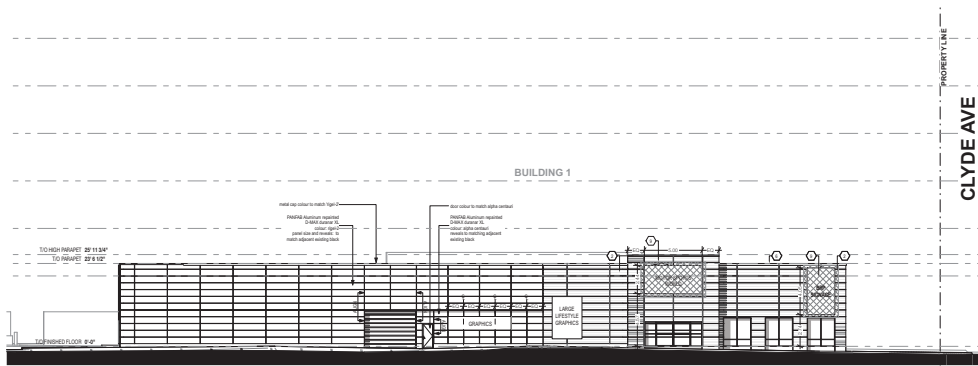
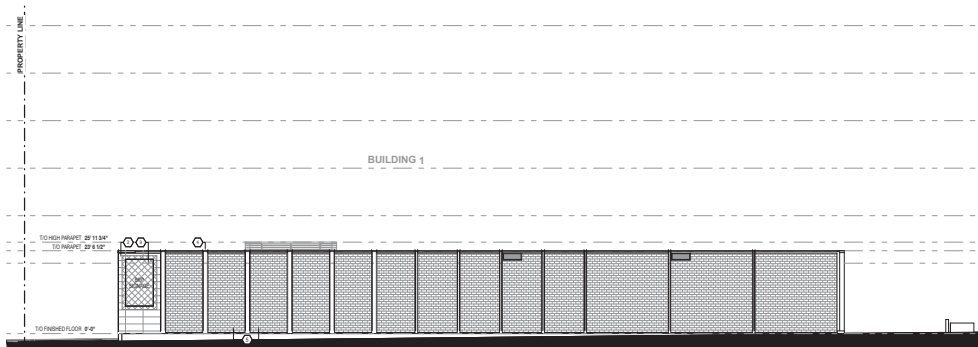


- LEGEND**
- ① PRE-FABRICATED INSULATED METAL PANEL SYSTEM WITH BOND-BEAM OR ORIGINAL ORIGINAL COLOR FINISH
 - ② CONCRETE IN EXISTING FOUNDATION TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ③ CONCRETE IN EXISTING FOUNDATION TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ④ CONCRETE IN EXISTING FOUNDATION TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑤ REFINISH
 - ⑥ EXISTING EXPOSED COLUMNS TO REMAIN
 - ⑦ EXISTING CONCRETE BLOCK FINISH TO REMAIN
 - ⑧ NEW FINISH OF FINISH
 - ⑨ NEW WINDOWS IN EXISTING OPENINGS
 - ⑩ PROVIDE BLOCKING FOR REINFORCED CONCRETE & REQUIREMENTS AND PROTECT WITH CURB
 - ⑪ PROVIDE FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑫ FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑬ PROVIDE FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑭ PROVIDE FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑮ PROVIDE FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN
 - ⑯ PROVIDE FINISH OF CONCRETE TO REMAIN TO BE REFINISHED TO MATCH EXISTING CONCRETE FINISH TO REMAIN

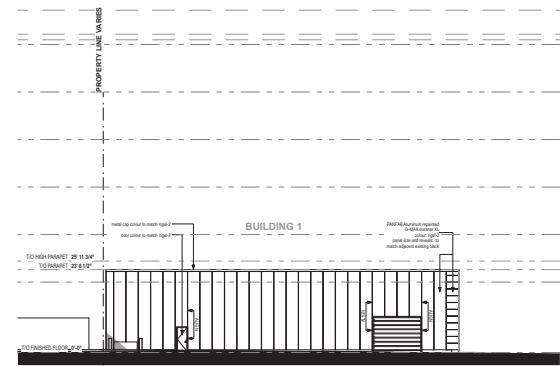
BUILDING 1 ELEVATIONS



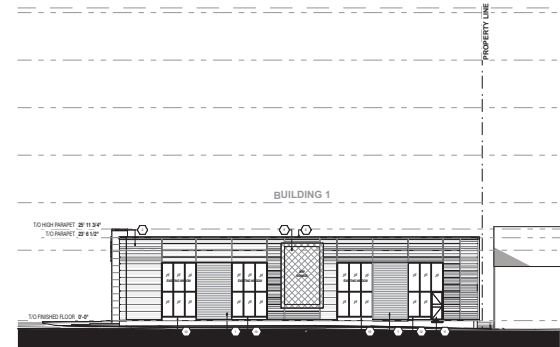
2 NORTH ELEVATION - RETAIL
SCALE: 1/200



4 SOUTH ELEVATION - RETAIL
SCALE: 1/200



3 EAST ELEVATION - RETAIL
SCALE: 1/200



1 WEST ELEVATION - RETAIL
SCALE: 1/200



Note: Building permit issuances shall be subject to the building permit drawings not being in conformance with these approved plans and drawings including, but not limited to, the exterior design of the building and exterior building materials.
 Note: This drawing and all copyright therein are the sole and exclusive property of TACT Design Inc. Reproduction or use of this drawing in whole or in part by any means or in any way whatsoever without the prior written consent of TACT Design Inc. is strictly prohibited. Do not scale this drawing.
 Published Tuesday, December 7, 2021.
 File: 1811-06 Clyde v_27-1_SPA Final.dwg

TACT Architecture Inc.
 2021 College Street (2nd floor level)
 Toronto, Ontario M5S 1K6
 416-925-1888
 www.tact.ca



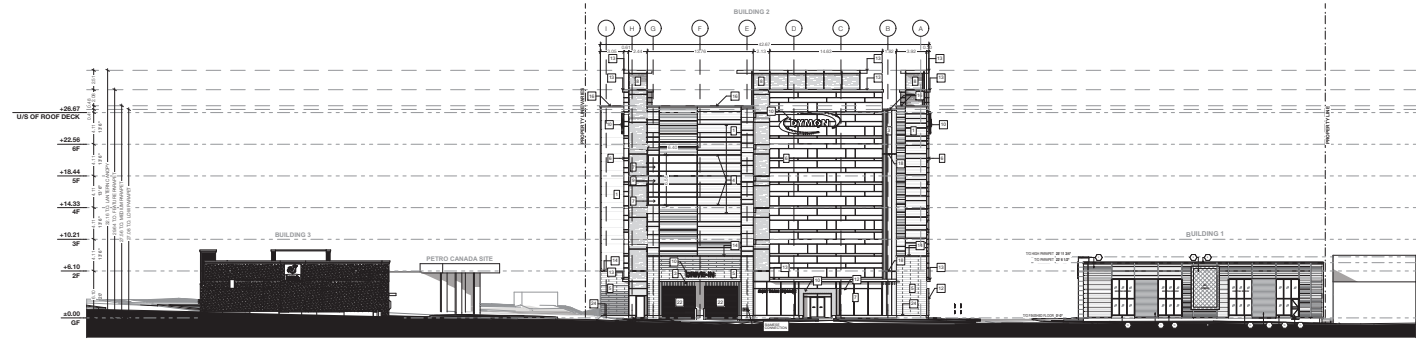
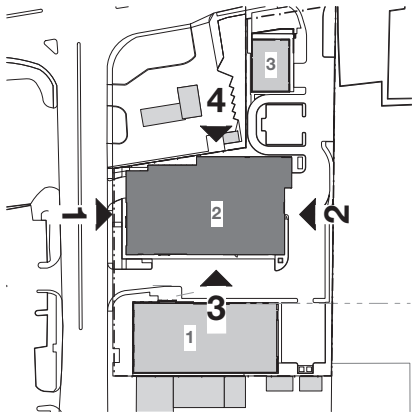
FORIN CONSULTANTS ARCHITECTS
 1575 Clyde Ave
 Ottawa, Ontario

DYMON STORAGE
 1575 Clyde Ave
 Ottawa, Ontario

Dymon Capital Corporation
 1575 Clyde Ave
 Ottawa, Ontario

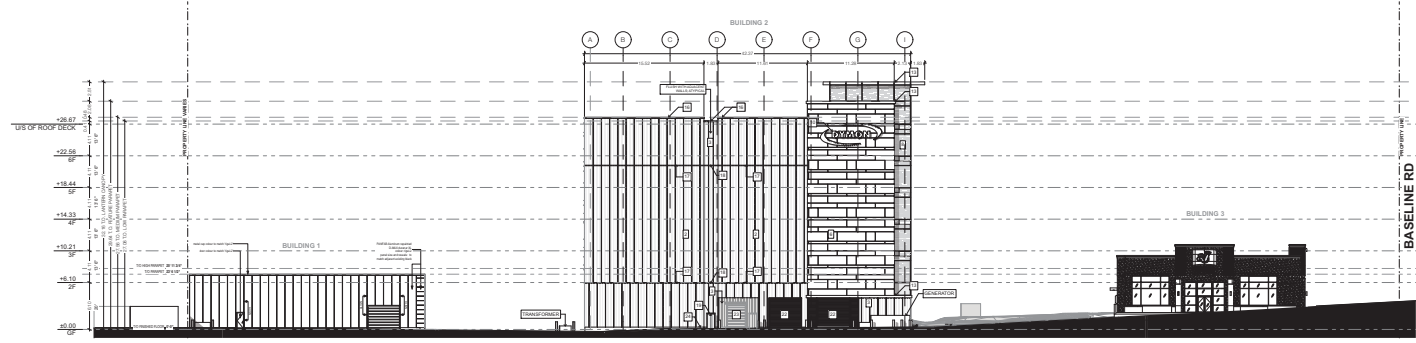
Site Elevations - Building 1
 RD., JL., FT, ST, NS
 Tuesday, December 7, 2021

1011-07



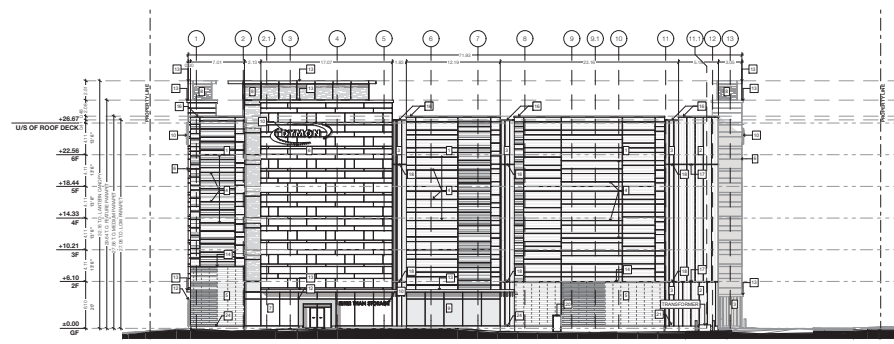
1 WEST ELEVATION - ENTIRE SITE
SCALE: 1:300

