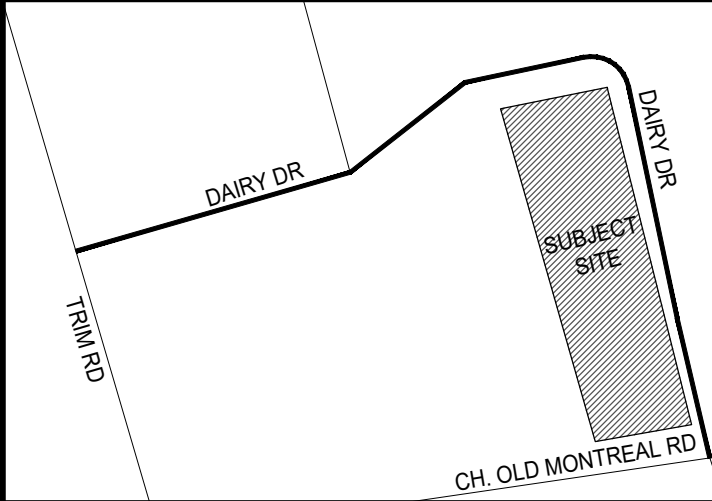


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No.	DATE	REVISION	BY
1	2021.09.10	ISSUED FOR SITE PLAN APPROVAL	GB
2	2022.08.24	ISSUED FOR OWNER'S REVIEW	AT
3	2022.09.07	ISSUED FOR SECOND SPA SUBMISSION	AT

LEGAL INFORMATION
PART OF
LOT 29
CONCESSION 1 (OLD SURVEY)
GEOGRAPHIC TOWNSHIP OF CUMBERLAND
CITY OF OTTAWA
FORMERLY IN THE CITY OF CUMBERLAND

- DRAWING REFERENCES:**
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 - EXISTING SERVICES FOR THE SITE WAS TAKEN FROM A PLAN PREPARED BY DAVID MCMANUS ENGINEERING LTD., TITLED SITE SERVICING AND GRADING PLAN, DATED MARCH 25TH 2002
 - LANDSCAPING PLANS PREPARED BY THAKAR ASSOCIATES DESIGN, TREE CONSERVATION REPORT PREPARED BY ARBORSHERE



