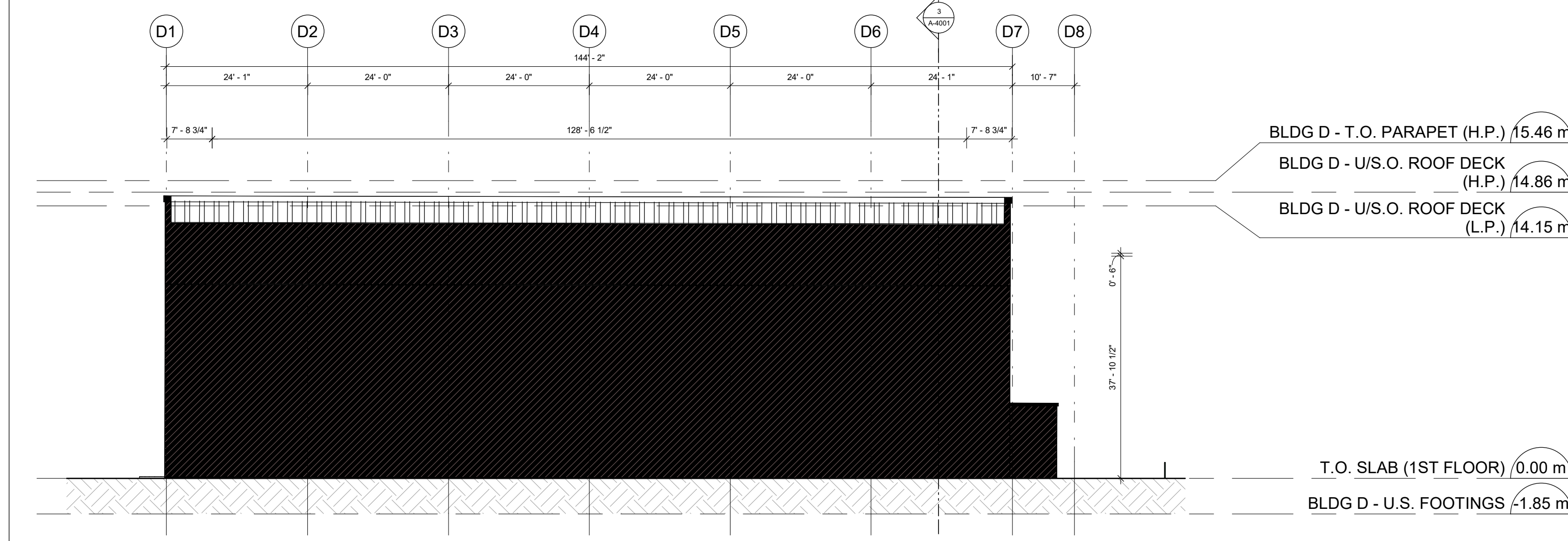
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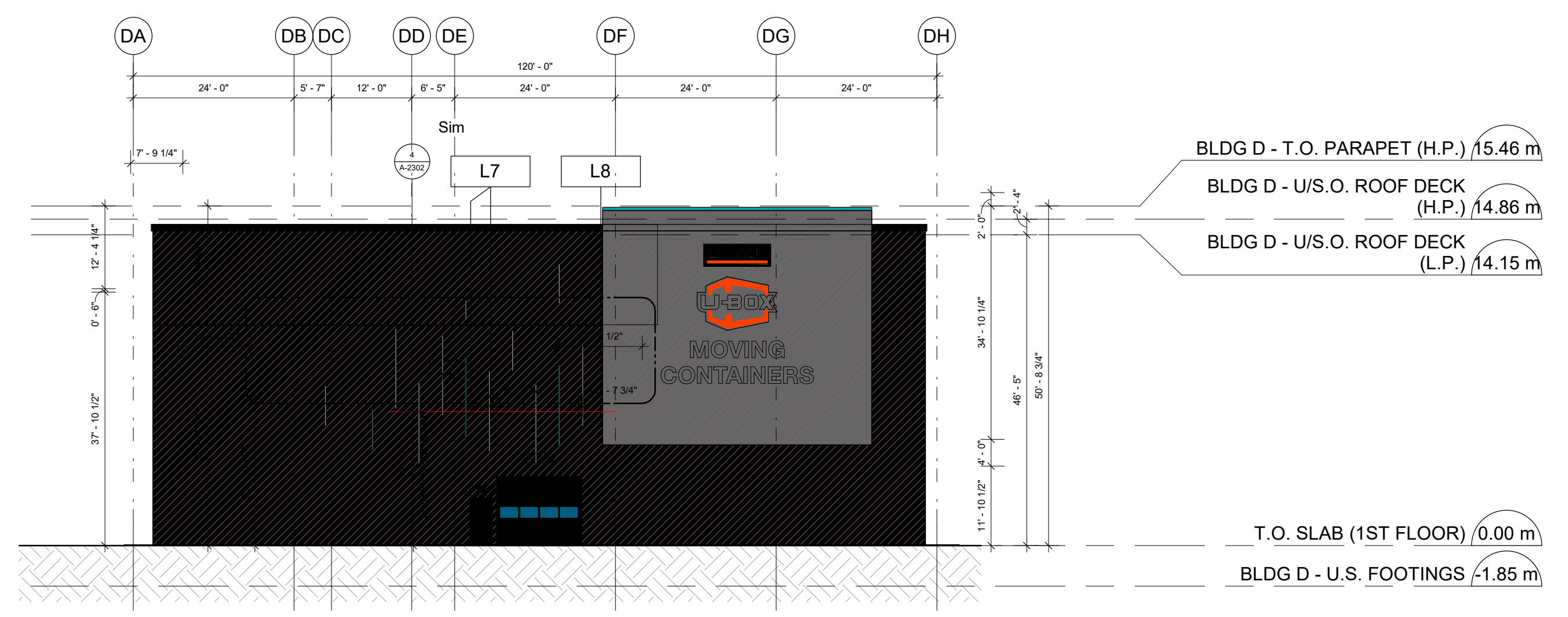
1 BLDG D - ELEVATION - EAST
1 : 200