LEGEND	
1	INSULATED METAL PANEL (IMP) SYSTEM - HORIZONTAL ORIENTATION - KINGSPAN MINI MICRO-PIE PROFILE - COLOUR: PEWTER
2	INSULATED METAL PANEL (IMP) SYSTEM - HORIZONTAL ORIENTATION - KINGSPAN MINERAL FIBRE MINI MICRO-PIE PROFILE - COLOUR: PEWTER
3	INSULATED METAL PANEL (IMP) SYSTEM - VERTICAL ORIENTATION - EMBOSSED SPANDREL PROFILE - COLOUR: PEWTER
4	INSULATED METAL PANEL (IMP) SYSTEM - VERTICAL ORIENTATION (RECESSES & REVEALS) - EMBOSSED SPANDREL PROFILE - COLOUR: DARK BRONZE
5	INSULATED METAL PANEL (IMP) SYSTEM - HORIZONTAL ORIENTATION - COLOUR: MEDIUM BRONZE
6	WINGSPAN HARRIS FIN - STANDARD RECTANGLE FIN - COLOUR: PEWTER
7	3 1/2" ARCHITECTURAL MASONRY UNIT - AIRCRAFT ADAR LIMESTONE - FINISH: FINE DRESSED SPAN-VERGED - RUNNING BOND
8	CURTAIN WALL GLAZING - FINISH: VISION GLASS
9	CURTAIN WALL GLAZING - FINISH: FRITTED WINDOW FILM ON VISION GLASS
10	SPANDREL PANEL - COLOUR TO MATCH IMP PEWTER
11	INTERNALLY LIT SIGNAGE - COLOUR TBD
12	INTERNALLY LIT SIGNAGE - COLOUR TBD
13	GLASS SIGNAGE BAND - COLOUR: TBD
14	METAL CANOPY - COLOUR TO MATCH IMP PEWTER
15	PRECAST CONCRETE SILL - COLOUR: TBD
16	CONTINUOUS BENT FLASHING SILL - COLOUR TO MATCH IMP PEWTER
17	CONTINUOUS BENT METAL CAP - PREFINISHED COLOUR TO MATCH IMP DARK BRONZE
18	PREFINISHED METAL CAP - FINISH: SLATE GREY (ALL BENT METAL CAP FINISHES)
19	PREFINISHED METAL IMP STACK JOINT COVER TRIM - COLOUR TO MATCH IMP PEWTER
20	PREFINISHED METAL IMP STACK JOINT COVER TRIM - COLOUR TO MATCH IMP DARK BRONZE
21	INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH IMP PEWTER
22	INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH ARCHITECTURAL MASONRY UNIT ADAR LIMESTONE
23	INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH VERTICAL IMP SYSTEM DARK BRONZE
24	HIGH SPEED ROLL-UP OH DOOR - FINISH: STEEL FRAME WITH POLYCARBONATE VISION SLATS
25	INSULATED OH DOOR - COLOUR TO MATCH IMP PEWTER
26	POURED CONCRETE
27	PREFINISHED SPANDREL PANEL

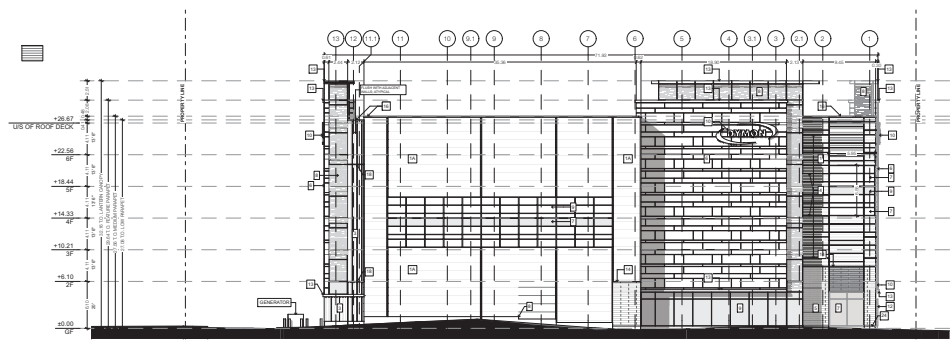


2 EAST ELEVATION - ENTIRE SITE
SCALE: 1:300

DYMON STORAGE ELEVATIONS - BUILDING 2



3 SOUTH ELEVATION - DYMON STORAGE BUILDING
SCALE: 1:300



4 NORTH ELEVATION - DYMON STORAGE BUILDING
SCALE: 1:300



Note: Building permit issuance shall be subject to the building permit drawings not being in contravention with these approved plans and drawings including, but not limited to, the exterior design of the building and exterior building materials.

Note: This drawing and all copyright therein are the sole and exclusive property of TACT Design Inc. Reproduction or use of this drawing in whole or in part by any means or in any way whatsoever without the prior written consent of TACT Design Inc. is strictly prohibited. Do not scale this drawing.
Published Tuesday, December 7, 2021.
File: 1811-08_Cityde v_27_1_BPA_PermitDrawings.rvt

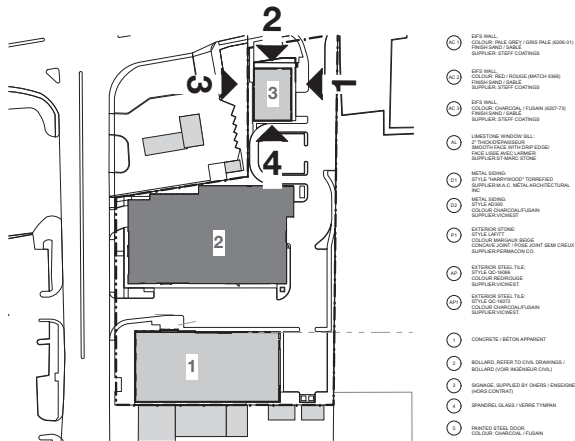
TACT Architecture Inc.
 6041 Colgate Street (near Hwy 404)
 Toronto, Ontario M3J 1K6
 416-291-1888
 info@tact.ca
 www.tact.ca

ARCHITECT OF RECORD
 PROJECT ARCHITECT
 PROJECT MANAGER
 PROJECT COORDINATOR
 PROJECT ENGINEER

DYMON STORAGE
 1575 Clyde Ave
 Ottawa, Ontario

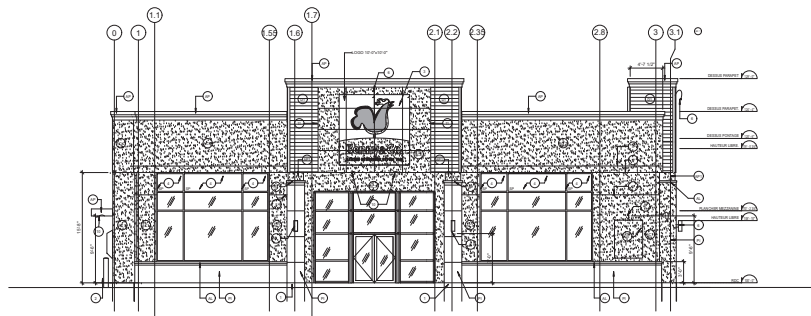
Client: **Dymon Capital Corporation**
 1575 Clyde Ave
 Ottawa, Ontario

Date: **RD, JL, FT, ST, NS** PJ
 Tuesday, December 7, 2021
 1811-07

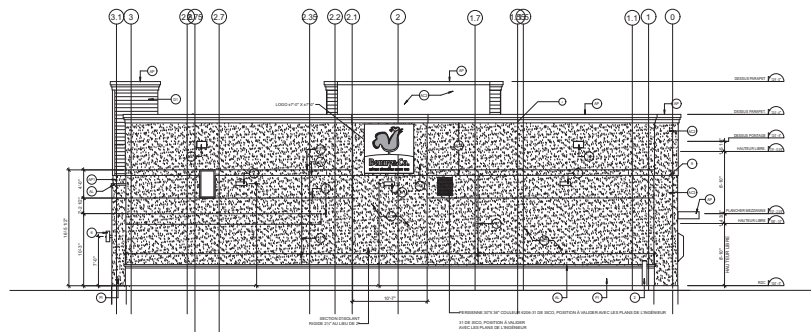


- ① EAST WALL
COLOUR: TRAC (GREY) (GWS PALE) (B&B-01)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ② EAST WALL
COLOUR: TRAC (GREY) (GWS PALE) (B&B-01)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ③ EAST WALL
COLOUR: TRAC (GREY) (GWS PALE) (B&B-01)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ④ UNHEATED WINDOW WALL
2" THERMOCLIMATE
GLASS: CLEAR
FRAME: ALUMINUM
SUPPLIER: THERMOCLIMATE
- ⑤ METAL BEAM
TYPE: HEAVY-DUTY
FINISH: GALVALUM
SUPPLIER: METAL ARCHITECTURAL INC.
- ⑥ METAL BEAM
TYPE: ALUMINUM
FINISH: ANODIZED
SUPPLIER: METAL ARCHITECTURAL INC.
- ⑦ EXTERIOR STUCCO
COLOUR: TRAC (GREY) (GWS PALE) (B&B-01)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ⑧ EXTERIOR STUCCO
COLOUR: TRAC (GREY) (GWS PALE) (B&B-01)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ⑨ CONCRETE (RETENTION WALL)
TYPE: CONCRETE
FINISH: CONCRETE
SUPPLIER: CONCRETE
- ⑩ BOLLARD REFER TO CIVIL DRAWINGS / BOLLARD FOR MEDIAN CURB
- ⑪ SIGNAGE SUPPLIED BY OWNER (FINISHING PHASE CONTRACT)
- ⑫ SPANDREL GLASS - VERTICAL TERMINI
- ⑬ FINISHED STEEL DOOR
COLOUR: CHARCOAL (GWS)
- ⑭ EXTERIOR LIGHTS, SEE ELECTRICAL / FINISHING COLOURS (FOR NEIGHBOUR ELECTRICAL)
- ⑮ EXTERIOR LIGHTS, SEE ELECTRICAL / FINISHING COLOURS (FOR NEIGHBOUR ELECTRICAL)
- ⑯ 1" GROOVE IN STUCCO FINISH - FINISHING ON 1" SPAN IN RETENTION WALL (SEE ELEVATION 1)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ⑰ 1" GROOVE IN STUCCO FINISH WITH 1/2" SPAN IN RETENTION WALL (SEE ELEVATION 1)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ⑱ 1" GROOVE IN STUCCO FINISH WITH 1/2" SPAN IN RETENTION WALL (SEE ELEVATION 1)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ⑲ RECESSED EXTERIOR LIGHT WITH BLACK FINISH
TYPE: RECESSED EXTERIOR LIGHT
FINISH: BLACK
SUPPLIER: RECESSED EXTERIOR LIGHT
- ⑳ STEEL TRUSS BRACING, 2X4x8x10x12
FINISH: GALVALUM
SUPPLIER: METAL ARCHITECTURAL INC.
- ㉑ ALUMINUM CONCRETE BLOCK WITH 1/2" GROOVE IN STUCCO FINISH (SEE ELEVATION 1)
FINISH: STUCCO
SUPPLIER: STUCCO FINISHES
- ㉒ METAL GIRL, COORDINATE DIMENSIONS WITH CONCRETE RETENTION WALL
FINISH: GALVALUM
SUPPLIER: METAL ARCHITECTURAL INC.
- ㉓ GARBOYLE (GARBOYLE)
- ㉔ 1/2" FLUSH BY OTHERS, "FLIP FRAME" (NO FINISH)
- ㉕ SPANDREL PANEL, GLASS EXTERIOR, OVER EXTERIOR (FINISHING COLOURS) AT OFFICE COOTE INTERIOR
- ㉖ ALUMINUM PANEL, COLOUR TO MATCH CONCRETE WALL FINISH (SEE ELEVATION 1)
FINISH: GALVALUM
SUPPLIER: METAL ARCHITECTURAL INC.
- ㉗ 2" X 8" GIRL, COLOUR TO MATCH BOLD BOLT GIRL, COORDINATE DIMENSIONS WITH METAL GIRL, FINISHING ON 2" SPAN (SEE ELEVATION 1)
FINISH: GALVALUM
SUPPLIER: METAL ARCHITECTURAL INC.