KEY PLAN
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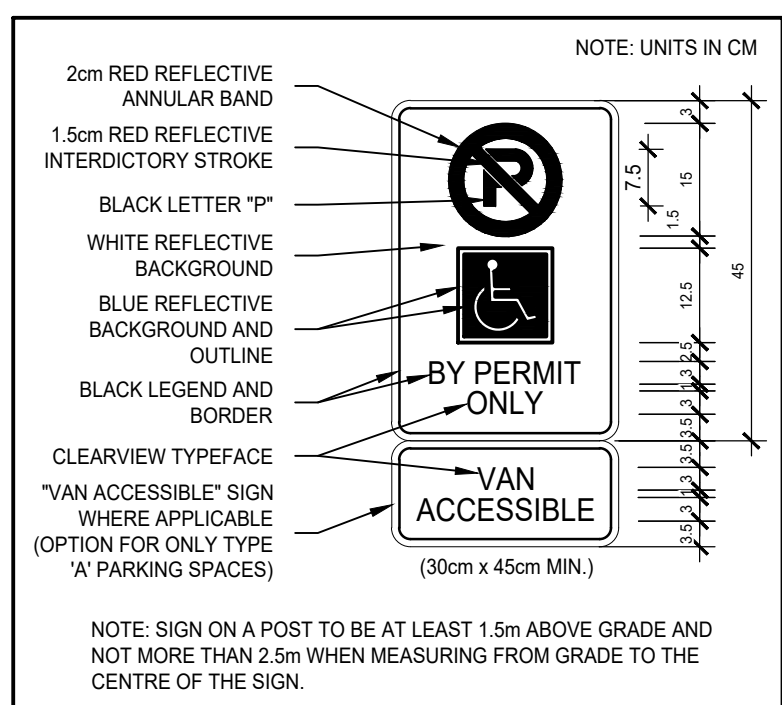
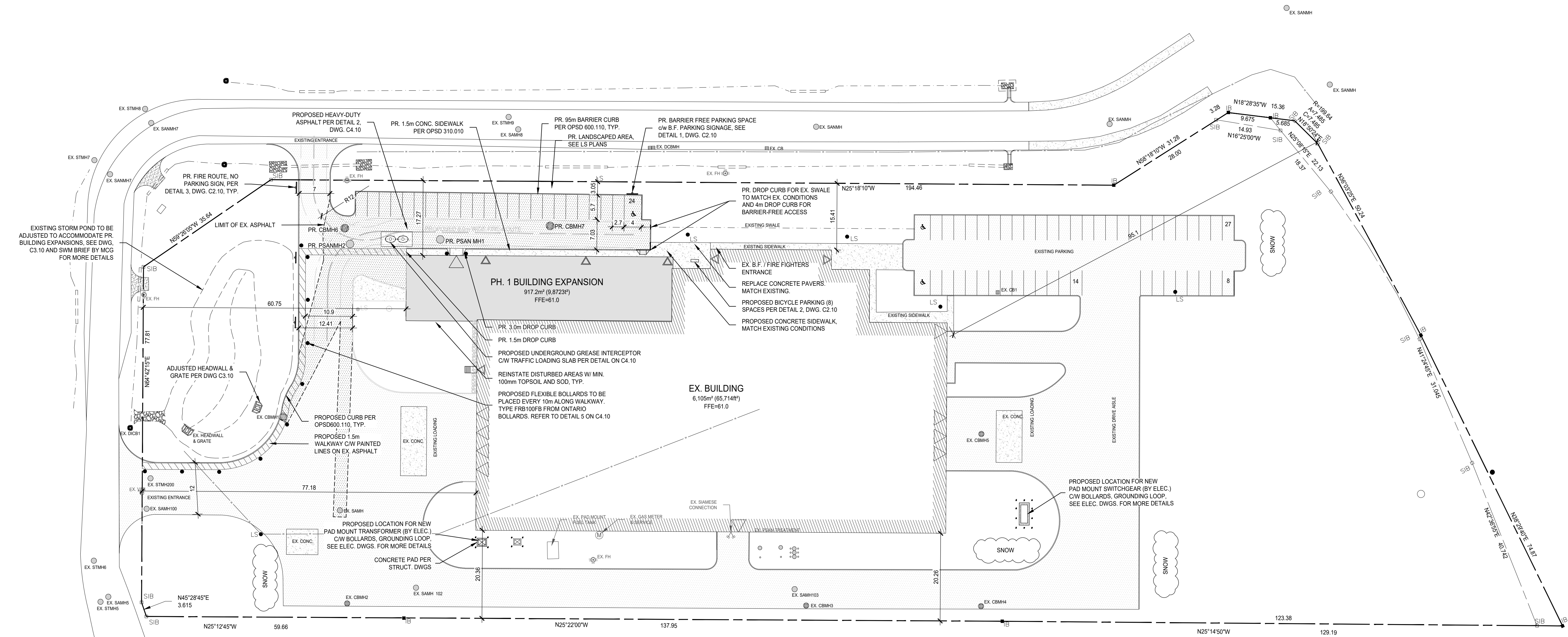
APETITO HFS
1010 DAIRY DR
OTTAWA, ON K4A 3N3