2 BLDG D - ELEVATION - SOUTH
1 : 200



3 BLDG D - ELEVATION - WEST
1 : 200



4 BLDG D - ELEVATION - NORTH
1 : 200

MARK	FINISH	COLOUR	DESCRIPTION
DS			DOWNSPOUT TO AVOID WINDOWS AND SIGNAGE
FA1			
FA2			
FA3			
FA4			
FA5			
SN1			LIT CABINET SIGN 12"W X 7"H 84 SQFT
SN2			PLASTIC FORMED CHANNEL LETTERS 15.2"W X 2.5"H 38 SQFT
SN3			PLASTIC FORMED CHANNEL LETTERS 16.77"W X 2.5"H 41.92 SQFT
SN4			PLASTIC FORMED CHANNEL LETTERS 18.24"W X 3"H 54.72 SQFT
SN5			PLASTIC FORMED CHANNEL LETTERS 20.13"W X 3"H 60.39 SQFT
SN6			PLASTIC FORMED CHANNEL LETTERS 13.95"W X 2.5"H 34.87 SQFT
SN7			PLASTIC FORMED CHANNEL LETTERS 17.03"W X 2.5"H 42.57 SQFT
SN8			PLASTIC FORMED CHANNEL LETTERS 34.29"W X 2.5"H 171.45 SQFT
CN1	PREFINISHED	SW 6748 "GREENS" (OR EQUIVALENT)	CANOPY - ARCHITECTURAL AWNING DETAIL 6"H X 6"D

MARK	FINISH	COLOUR	DESCRIPTION
CN2	PREFINISHED		CANOPY - PROMINENT ENTRY FEATURE
SW2	PREFINISHED	SW 6450 "EASY GREEN" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
SW3	PREFINISHED	SW 6451 "NURTURE GREEN" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
SW5	PREFINISHED	SW 6767 "AQUARIUM" (OR EQUIVALENT)	MBCI 7.2 INSUL-RIB VERTICAL PANELING
W1	LIGHT BROOM FINISH	LIGHT GRAY	TILT-UP EXPOSED AGGREGATE CONCRETE
WF			FALSE WINDOW
WT			TRUE WINDOW
L1			LOUVER 18"W X 18"H
L2			LOUVER 5"W X 5"H
L3			LOUVER 12"W X 12"H
L4			LOUVER 20"W X 36"H
L5			LOUVER 20"W X 52"H
L6			LOUVER 32"W X 32"H
L7			LOUVER 4"W X 4"H
L8			LOUVER 60"W X 40"H
L9			LOUVER 36"W X 20"H
L10			LOUVER 24"W X 20"H
L12			LOUVER 72"W X 32"H
L13			LOUVER 40"W X 40"H