BENNY & CO. RESTAURANT ELEVATIONS - BUILDING 3



1 EAST ELEVATION - RESTAURANT
SCALE: 1:100



3 WEST ELEVATION - RESTAURANT
SCALE: 1:100



2 NORTH ELEVATION - RESTAURANT
SCALE: 1:100



4 SOUTH ELEVATION - RESTAURANT
SCALE: 1:100



Note: Building permit issuance shall be subject to the building permit drawings not being in contradiction with these approved plans and drawings including, but not limited to, the exterior design of the building and exterior building materials.

Note: This drawing and all copyright therein are the sole and exclusive property of TACT Design Inc. Reproduction or use of this drawing in whole or in part by any means or in any way whatsoever without the prior written consent of TACT Design is strictly prohibited. Do not scale this drawing.
Published Tuesday, December 7, 2021.
File: 1811-08_Cityde_v_27-1_BPA_PlanSheets.dwg

TACT Architecture Inc.
 6041 Colgate Street (2nd floor)
 Toronto, Ontario M3J 1K6
 Tel: 416-754-1100
 Email: info@tact.ca

Professional Engineer
 Nicholas Grogan
 License No. 10000
 Ontario Association of Architects

DYMON STORAGE
 1575 Clyde Ave
 Ottawa, Ontario

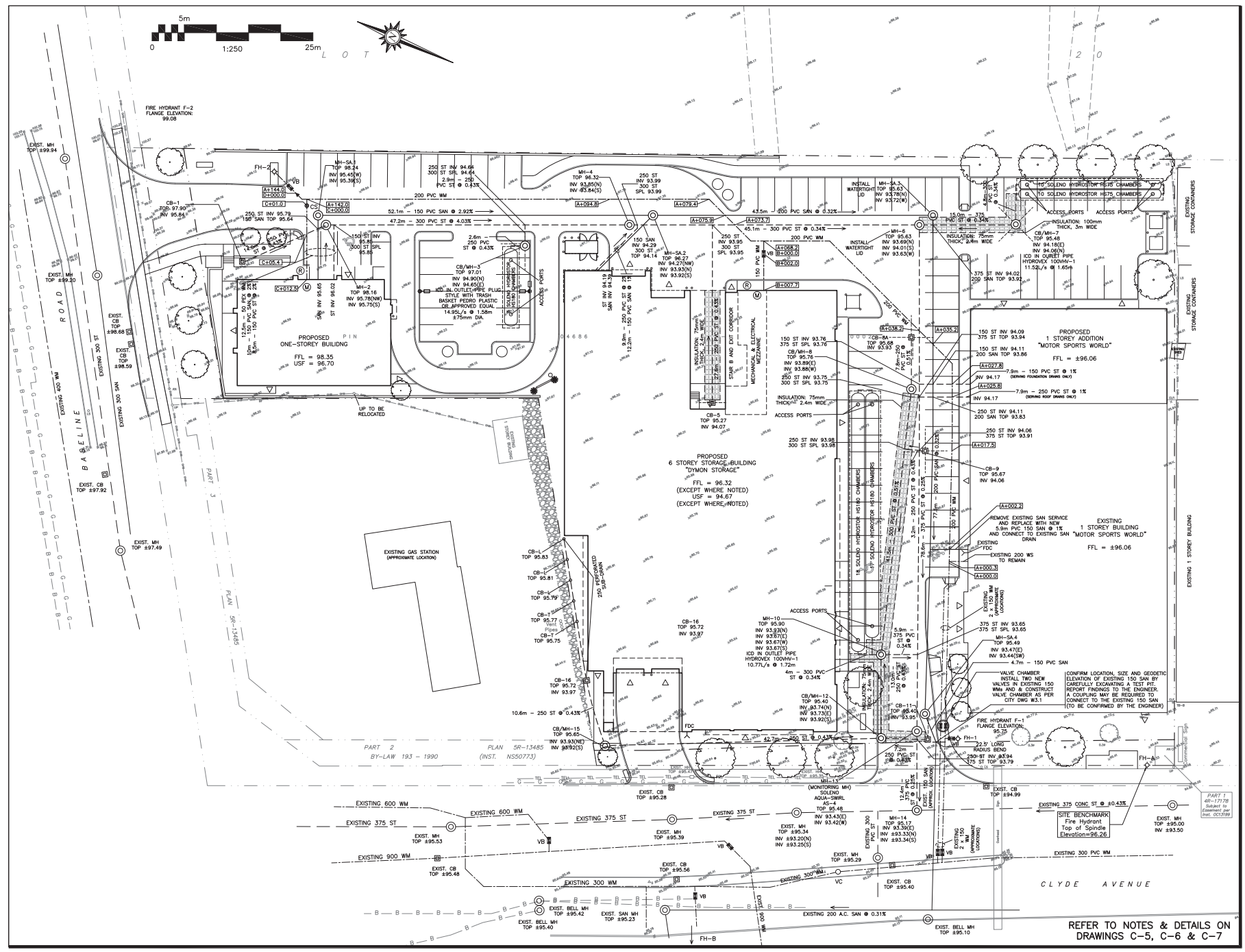
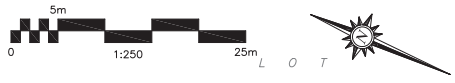
Dymon Capital Corporation

Site Elevations - Building 3

RD., JL., FT, ST, NS

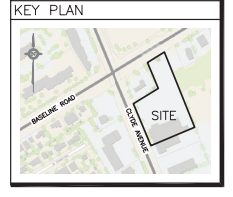
Tuesday, December 7, 2021

1811-07



DRAWING LEGEND

- CB Catch Basin
- MH Manhole
- CB/MH Catch Basin/Manhole
- SPL Sprinkling in PVC
- INV Invert of Pipe
- Submains in CB/MH
- Submains in CB/MH
- SM Sanitary Sewer
- ST Storm Water
- WS Water Service/Watermain
- CS Curb Stop & Standoff
- Valve & Valve Box
- Fire Hydrant
- FDC Fire Department Connection
- RD Roof Drain
- Water Meter
- Water Meter with Meter Redout
- Existing Grade Elevation
- Proposed Grade Elevation
- Existing Slope of Grade
- Proposed Slope of Grade
- Emergency Overland Flow
- Centerline of Drive
- Property Line
- Silt Fence Barrier
- 100mm CURB/RECESSED CURB
- Medium-Duty Pavement
- Heavy-Duty Pavement
- Concrete
- Landscape
- FFL First Floor Elevation
- Underrise of Footing



No.	DATE	REVISION
9	JUL 29-22	RE-ISSUED FOR APPROVAL
8	APR 28-22	RE-ISSUED FOR APPROVAL
7	APR 27-22	RE-ISSUED FOR TENDER
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

D. B. GRAY ENGINEERING INC.
 700 Long Point Circle
 Ottawa, Ontario
 613-425-8044
 d.gray@dbgrayengineering.com

PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING
 1375 CLYDE AVENUE
 OTTAWA, ONTARIO

SITE SERVICING PLAN

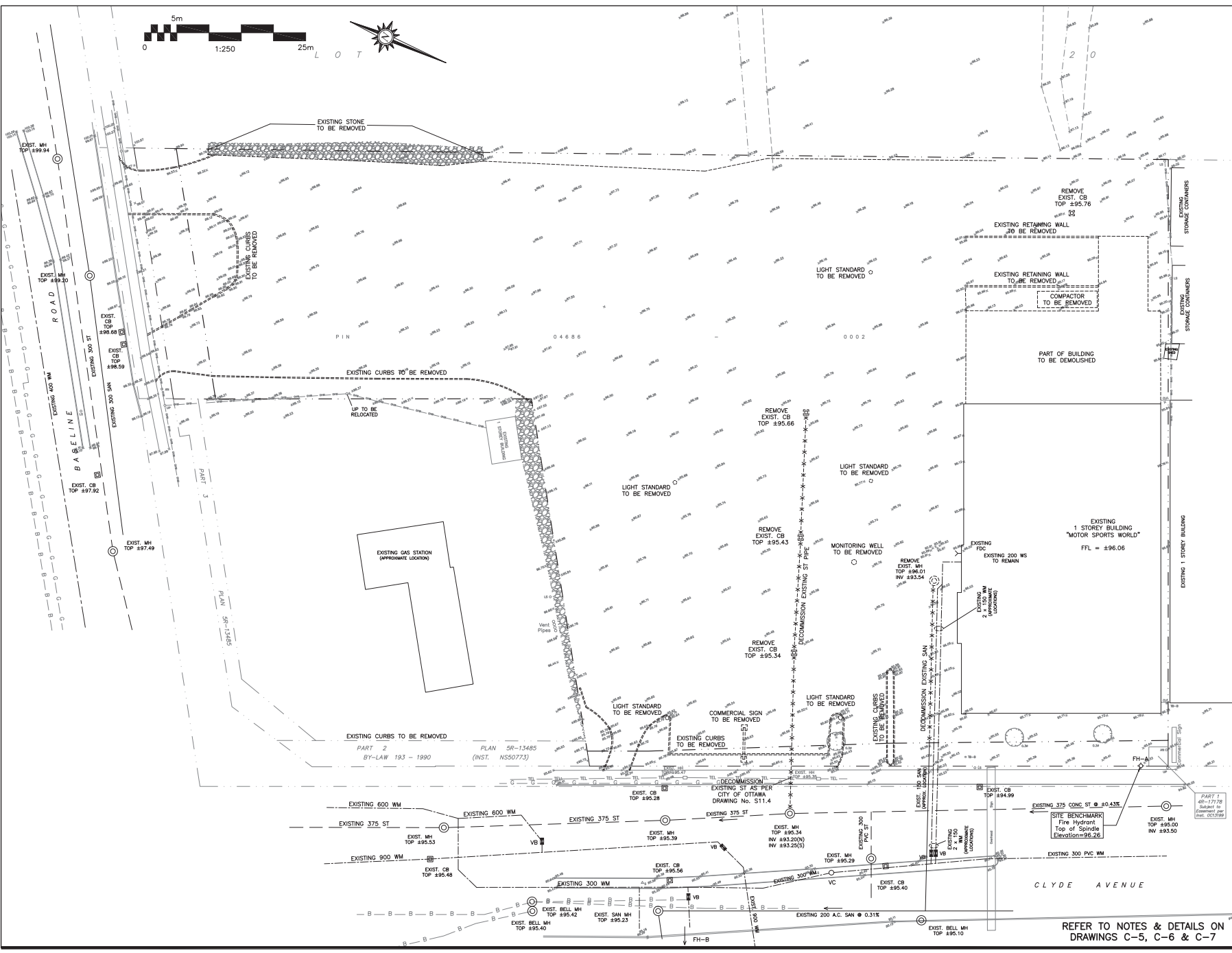
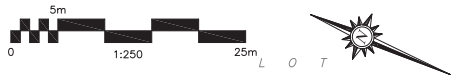
Engineer's Seal: **D.B. GRAY**, D.B. GRAY ENGINEERING INC., JUL 29-22, PROFESSIONAL ENGINEER OF ONTARIO.