PROPOSED EXPANSIONS

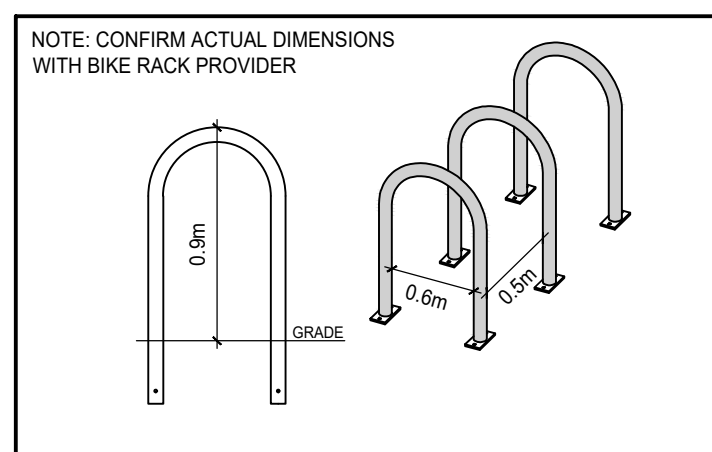
PHASE 1 - SITE PLAN

DESIGN BY: AT
DRAWN BY: KW
CHECKED BY: GB
DATE: 2021.06.18
SCALE: 1:500
PROJECT NUMBER: 21008