KINGSPAN OR EQUIVALENT
LAP SIDING EMBOSSED HORIZONTAL WALNUT
KINGSPAN PANELING WITH WOOD GRAIN FINISH, PROVIDES ARTICULATION AND WARMTH TO THE BUILDING

BEST PANEL COMPANY OR EQUIVALENT
REVOLUTION SERIES TUMBLED REGAL OAK
BEST PANEL COMPANY REVOLUTION TUMBLED BRICK PROVIDES DEPTH AND TEXTURE

ATAS RIGID WALL II OR EQUIVALENT
Rigid Wall II profiles are available in widths of 8", 12", or 16". The panels are 1/2" deep and provide acoustic shadow lines with 1/2" wide ribs. The panels utilize the "WorkLock" concealed fastening system and offer uninterrupted vertical or horizontal sight lines.

KINGSPAN ARCHITECTURAL PANELING PROVIDES ARTICULATION, DEPTH AND TEXTURE TO THE BUILDING

VERSA-SEAM OR EQUIVALENT
Versa-Seam is a rainscreen style system that requires a water and air barrier system behind it. The panel forms architectural shadow lines in its horizontal installation and is available with three optional reveal or shadow line configurations and optional end folds.

STUCCO EMBOSSED IMP, PROVIDES SUPERIOR R22.45 INSULATION, LEED ENERGY COMPLIANT

NOTES:

- BRACEFRAMES IN THE WINDOWS TO BE PAINTED WHITE
- CHANGE IN MATERIALS TO PROVIDE VISUAL SEPARATION TO THE FACADE
- GENEROUS USE OF GLASS - GLAZING TO BE FRITTED
- ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA
- ARTISTIC USE OF MATERIALS
- PROJECTION CREATES ARCHITECTURAL INTEREST ABOVE CUSTOMER STORAGE AREA AND PROVIDES PROTECTION FROM THE ELEMENTS
- VERTICAL AND HORIZONTAL MODULATION IN THE BUILDING
- ARCHITECTURAL ARTICULATION CREATES WALL PROTECTION AND VISUAL INTEREST
- ARCHITECTURAL MODULATION CONVEYING A MORE RETAIL APPEARANCE
- GLASS COLOR FOR FAUX WINDOWS (DISPLAY GLASS) TO MATCH THE LOOK AND COLOR OF TRUE WINDOWS

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KEYPLAN

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PROJECT
U-HAUL MOVING & STORAGE OF OTTAWA
30 FRANK NIGHBOR PLACE, OTTAWA, ON
U-Haul Entity 942072

PROJECT NO:
138165

DRAWN BY:
A. Chu

CHECKED BY:
Y. Bilbeisi

PROJECT MGR:
Y. Bilbeisi

APPROVED BY:
H. Semple

SHEET TITLE
BLDG D - ELEVATIONS

SHEET NUMBER
A-4301

ISSUE
5

2022-08-15 2:43:40 PM

BUILDING A

EXTERIOR WALL ASSEMBLIES

<p>TYPE: W1</p> <p>R-VALUE: 20</p> <p>cUL #: N/A</p>	<p>PRECAST INSULATED CONCRETE WALL</p>
<p>TYPE: W1a</p> <p>R-VALUE: 20</p> <p>cUL #: N/A</p>	<p>PRECAST INSULATED CONCRETE SHAFT WALL</p>
<p>TYPE: W2</p> <p>R-VALUE: 22</p> <p>cUL #: N/A</p>	<p>INSULATED METAL WALL PANEL</p>
<p>TYPE: W2a</p> <p>R-VALUE: 22</p> <p>cUL #: N/A</p>	<p>INSULATED METAL WALL PANEL W/ OUTER FINISH</p>

FLOOR AND ROOF ASSEMBLIES

<p>TYPE: R1</p> <p>R-VALUE: 40</p> <p>cUL #: N/A</p>	<p>ROOF</p>
<p>TYPE: F1</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>FIRST FLOOR</p>
<p>TYPE: F2</p> <p>R-VALUE: N/A</p> <p>cUL #: CUL 949</p>	<p>SECOND, THIRD, FOURTH AND FIFTH FLOOR</p>