Drawn: **D.B.G.**, Hor. Scale 1:250, Vert. Scale 1:100, Date: SEP 17-19, Job No.: 19058.

Drawing No.: **C-1** of 8.

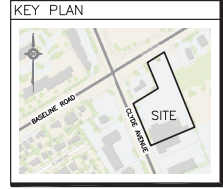
NOT VALID UNLESS SIGNED & DATED

REFER TO NOTES & DETAILS ON DRAWINGS C-5, C-6 & C-7



DRAWING LEGEND

- CB □ CATCH BASIN
- MH ○ MANHOLE
- CB/MH ○ CATCH BASIN/MANHOLE
- SPL ○ SPRINKLING OF PIPE
- INV ○ INVERT OF PIPE
- SUBURANS IN CB
- SUBURANS IN CB/MH
- SM ○ SANITARY SEWER
- ST ○ STORM SEWER
- WS/WM ○ WATER SERVICE/WATERMAIN
- CURB STOP & STANDPOST
- VALVE & VALVE BOX
- FIRE HYDRANT
- FDC ○ FIRE DEPARTMENT CONNECTION
- ROOF DRAIN
- WATER METER
- MISC. WATER METER REDUCUT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- EXISTING SLOPE OF GRADE
- PROPOSED SLOPE OF GRADE
- EMERGENCY OVERLAND FLOW
- CENTERLINE OF DRIVE
- PROPERTY LINE
- SILT FENCE BARRIER
- 150mm CURB/DEPRESSED CURB
- MEDIUM-DUTY PAVEMENT
- HEAVY-DUTY PAVEMENT
- CONCRETE
- LANDSCAPE
- FFL ○ FIRST FLOOR ELEVATION
- USP ○ UNDERSIDE OF FOOTING



No.	DATE	REVISION
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

D. B. GRAY ENGINEERING INC.
 Professional Engineers
 700 Long Point Circle
 Ottawa, Ontario
 613-425-8044
 d.gray@dbgrayengineering.com

PROPOSED 6-STOREY STORAGE FACILITY & 1-STOREY BUILDING 1375 CLYDE AVENUE
 OTTAWA, ONTARIO

EXISTING CONDITIONS REMOVALS & DECOMMISSIONING

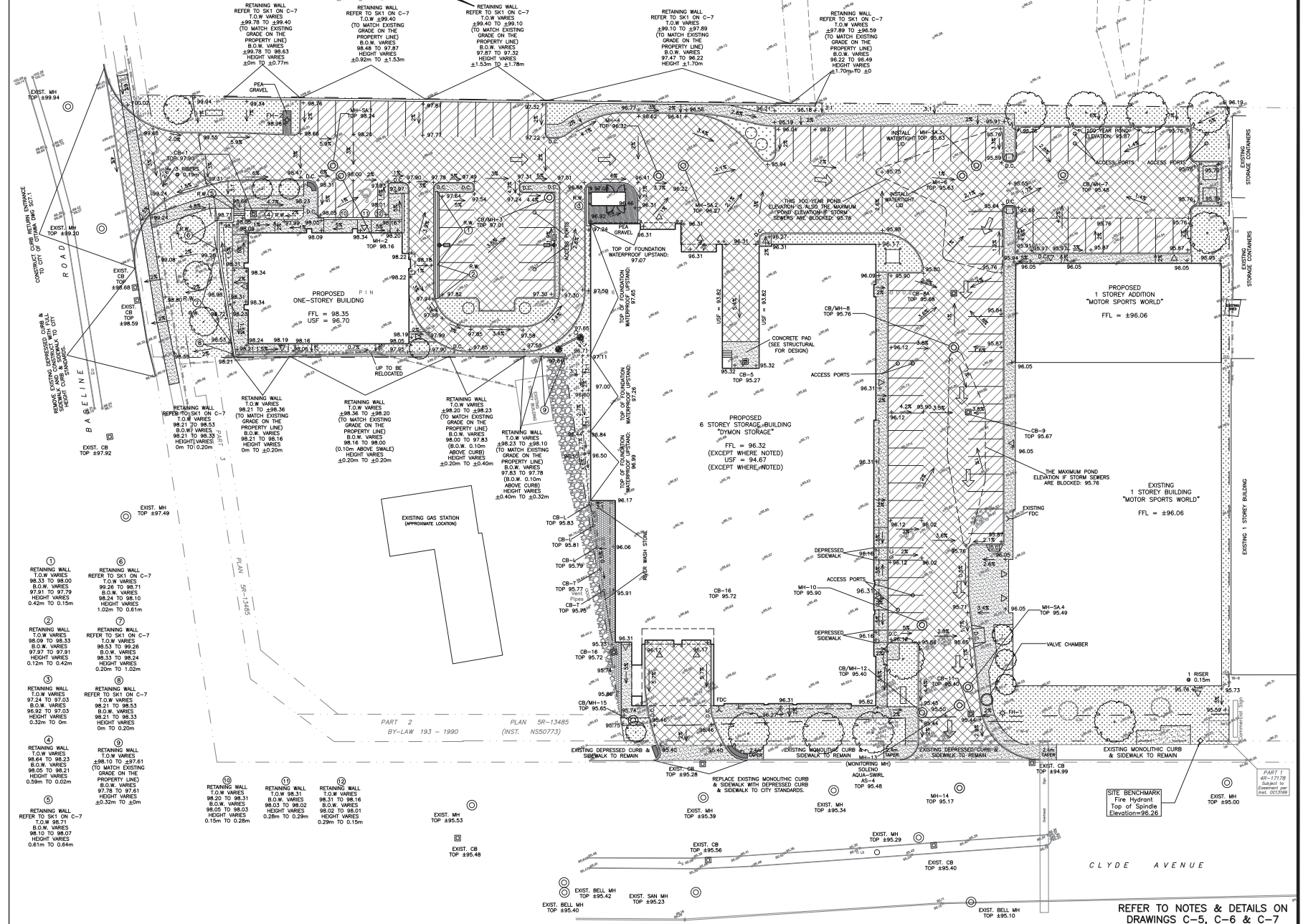
Engineer's Seal: **D.B. GRAY**, License No. 17016522, Province of Ontario

Drawn: **D.B.G.**, Hor. Scale 1:250, Vert. Scale 1:250, Date: **SEP 17-19**, Job No.: **19058**

Drawing No.: **C-2 of 8**

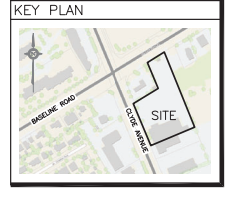
NOT VALID UNLESS SIGNED & DATED

REFER TO NOTES & DETAILS ON DRAWINGS C-5, C-6 & C-7



DRAWING LEGEND

- CB (M) CATCH BASIN
- CB (M) CATCH BASIN/MANHOLE
- SPL SPRINKLING OF PIPE
- INV INVERT OF PIPE
- UBS INVERT IN CB
- UBS INVERT IN CB
- SM SANITARY SEWER
- ST STORM SEWER
- W/S/W WATER SERVICE/WATERMAIN
- CSUB CURB STOP & STANDSTG
- V&V VALVE & VALVE BOX
- FDH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- WD WATER MAIN
- RM ROOF DRAIN
- WMC WASTE WATER METER REDUCUT
- EE EXISTING GRADE ELEVATION
- PE PROPOSED GRADE ELEVATION
- ES EXISTING SLOPE OF GRADE
- PS PROPOSED SLOPE OF GRADE
- EF EMERGENCY OVERLAND FLOW
- CS CENTERLINE OF BRIDGE
- PS PROPERTY LINE
- SFB SILT FENCE BARRIER
- CS CURB STOP & STANDSTG
- MP MEDIUM-DUTY PAVEMENT
- HP HEAVY-DUTY PAVEMENT
- CON CONCRETE
- LAN LANDSCAPE
- FFL FIRST FLOOR ELEVATION
- US UNDERSIDE OF FOOTING



No.	DATE	REVISION
8	JUL 29-22	RE-ISSUED FOR APPROVAL
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

D. B. GRAY ENGINEERING INC.
 Director: Management, Planning & Design, Jason G. Jones, P. Eng.
 700 Long Point Circle
 Ottawa, Ontario
 613-425-8044
 d.gray@dbgrayengineering.com