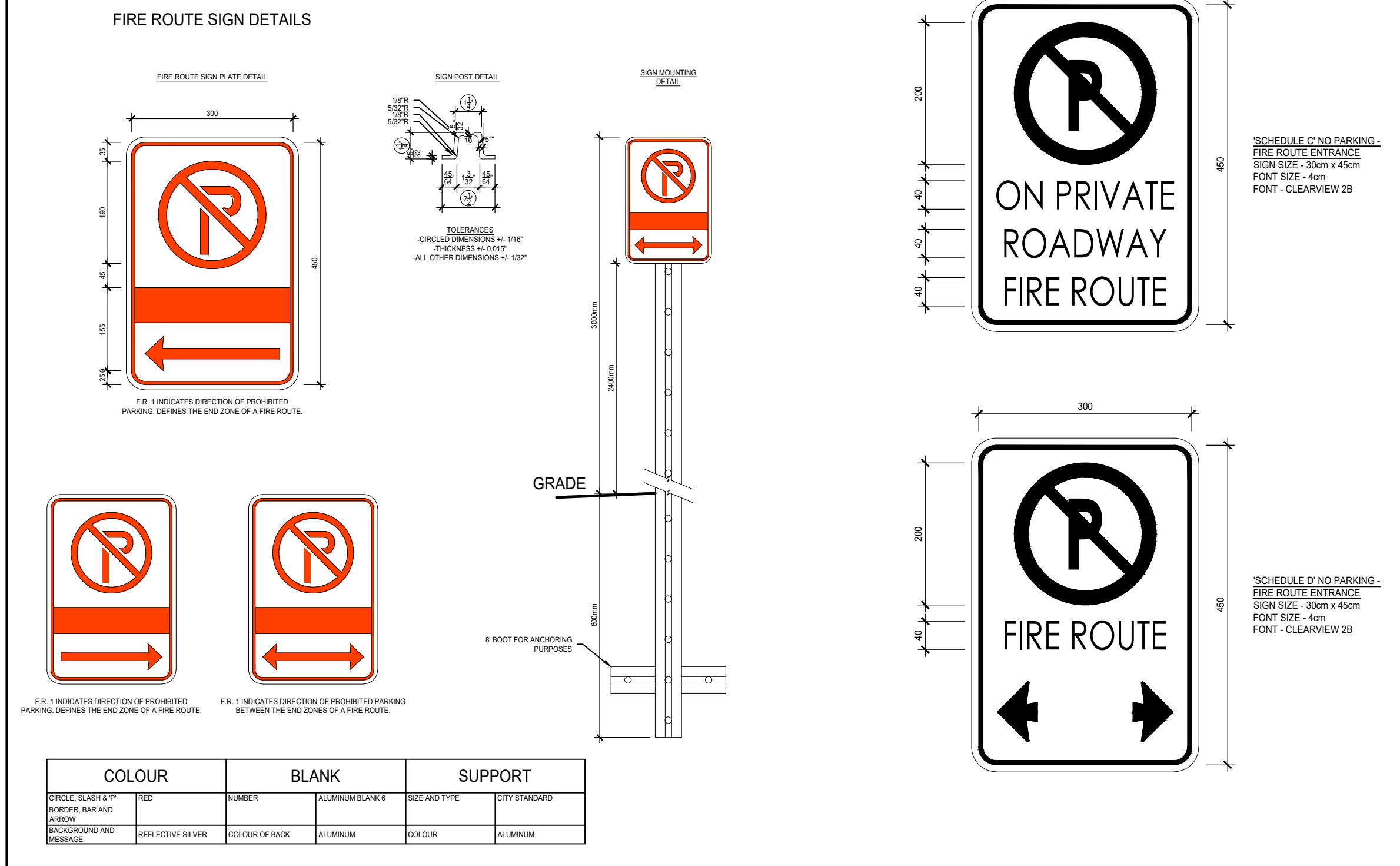
CURRENT REVISION: 3
C2.10



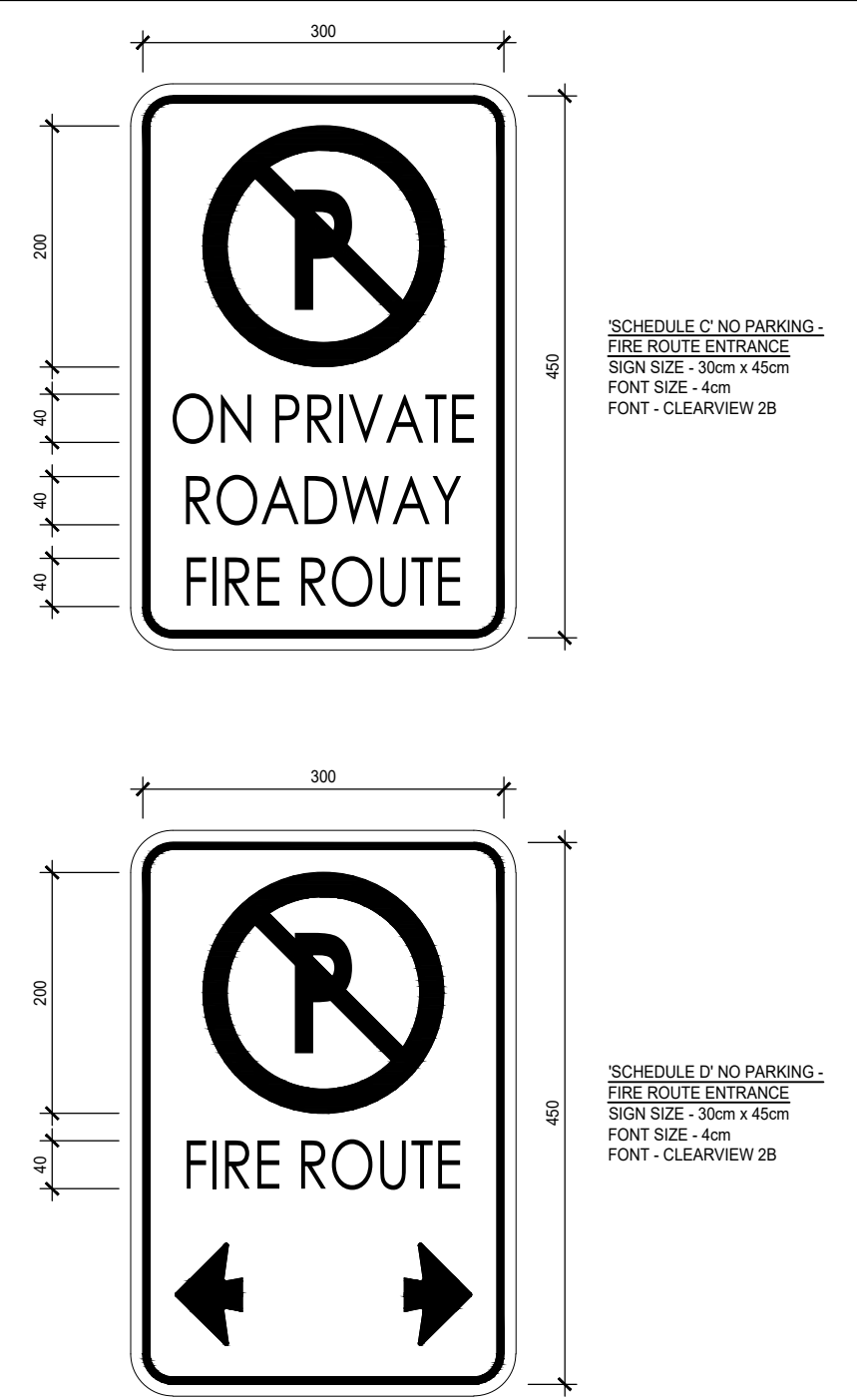
1 TYPICAL BARRIER-FREE PARKING SIGN
SCALE: NOT TO SCALE