CEILING ASSEMBLIES

<p>TYPE: C1</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>GYPSON CEILING ASSEMBLY</p>
<p>TYPE: C2</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>WASHROOM CEILING ASSEMBLY</p>
<p>TYPE: C3</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>ACOUSTIC CEILING ASSEMBLY</p>

INTERIOR WALL ASSEMBLIES (NON FRR)

<p>TYPE: W3</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>CORRIDOR / CUSTOMER WELCOME</p>
<p>TYPE: W4</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>CORRIDOR / CUSTOMER WELCOME AREA</p>
<p>TYPE: W5</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>STAIRCASE (A,B,C,D)</p>
<p>TYPE: W6</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>UNIVERSAL WC 1</p>

INTERIOR WALL ASSEMBLIES (FRR) (SLAB TO SLAB PARTITIONS)

<p>TYPE: W3a</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>CORRIDOR / LOCKER</p>
<p>TYPE: W3b</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>STAIRS / ELEVATOR SHAFT / ELEVATOR MACHINE ROOM</p>
<p>TYPE: W3c</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>CORRIDOR / LOCKER</p>
<p>TYPE: W3d</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>STAIRS / ELEVATOR SHAFT / ELEVATOR MACHINE ROOM</p>

INTERIOR WALL ASSEMBLIES (FRR) (MECH CLOSETS / PUMP RM) (LOCKERS)

<p>TYPE: W3e</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>CORRIDOR / LOCKER</p>
<p>TYPE: W3f</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>STAIRS / ELEVATOR SHAFT / ELEVATOR MACHINE ROOM</p>
<p>TYPE: W3g</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>CORRIDOR / LOCKER</p>
<p>TYPE: W3h</p> <p>R-VALUE: N/A</p> <p>cUL #: U419</p>	<p>STAIRS / ELEVATOR SHAFT / ELEVATOR MACHINE ROOM</p>

BUILDINGS B AND C

EXTERIOR WALL ASSEMBLIES

<p>TYPE: JW1</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>JANUS CORRUGATED PANEL</p>
--	--------------------------------------

BUILDING D

EXTERIOR WALL ASSEMBLIES

<p>TYPE: W2</p> <p>R-VALUE: 22</p> <p>cUL #: N/A</p>	<p>INSULATED METAL WALL PANEL</p>
--	--

FLOOR AND ROOF ASSEMBLIES

<p>TYPE: R1</p> <p>R-VALUE: 40</p> <p>cUL #: N/A</p>	<p>ROOF</p>
<p>TYPE: F1</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>FIRST FLOOR</p>

CEILING ASSEMBLIES

<p>TYPE: C3</p> <p>R-VALUE: N/A</p> <p>cUL #: N/A</p>	<p>GYPSON CEILING ASSEMBLY</p>
---	---------------------------------------

GLAZING SPECIFICATION - BLDG A & BLDG D

GLAZING PERFORMANCE DATA

PRODUCT DESCRIPTION: STARPHIRE® ULTRA-CLEAR GLASS IS A UNIQUE LOW-IRON GLASS, THE CLEARST FLOAT GLASS AVAILABLE, DELIVERING HIGH LIGHT TRANSMITTANCE AND TRUE-COLOR FIDELITY.

PRODUCT LAYERS:

- 1/4" (6mm) STARPHIRE®
- 1/2" (12.7mm) SPACE - AIR - NO GAS
- 1/4" (6mm) STARPHIRE®

PERFORMANCE DATA

TRANSMITTANCE

- VISIBLE LIGHT: 84%
- SOLAR ENERGY: 80%
- UV: 77%

REFLECTANCE

- VISIBLE LIGHT- EXT: 15%
- VISIBLE LIGHT- INT: 15%
- SOLAR ENERGY: 14%

SHADING COEFFICIENT: 0.94

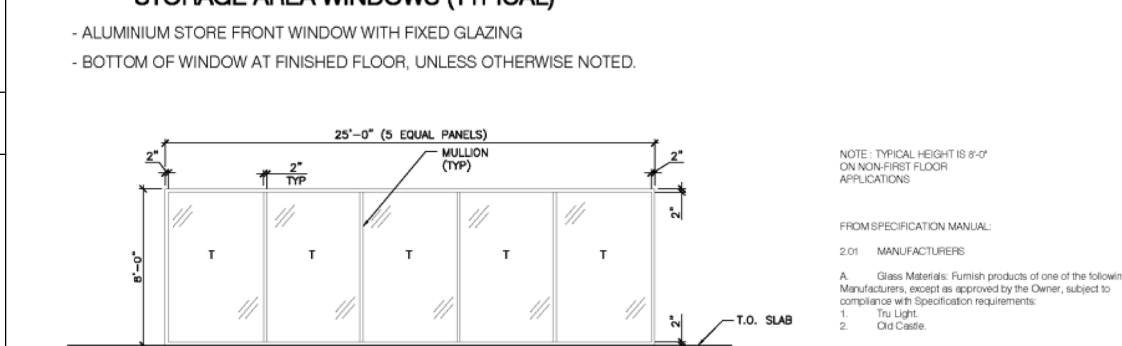
NRFC U-VALUE

- WINTER: 0.47
- SUMMER: 0.50

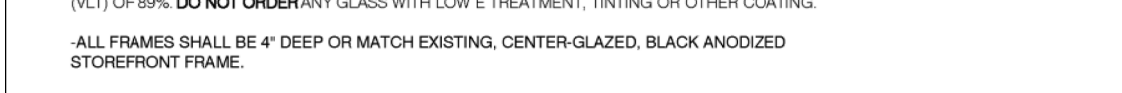
SHG: 0.82

LSG: 1.02

STORAGE AREA WINDOWS (TYPICAL)



KEYPLAN



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 208 EVANS AVE. UNIT 2019, TORONTO, ON, M8Z 1J7

OTTAWA BIRD-SAFE DESIGN GUIDELINE SEPTEMBER 2020

- c) Where glazing is used, bird-safe glass or glass with integrated protection measures is preferred (as per specifications below). Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.
- d) Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

Specifications for Bird-Safe Glass

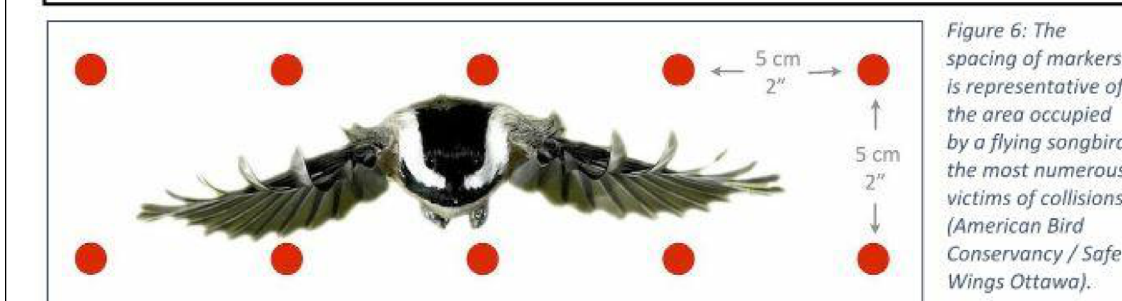
Several techniques can be used to make glass more visible to birds as a solid barrier. These include the use of closely spaced grilles or muntins (i.e., bars dividing individual panes of glass) and the application of commercial films and visual markers. Patterns and images can be applied directly to the glass during manufacture using ceramic fritting, acid etching, digital printing or silk-screening. Creative solutions such as painted murals may also be an option in some cases. Permanent or built-in treatments are preferred for their durability, but other solutions can be effective as long as they are properly maintained and replaced when necessary.

In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the exterior (first) surface of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used (see Figure 6 below).
- Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

Treatments applied to interior surfaces of the glass will not adequately address reflectivity issues. They will also be less effective at reducing transparency issues if reflectivity is not addressed.



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PROJECT
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 U-Haul Entity 942072

PROJECT NO:
 138165

DRAWN BY:
 A. Chu

CHECKED BY:
 Y. Bilbeisi

PROJECT MGR:
 Y. Bilbeisi

APPROVED BY:
 H. Semple

SHEET TITLE
BUILDING ASSEMBLIES

SHEET NUMBER
A-0002

ISSUE
4