PROPOSED 6-STOREY STORAGE FACILITY & 1-STOREY BUILDING 1375 CLYDE AVENUE
 OTTAWA, ONTARIO

GRADING PLAN

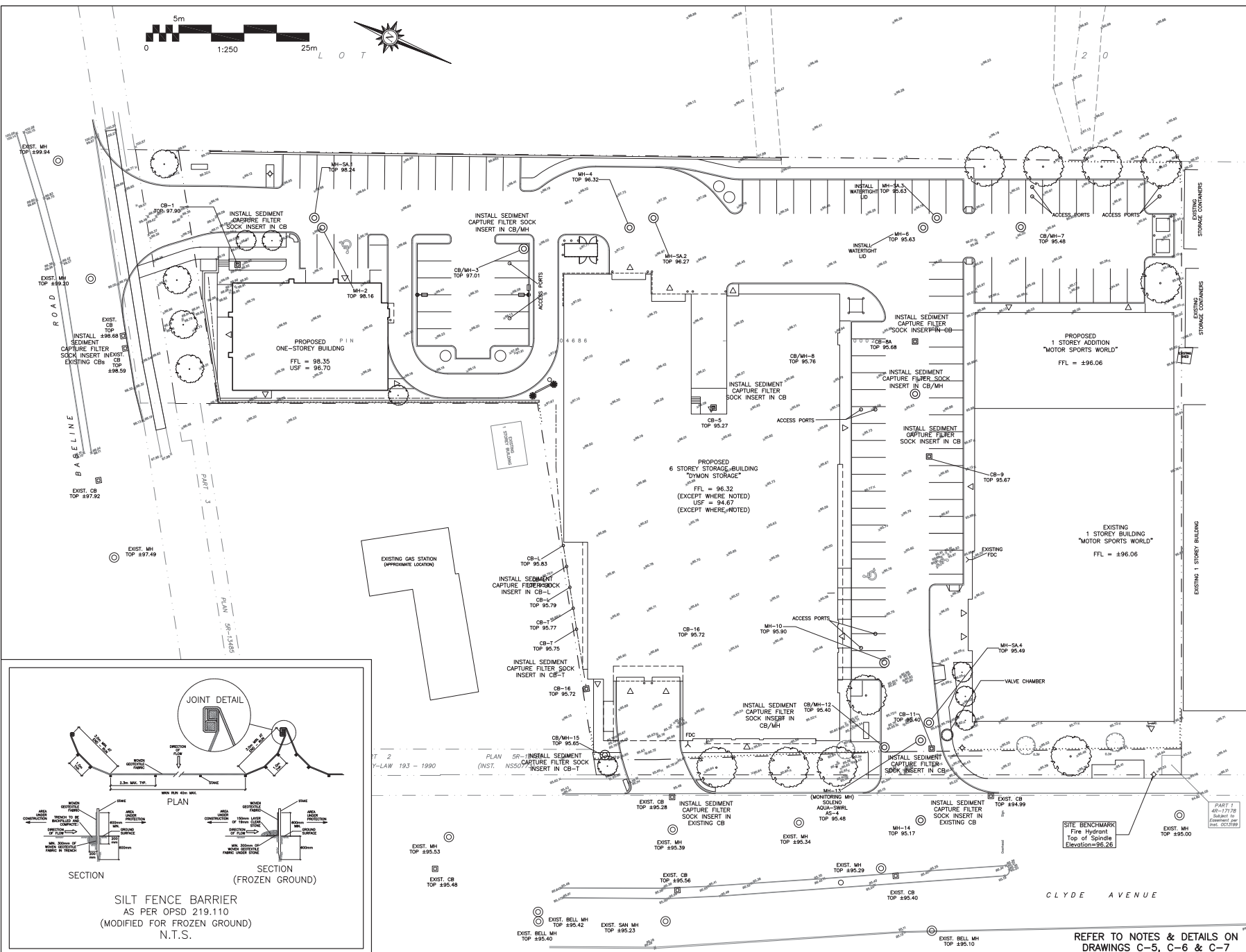
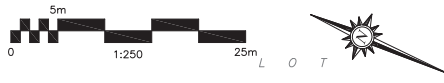
Engineer's Seal: **D.B. GRAY**, P. Eng. (17005022), JUL 29-22

Drawn: **D.B.G.**, Hor. Scale 1:250, Date: SEP 17-19, Job No: 19058

Drawing No: **C-3** of 8

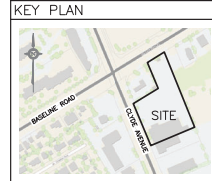
NOT VALID UNLESS SIGNED & DATED

REFER TO NOTES & DETAILS ON DRAWINGS C-5, C-6 & C-7



DRAWING LEGEND

- CB CHIMNEY
- MH MANHOLE
- CB/MH CATCH BASIN/MANHOLE
- SPL SPRAWLING OF PIPE
- INV INVERT OF PIPE
- SUB INVERT IN CB/MH
- SM SANITARY SEWER
- ST STORM SEWER
- WS/WMS WATER SERVICE/WATERMAIN
- CSUB CURB STOP & STANDPOST
- VAL VALVE & VALVE BOX
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- RD ROOF DRAIN
- WM WATER METER
- RMF REMOTE WATER METER REDOUT
- EGS EXISTING GRADE ELEVATION
- PGS PROPOSED GRADE ELEVATION
- ESG EXISTING SLOPE OF GRADE
- PSG PROPOSED SLOPE OF GRADE
- EOG EXISTING OVERLAND FLOW
- POG PROPOSED OVERLAND FLOW
- CL CENTERLINE OF DRIVE
- PL PROPERTY LINE
- SFB SILT FENCE BARRIER
- D.C. 100MM CURB/DEPRESSED CURB
- MDP MEDIUM-DUTY PAVEMENT
- HDP HEAVY-DUTY PAVEMENT
- CON CONCRETE
- LAN LANDSCAPE
- FFL FIRST FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING



No.	DATE	REVISION
8	JUL 29-22	RE-ISSUED FOR APPROVAL
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

D. B. GRAY ENGINEERING INC.
 Professional Engineers
 700 Long Point Circle 613-425-8044
 Ottawa, Ontario d.gray@dbgrayengineering.com

PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING 1375 CLYDE AVENUE OTTAWA, ONTARIO

EROSION & SEDIMENT CONTROL PLAN

Project: PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING 1375 CLYDE AVENUE OTTAWA, ONTARIO

Drawing Title: EROSION & SEDIMENT CONTROL PLAN

Engineer's Seal: D.B. GRAY, P. ENG. (17016522), JUL 29-22, PROVINCE OF ONTARIO

Drawn: D.B.G., Hor. Scale 1:250, Vert. Scale As Shown, Date: SEP 17-19, Job No: 19058

Refer to: C-4 of 8

NOT VALID UNLESS SIGNED & DATED

REFER TO NOTES & DETAILS ON DRAWINGS C-5, C-6 & C-7

1. GENERAL
 1.1 THE DRAWING SHALL BE CONSIDERED AS A GENERAL GUIDE FOR THE CONSTRUCTION OF THE PROJECT.
 1.2 UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.9 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 1.10 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

2. EXISTING AND EXEMPT CONTROL PLAN
 2.1 THE EXISTING AND EXEMPT CONTROL PLAN IS A PART OF THE CONTRACT DOCUMENTS AND SHALL BE REFERRED TO IN THE EVENT OF ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING AND EXEMPT CONTROL PLAN.
 2.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 2.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 2.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 2.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

3. FOUNDATION AND RETENTION CONTROL PLAN
 3.1 THE FOUNDATION AND RETENTION CONTROL PLAN IS A PART OF THE CONTRACT DOCUMENTS AND SHALL BE REFERRED TO IN THE EVENT OF ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FOUNDATION AND RETENTION CONTROL PLAN.
 3.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 3.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 3.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 3.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

4. GENERAL NOTES
 4.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 4.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 4.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 4.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.
 4.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA.

WATER SERVICE PROFILE TABLE

**MATERIAL: 200mm PVC PRESSURE CLASS 150 DR18
 "A" LINE**

STATION	DESCRIPTION	GRADE	TOP OF PIPE	DEPTH OF COVER	COMMENTS
A+000.0	CONNECTION TO EXISTING 200mm WATER MAIN	95.84	93.820	2.64m	
A+000.3	200mm x 200mm Tee TO CITY OF OTTAWA STANDARDS	95.84	93.19	2.65m	
A+002.2	-	95.82	93.18	2.64m	CROSSING 300 ST HW 81.68 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+017.5	-	95.83	93.14	2.69m	
A+025.8	-	95.82	93.11	2.71m	CROSSING 200 ST HW 81.14 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+027.8	-	95.82	93.10	2.72m	CROSSING 160 ST HW 81.14 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+031.0	45 DEG BEND TO CITY OF OTTAWA STANDARDS	95.82	93.09	2.73m	
A+035.2	-	95.89	93.09	2.80m	CROSSING 200 SAN HW 83.66 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+038.2	-	95.83	93.09	2.84m	CROSSING 375 ST HW 83.59 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+037.0	45 DEG BEND TO CITY OF OTTAWA STANDARDS	95.81	93.03	2.71m	
A+048.2 (A+003.0)	200mm x 150mm Tee TO CITY OF OTTAWA STANDARDS	96.04	93.25	2.79m	
A+070.2	10 CITY OF OTTAWA STANDARDS	96.06	93.28	2.80m	
A+073.7	-	96.00	93.28	2.72	CROSSING 300 ST HW 83.78 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+075.9	-	95.97	93.32	2.65m	CROSSING 200 SAN HW 83.88 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
A+079.4	45 DEG BEND TO CITY OF OTTAWA STANDARDS	96.08	93.29	2.69m	
A+084.8	-	95.81	93.31	2.69m	
A+141.9 (A+030.0)	50mm TRENCH COVERING OR SERVICE COUPLER AS PER CITY OF OTTAWA W13 (TO PROPOSED BUILDING)	98.43	95.33	3.10m	
A+142.7	45 DEG BEND TO CITY OF OTTAWA STANDARDS	98.48	95.33	3.15m	
A+143.6 (A+030.0)	200mm x 150mm REDUCER TO CITY OF OTTAWA STANDARDS	98.56	93.37	3.19m	

**MATERIAL: 150mm PVC PRESSURE CLASS 150 DR18
 "B" LINE**

STATION	DESCRIPTION	GRADE	TOP OF PIPE	DEPTH OF COVER	COMMENTS
B+00.0 (A+06.2)	200mm x 150mm Tee TO PROPOSED BUILDING	96.01	93.23	2.78m	
B+02.0	150mm VALVE & WAVE BOX AS PER CITY OF OTTAWA DRAWING NO. W24	96.06	93.23	2.83m	
B+06.0	-	96.15	93.34	2.81m	BOTTOM OF CURB
B+17.7	-	96.33	93.37	2.96m	ENTRY INTO BUILDING

**MATERIAL: 50mm PEX TUBING TO AWWA C-904 SDR 9 (CTS)
 "C" LINE**

STATION	DESCRIPTION	GRADE	TOP OF PIPE	DEPTH OF COVER	COMMENTS
C+00.0 (A+14.9)	50mm TRENCH COVERING OR SERVICE COUPLER AS PER CITY OF OTTAWA W13 (TO PROPOSED BUILDING)	98.43	95.33	3.10m	
C+01.0	50mm CURB STOP & SERVICE POINT TO CITY OF OTTAWA STANDARDS	98.40	95.32	3.08m	
C+05.4	-	98.28	95.29	2.97m	CROSSING 300 ST HW 81.79 TO CITY OF OTTAWA STANDARDS CLEARANCE (MW 500 FEET)
C+06.4	-	98.05	95.29	2.76m	BOTTOM OF CURB
C+12.5	-	98.19	95.29	2.90m	ENTRY INTO BUILDING

**MATERIAL: 150mm PVC PRESSURE CLASS 150 DR18
 "D" LINE**

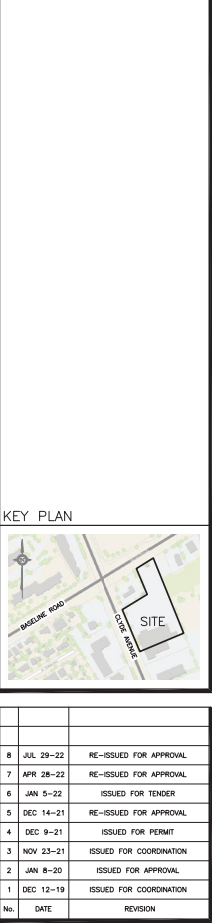
STATION	DESCRIPTION	GRADE	TOP OF PIPE	DEPTH OF COVER	COMMENTS
D+00.0 (A+14.9)	200mm x 150mm REDUCER TO CITY OF OTTAWA STANDARDS	98.56	93.37	3.19m	
D+01.6	150mm VALVE & WAVE BOX AS PER CITY OF OTTAWA DRAWING NO. W24	98.63	93.45	3.18m	
D+04.8	10 CITY OF OTTAWA STANDARDS	95.96	95.61	3.35m	