2 TYP. INVERTED "U" BIKE RACK DETAIL
SCALE: NOT TO SCALE

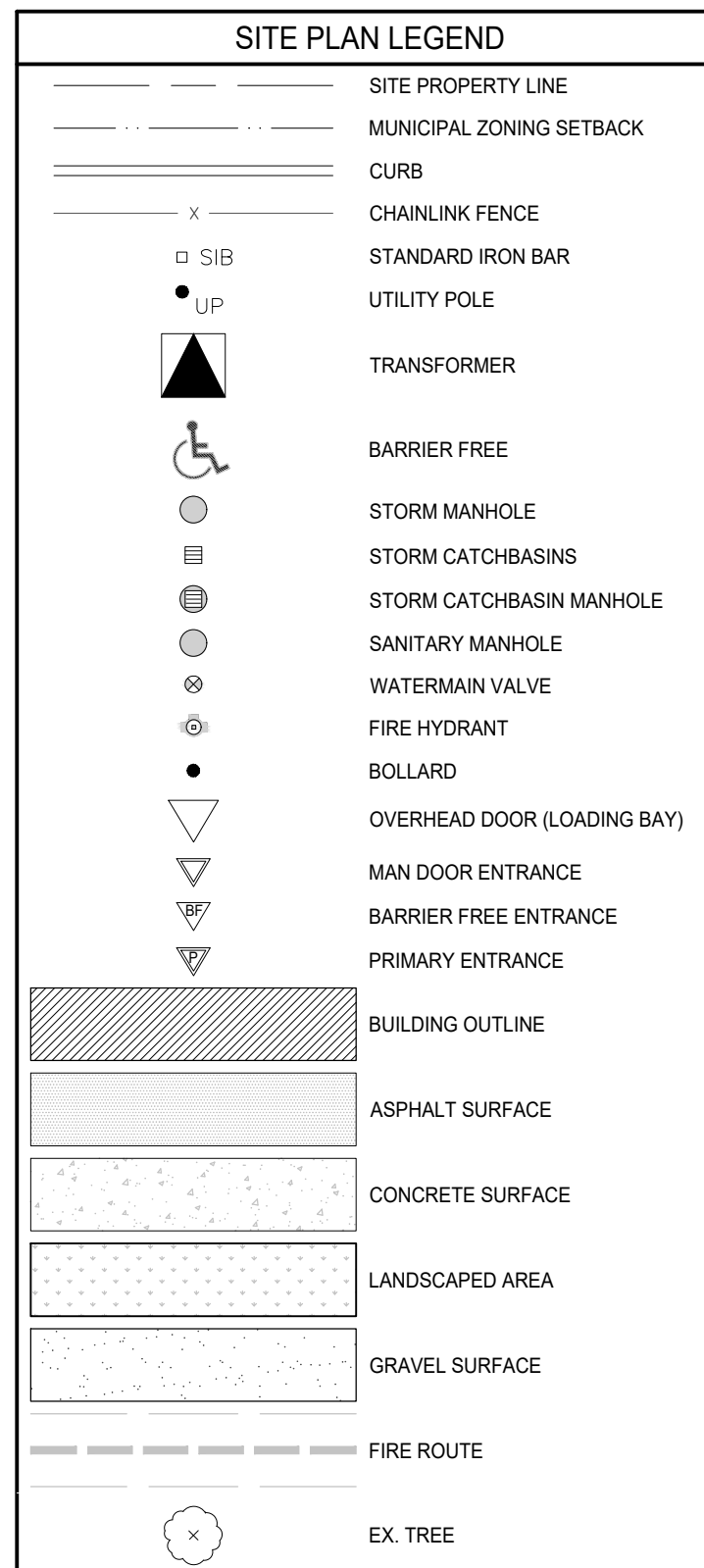


3 TYPICAL NO PARKING SIGN
SCALE: NOT TO SCALE

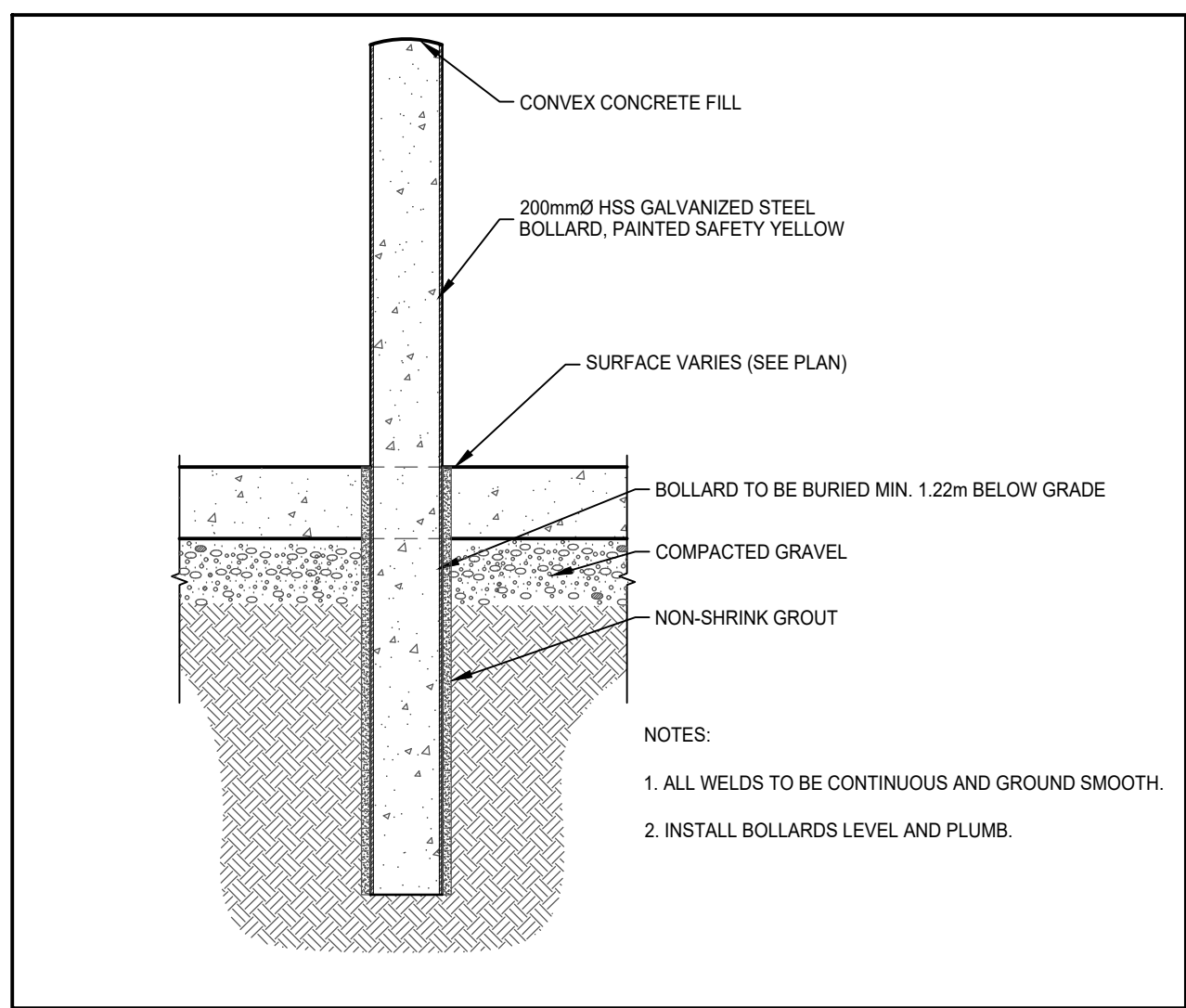
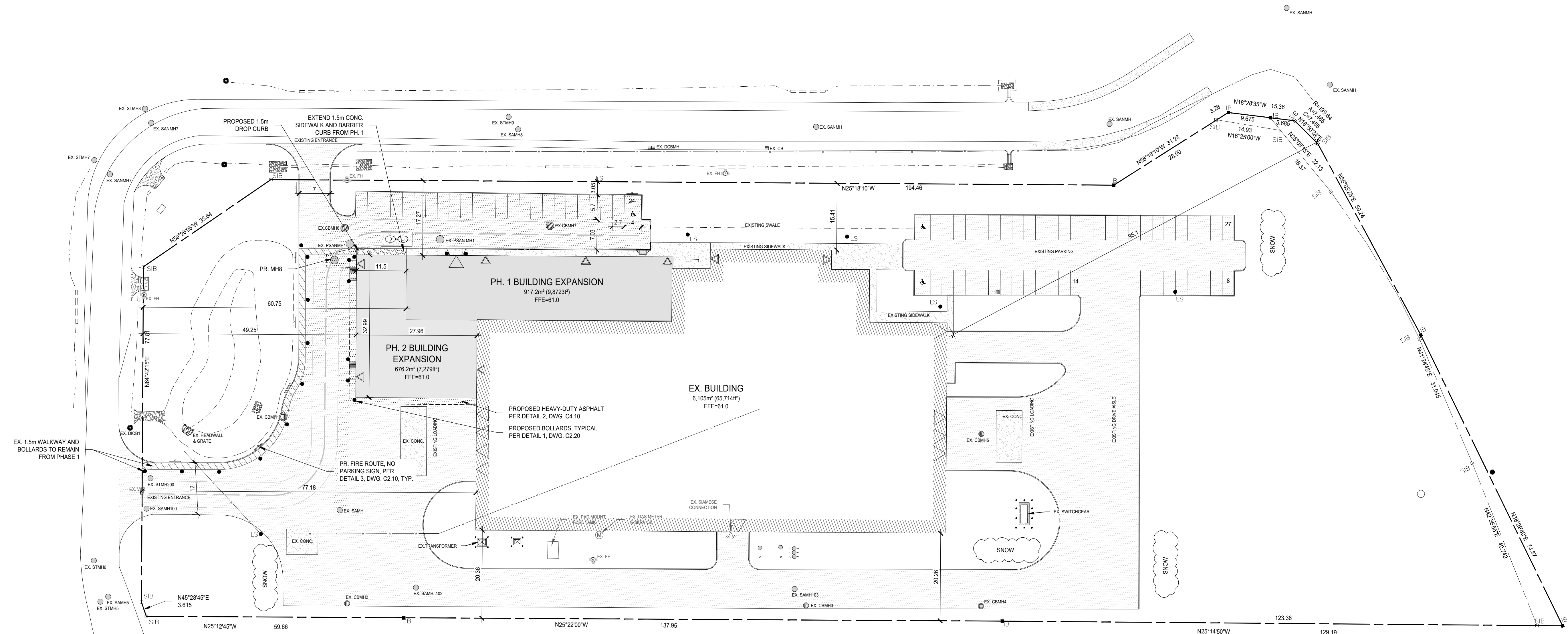