CATCH BASIN & MANHOLE SCHEDULE

REF	TOP	SIZE	TYPE	INVERT AT INLET	INVERT AT OUTLET	NOTES
STORM SEWER						
CB-1	97.90	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	95.84	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB-2	98.14	1200mm	PRE-CAST CONCRETE CATCH-BASIN	95.78(W)	95.74(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB/MH-3	97.01	1200mm	PRE-CAST CONCRETE CATCH-BASIN/MANHOLE	94.90(W)	94.60(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0 INSTALL ICB IN OUTLET PIPE
MH-4	96.32	1200mm	PRE-CAST CONCRETE MANHOLE	93.85(W)	93.84(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB-5	95.27	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	94.07	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
MH-6	95.63	1200mm	PRE-CAST CONCRETE MANHOLE WITH WATERPROOF LID	93.69(W) 94.01(W)	93.63(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0 INSTALL WATER TIGHT LID
CB/MH-7	95.48	1200mm	PRE-CAST CONCRETE CATCH-BASIN/MANHOLE	94.18(W)	94.06(W)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0 INSTALL ICB IN OUTLET PIPE
CB-8	95.68	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	93.93	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB/MH-8	95.75	1200mm	PRE-CAST CONCRETE MANHOLE	-	93.88	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB-9	95.67	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	94.06	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
MH-10	95.90	1200mm	PRE-CAST CONCRETE MANHOLE WITH WATERPROOF LID	93.97(W) 93.07(W)	93.67(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0 INSTALL ICB IN OUTLET PIPE
CB-11	95.40	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	93.95	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB/MH-12	95.40	1200mm	PRE-CAST CONCRETE CATCH-BASIN/MANHOLE	93.92(W) 93.74(W)	93.72(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
MH-13	95.48	400mm	SOLID AS-4 GRIFF HOPE MANHOLE	93.43(S)	93.42(S)	-
MH-14	95.17	400mm	SOLID AS-4 GRIFF HOPE MANHOLE	93.39(S) 93.34(S)	93.33(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB/MH-15	95.65	1200mm	PRE-CAST CONCRETE MANHOLE	93.92(W)	93.92(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
CB-16	95.72	600 x 600mm	PRE-CAST CONCRETE CATCH-BASIN	-	93.97	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0

SANITARY SEWER

STATION	DESCRIPTION	GRADE	TOP OF PIPE	DEPTH OF COVER	COMMENTS	
MH-S1	98.26	1200mm	PRE-CAST CONCRETE MANHOLE	95.45(W)	95.36(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
MH-S2	96.27	1200mm	PRE-CAST CONCRETE MANHOLE	94.27(W) 93.90(W)	93.92(S)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0
MH-S3	95.63	1200mm	PRE-CAST CONCRETE MANHOLE WITH WATERPROOF LID	93.78(W)	93.72(W)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0 INSTALL WATERPROOF LID
MH-S4	95.49	1200mm	PRE-CAST CONCRETE MANHOLE	93.47(W)	93.44(W)	TO OPS 2020.0 A CITY OF OTTAWA STANDARDS EXCEPT WITH A COVER CITY DWG NO. S23 & S24 OR OPS 0010.0



D.B. GRAY ENGINEERING INC.
 700 Long Point Circle #131-2504
 Ottawa, Ontario d.gray@dbgray-engineering.com

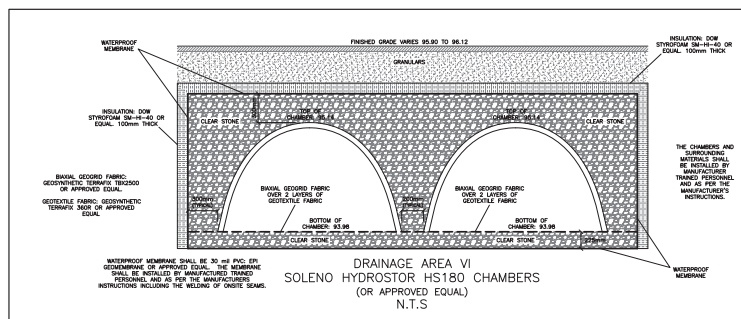
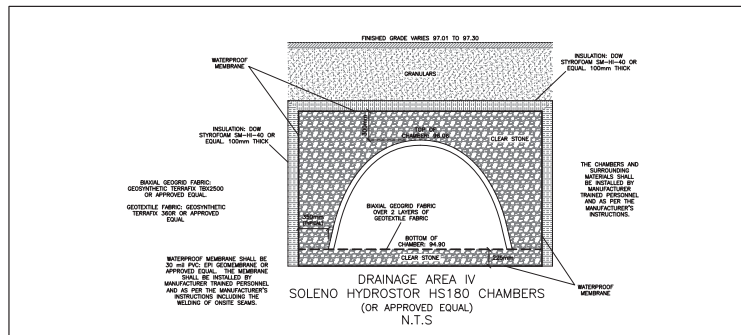
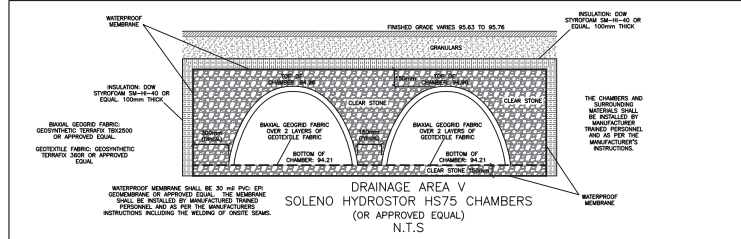
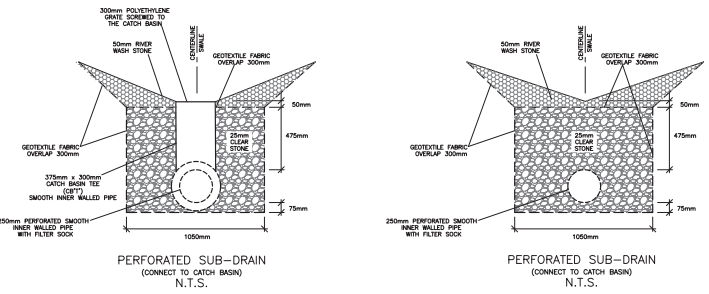
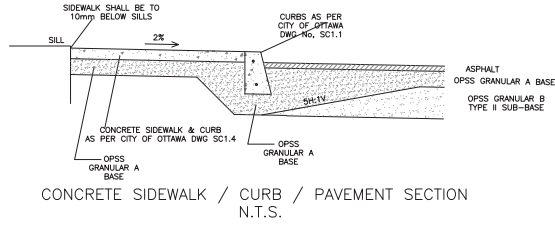
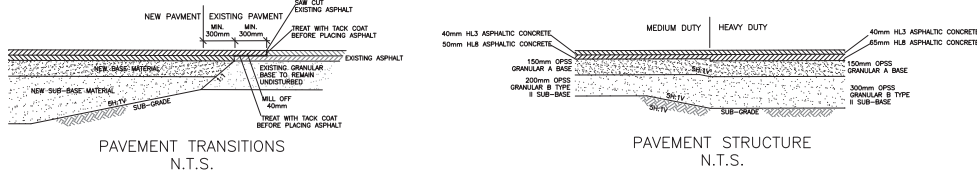
Project: **PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING
 1375 LYTLE AVENUE
 OTTAWA, ONTARIO**

Drawing Title: **NOTES & SCHEDULES**

Drawing No: **C-5 of 8**

NOT VALID UNLESS SIGNED & DATED

REFER TO DETAILS ON DRAWINGS C-6 & C-7

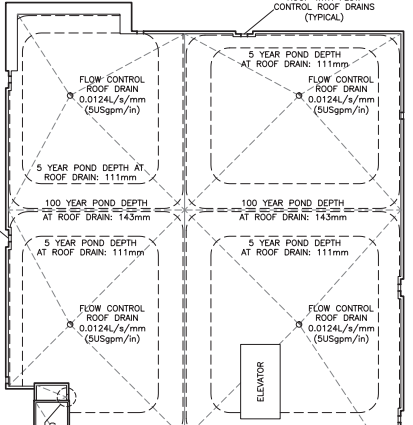
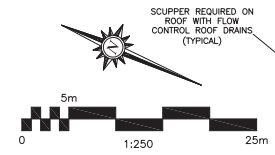


DYMON STORAGE ROOF PLAN

INSTALL A MINIMUM OF 12 SCUPPERS EACH A MINIMUM 700mm WIDE ON ROOF WITH FLOW CONTROL ROOF DRAINS.

THE BOTTOM OF THE SCUPPERS SHALL BE 145mm ABOVE FLOW CONTROL ROOF DRAINS. (REFER TO ARCHITECTURAL)

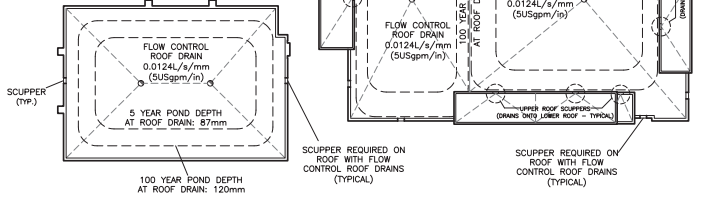
(UPPER ROOF SCUPPERS ARE IN ADDITION TO THE ABOVE REQUIREMENTS.)



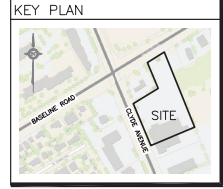
BENNY'S ROOF PLAN

INSTALL A MINIMUM OF 2 SCUPPERS EACH A MINIMUM 600mm WIDE ON ROOF WITH FLOW CONTROL ROOF DRAINS.