ZONING DATA (FOR GENERAL INDUSTRIAL ZONE (G H21))				
REGULATIONS	REQUIRED	EXISTING	PH. 1	CONFORMS
LOT AREA	MIN. 1000m ²	30,838m ²	30,838m ²	Y
LOT COVERAGE	MAX. 65%	20%	23%	Y
LOT FRONTAGE	30.0m MIN.	222.46m	222.46m	Y
FRONT YARD SETBACK	3.0m	15.41m	15.41m	Y
EXTERIOR SIDE YARD SETBACK	3.0m	N=77.18m S=95.1m	N=60.76m S=95.1m	Y
REAR YARD SETBACK	3.0m	20.26m	20.26m	Y
WIDTH OF LANDSCAPED AREA	3.0m ABUTTING STREET	>3.0m	3.05m	Y

PARKING DATA (AREA C)				
REGULATIONS	REQUIRED	EXISTING	PROPOSED	CONFORMS
LIGHT INDUSTRIAL USE 0.8 PER 100m ² FOR FIRST 5000m ² 0.4 PER 100m ² ABOVE 5000m ²	EX. = 40+5 PH. 1 = 3	63	49 EX. 24 PR.	Y
TOTAL PARKING	48		73	
BARRIER FREE PARKING	N/A	4	3	Y
BICYCLE PARKING	7	0	8	Y
TOTAL LOADING SPACES	N/A	8	8	Y



SEE NOTES ON SHEET C0.10



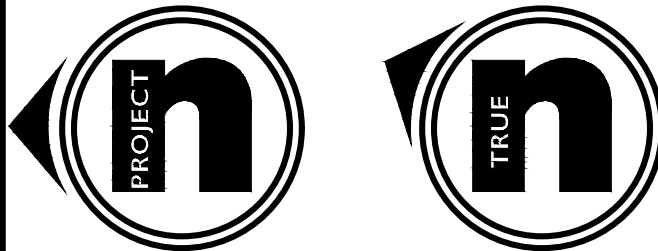
1 BOLLARD DETAIL
C2.20 SCALE: NOT TO SCALE