THE BOTTOM OF THE SCUPPERS SHALL BE 145mm ABOVE FLOW CONTROL ROOF DRAINS. (REFER TO ARCHITECTURAL)



REFER TO NOTES & DETAILS ON DRAWINGS C-5 & C-7



No.	DATE	ISSUED FOR REVISION
8	JUL 29-22	RE-ISSUED FOR APPROVAL
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

D. B. GRAY ENGINEERING INC.
 700 Long Point Circle
 Ottawa, Ontario

PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING 1375 CLYDE AVENUE
 OTTAWA, ONTARIO

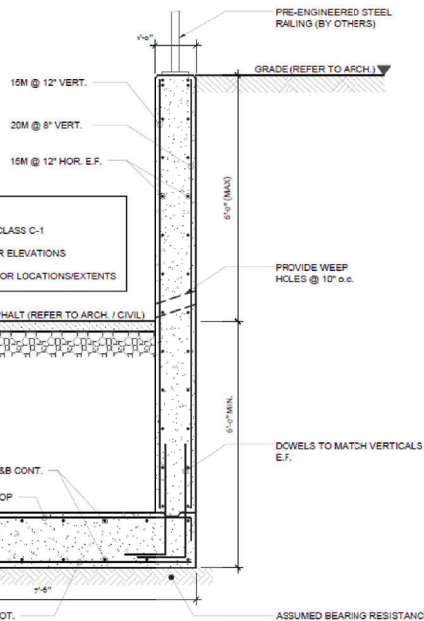
DETAILS 1

Engineer's Seal: **D.B. GRAY**, 17016502, JUL 29-22, PROVINCE OF ONTARIO

Drawn: **D.B.G.**

Scale: **C-6 of 8**

NOT VALID UNLESS SIGNED & DATED



SECTION: TYP. RETAINING WALL
SCALE: 1/2" = 1'-0"

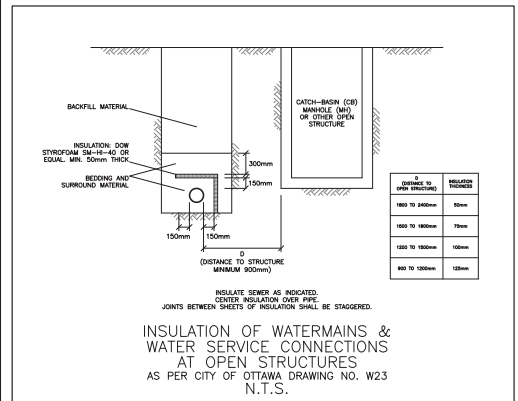


PROJECT NAME AND ADDRESS:
DYMON CLYDE
1375 CLYDE AVE., OTTAWA, ONTARIO

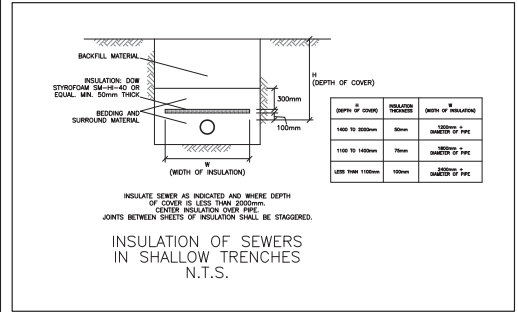
DESIGNED BY: R. MUNDEN
DRAWN BY: A. WITTECH
DATE: 2022-08-03
D-B PROJECT #: 21-005

DRAWING NAME:
RETAINING WALL

SK1



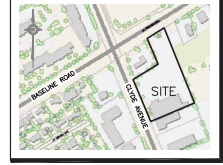
INSULATION OF WATERMAINS & WATER SERVICE CONNECTIONS AT OPEN STRUCTURES
AS PER CITY OF OTTAWA DRAWING NO. W23 N.T.S.



INSULATION OF SEWERS IN SHALLOW TRENCHES
N.T.S.

REFER TO NOTES & DETAILS ON DRAWINGS C-5 & C-6

KEY PLAN



No.	DATE	REVISION
8	JUL 4-22	RE-ISSUED FOR APPROVAL
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

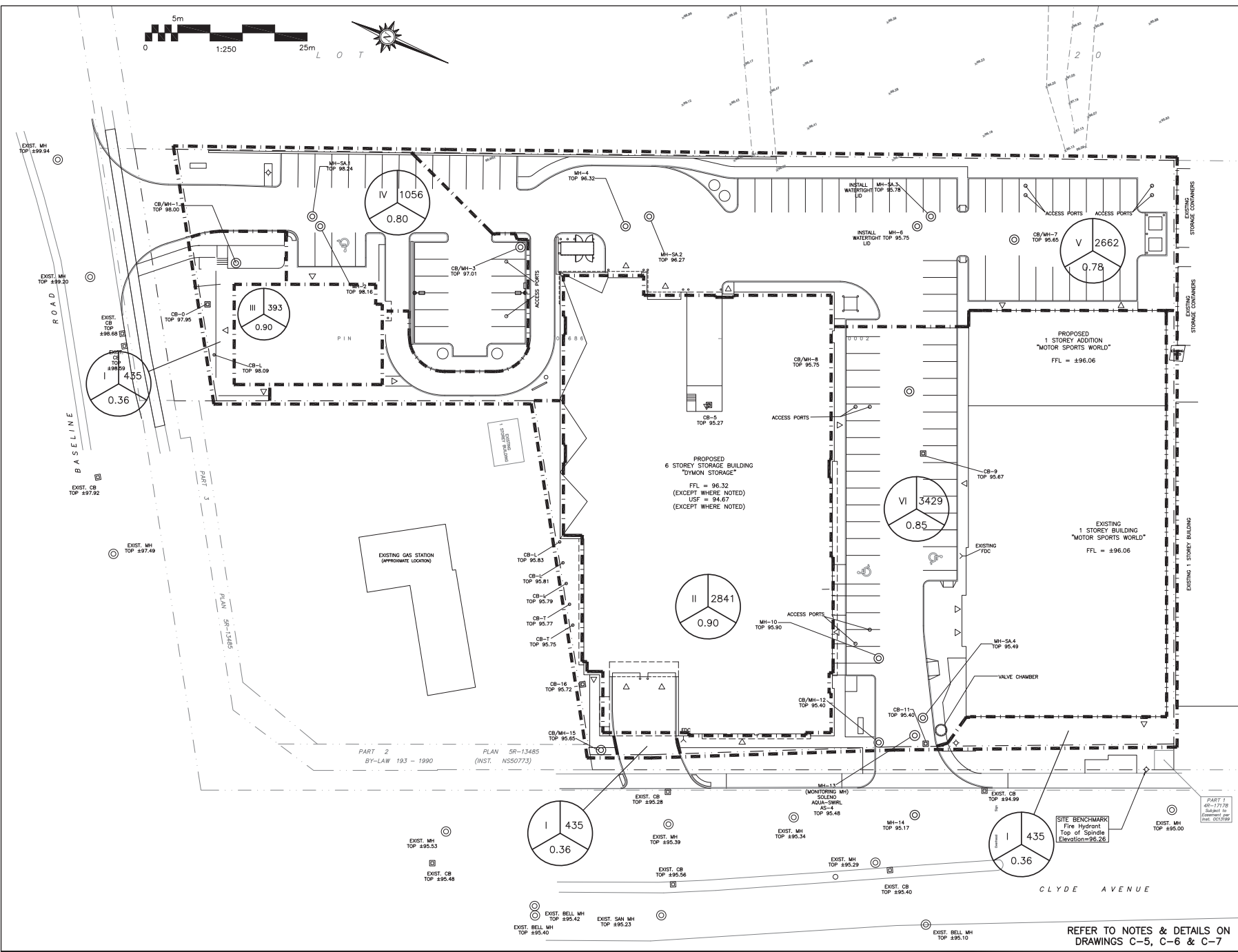
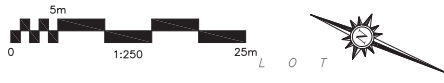
D. B. GRAY ENGINEERING INC.
Business Management • Grading & Drainage • Storm & Sanitary Sewers • Pavement
700 Long Point Circle 613-425-8044
Ottawa, Ontario d.gray@dbgrayengineering.com

Project:
PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING
1375 CLYDE AVENUE
OTTAWA, ONTARIO

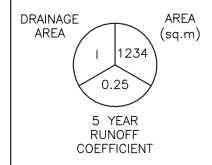
DETAILS 2

	<p>Drawn: D.B.G. Hor. Scale Vert. Scale Date: SEPT 17-19 Job No.: 19058</p>
<p>Engineer's Seal</p>	<p>Drawing No.: C-7 of 8</p>

NOT VALID UNLESS SIGNED & DATED



LEGEND



KEY PLAN



No.	DATE	REVISION
7	APR 28-22	RE-ISSUED FOR APPROVAL
6	JAN 5-22	ISSUED FOR TENDER
5	DEC 14-21	RE-ISSUED FOR APPROVAL
4	DEC 9-21	ISSUED FOR PERMIT
3	NOV 23-21	ISSUED FOR COORDINATION
2	JAN 8-20	ISSUED FOR APPROVAL
1	DEC 12-19	ISSUED FOR COORDINATION

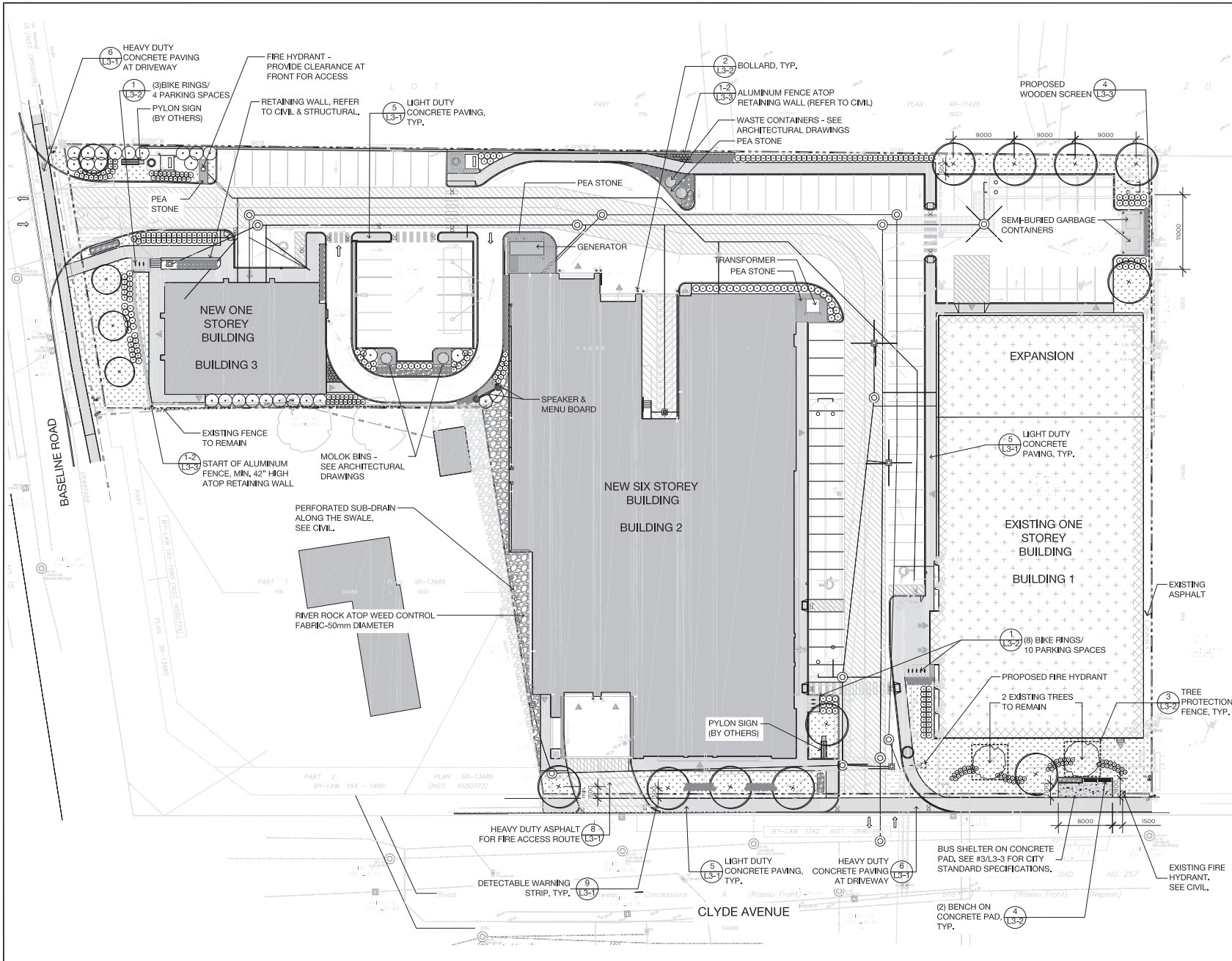
D. B. GRAY ENGINEERING INC.
 Director: Management, Consulting & Design, General & Project Services, Professional
 700 Long Point Circle 613-425-8044
 Ottawa, Ontario d.gray@dbgrayengineering.com