ZONING DATA (FOR GENERAL INDUSTRIAL ZONE (G HI(21))					
REGULATIONS	REQUIRED	EXISTING	PH. 1	PH. 2	CONFORMS
LOT AREA	MIN. 1000m ²	30,838m ²	30,838m ²	30,838m ²	Y
LOT COVERAGE	MAX. 65%	20%	23%	25%	Y
LOT FRONTAGE	30.0m MIN.	222.46m	222.46m	222.46m	Y
FRONT YARD SETBACK	3.0m	15.41m	15.41m	15.41m	Y
EXTERIOR SIDE YARD SETBACK	3.0m	N=77.19m S=95.1m	N=60.76m S=95.1m	N=49.25m S=95.1m	Y
REAR YARD SETBACK	3.0m	20.26m	20.26m	20.26m	Y
WIDTH OF LANDSCAPED AREA	3.0m ABUTTING STREET	>3.0m	3.05m	3.05m	Y

PARKING DATA (AREA C)				
REGULATIONS	REQUIRED	EXISTING	PROPOSED	CONFORMS
LIGHT INDUSTRIAL USE 0.8 PER 100m ² FOR FIRST 5000m ² 0.4 PER 100m ² ABOVE 5000m ²	EX = 40+5 PH. 1 = 4 PH. 2 = 3	63	49 EX. 24 PR.	Y
TOTAL PARKING	52		73	
BARRIER FREE PARKING	N/A	3	3	Y
BICYCLE PARKING	8	0	8	Y
TOTAL LOADING SPACES	N/A	8	8	Y

SITE PLAN LEGEND	
	SITE PROPERTY LINE
	MUNICIPAL ZONING SETBACK
	CURB
	CHAINLINK FENCE
	STANDARD IRON BAR
	UTILITY POLE
	TRANSFORMER
	BARRIER FREE
	STORM MANHOLE
	STORM CATCHBASINS
	STORM CATCHBASIN MANHOLE
	SANITARY MANHOLE
	WATERMAIN VALVE
	FIRE HYDRANT
	BOLLARD
	OVERHEAD DOOR (LOADING BAY)
	MAN DOOR ENTRANCE
	BARRIER FREE ENTRANCE
	PRIMARY ENTRANCE
	BUILDING OUTLINE
	ASPHALT SURFACE
	CONCRETE SURFACE
	LANDSCAPED AREA
	GRAVEL SURFACE
	FIRE ROUTE
	EX. TREE

SEE NOTES ON SHEET C0.10



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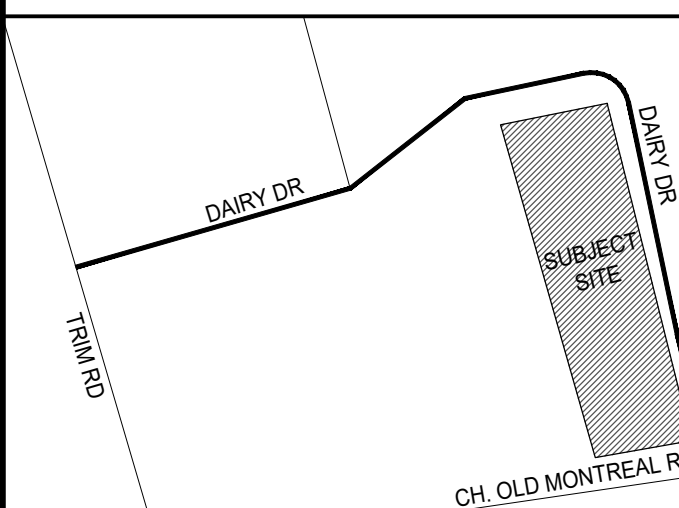
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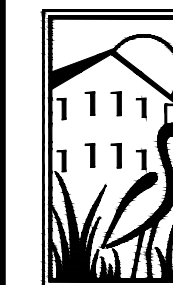
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OTTAWA, ON K4A 3N3

PROPOSED EXPANSIONS

PHASE 2 - SITE PLAN



DESIGN BY: AT
DRAWN BY: KW
CHECKED BY: GB
DATE: 2021.06.18
SCALE: 1:500
PROJECT NUMBER: 21008

CURRENT REVISION:
3

C2.20