Project
PROPOSED 6-STORY STORAGE FACILITY & 1-STORY BUILDING 1375 CLYDE AVENUE
 OTTAWA, ONTARIO

DRAINAGE PLAN

Engineers Seal 	Drawn: D.B.G. Hor. Scale: 1:250 Vert. Scale: Date: SEP 17-19 Job No.: 19058 Drawing No.: C-8 of 8 NOT VALID UNLESS SIGNED & DATED
--------------------	---

REFER TO NOTES & DETAILS ON DRAWINGS C-5, C-6 & C-7



- GENERAL NOTES**
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
 - ALL LANDSCAPING MATERIALS TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS.
 - COORDINATION WITH ARCHITECTURAL LAYOUT TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY COMMENCEMENT.
 - ALL DETENTION AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 - ALL MATERIALS TO BE APPROVED WITH THE OWNER, BUILDING CODE AND ALL SUPPLIERS AND APPLICABLE MUNICIPAL REGULATIONS. CONSULT WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
 - ALL GENERAL PERMITS AND CONDITIONS HAVE BEEN COMPLETED FROM THE PLANS.
 - PERMANENT PLANTINGS SHALL BE INSTALLED AND REQUIRED BY THE LANDSCAPE ARCHITECT AND BEING THE PROPERTY OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF THE PROJECT THAT HAS GROWN AND BEING THE PROPERTY OF THE LANDSCAPE ARCHITECT.
 - BRUSHES AND PAINTS FOR CONSTRUCTION AND REQUIRED BY THE LANDSCAPE ARCHITECT AS ALL MATERIALS TO BE APPROVED.
 - ALL MATERIALS TO BE APPROVED WITH THE OWNER, BUILDING CODE AND ALL SUPPLIERS AND APPLICABLE MUNICIPAL REGULATIONS.
 - ALL TREE REMOVAL SHALL BE IN ACCORDANCE WITH THE CITY OF OTTAWA TREE PROTECTION BY-LAW.
 - DO NOT SCALE DRAWINGS.



REVISIONS

NO.	DATE	DESCRIPTION	BY
17	05/06/2017	ISSUED FOR SPA	PDF
16	05/06/2017	ISSUED FOR SUBMISSION	PDF
15	05/06/2017	ISSUED FOR TENDER	PDF
14	05/06/2017	REISSUED FOR SPA	PDF
13	05/06/2017	ISSUED FOR BUILDING PERMIT	PDF
12	05/06/2017	REISSUED FOR APPROVAL	PDF
11	05/06/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
10	05/06/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
9	05/06/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
8	05/06/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
7	05/06/2017	REISSUED FOR SPA	PDF
6	05/06/2017	REISSUED FOR SPA	PDF
5	05/06/2017	REISSUED FOR SPA	PDF
4	05/06/2017	REISSUED FOR SPA	PDF
3	05/06/2017	REISSUED FOR SPA	PDF
2	05/06/2017	ISSUED FOR SPA	PDF
1	05/06/2017	ISSUED FOR CLIENT REVIEW	PDF
NO.	DMV	MILESTONE / F&I SCHEDULE	FORMAT

PROJECT / LOCATION:
1375 CLYDE AVENUE
 OTTAWA, ONTARIO

CLIENT:
DYMON MANAGEMENT

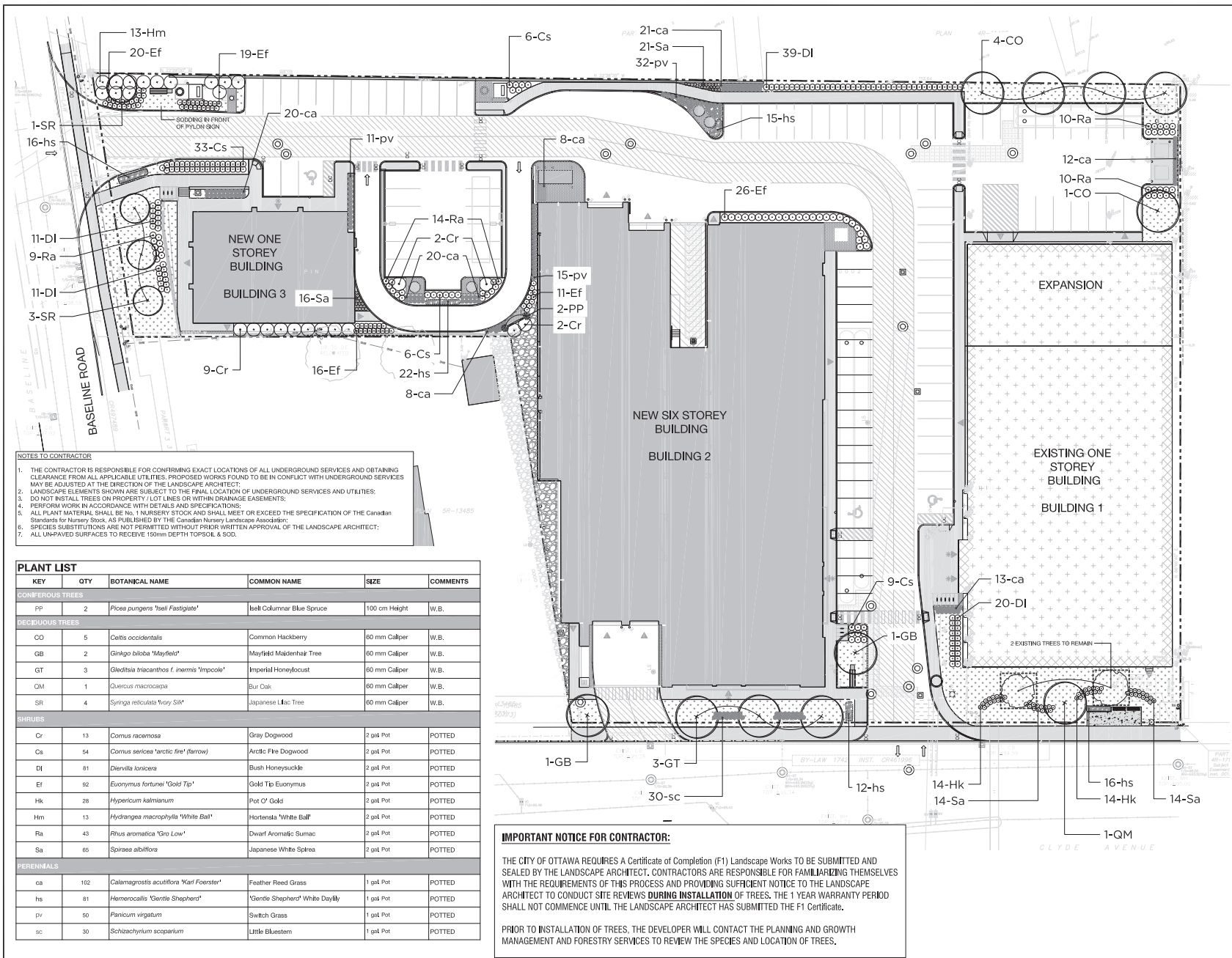
FOTENN
 Planning + Design

390 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com



SHEET TITLE:
LANDSCAPE PLAN

REVIEWED	KA/OM	DRAWING NO.
DRAWN	KZ/SP	
DATE	04 OCT 2017	SHEET NO.
SCALE	1 : 250	L1-1



NOTES TO CONTRACTOR

1. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING EXACT LOCATIONS OF ALL UNDERGROUND SERVICES AND OBTAINING CLEARANCE FROM ALL APPLICABLE UTILITIES. PROPOSED WORKS FOUND TO BE IN CONFLICT WITH UNDERGROUND SERVICES MAY BE ADJUSTED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
2. LANDSCAPE ELEMENTS SHOWN ARE SUBJECT TO THE FINAL LOCATION OF UNDERGROUND SERVICES AND UTILITIES.
3. DO NOT INSTALL TREES ON PROPERTY LOT LINES OR WITHIN DRAINAGE EASEMENTS.
4. PERFORM WORK IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
5. ALL PLANT MATERIAL SHALL BE No. 1 NURSERY STOCK AND SHALL MEET OR EXCEED THE SPECIFICATION OF THE Canadian Standards for Nursery Stock, AS PUBLISHED BY THE Canadian Nursery Landscape Association.
6. SPECIES SUBSTITUTIONS ARE NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
7. ALL UNPAVED SURFACES TO RECEIVE 150mm DEPTH TOPSOIL & SOG.

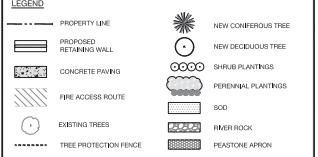
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
CONIFEROUS TREES					
PP	2	<i>Picea pungens</i> 'Isell Fastigiata'	Isell Columnar Blue Spruce	100 cm Height	W.B.
DECIDUOUS TREES					
CO	5	<i>Celtis occidentalis</i>	Common Hackberry	80 mm Caliper	W.B.
GB	2	<i>Ginkgo biloba</i> 'Mayfield'	Mayfield Maidenhair Tree	80 mm Caliper	W.B.
GT	3	<i>Gleditsia triacanthos f. inermis</i> 'Impocole'	Imperial Honeylocust	80 mm Caliper	W.B.
QM	1	<i>Quercus macrocarpa</i>	Bur Oak	80 mm Caliper	W.B.
SR	4	<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Lilac Tree	80 mm Caliper	W.B.
SHRUBS					
Cr	13	<i>Cornus racemosa</i>	Gray Dogwood	2 gal Pot	POTTED
Ca	54	<i>Cornus sericea</i> 'arctic fire' (arrow)	Arctic Fire Dogwood	2 gal Pot	POTTED
DI	81	<i>Diervilla lonicera</i>	Bush Honeysuckle	2 gal Pot	POTTED
Ef	92	<i>Euonymus fortunei</i> 'Gold Tip'	Gold Tip Euonymus	2 gal Pot	POTTED
Hk	28	<i>Hypericum kalimianum</i>	Pot O' Gold	2 gal Pot	POTTED
Hm	13	<i>Hydrangea macrophylla</i> 'White Ball'	Hortensia 'White Ball'	2 gal Pot	POTTED
Ra	43	<i>Rhus aromatica</i> 'Gro Low'	Dwarf Aromatic Sumac	2 gal Pot	POTTED
Sa	66	<i>Spiraea albiflora</i>	Japanese White Spiraea	2 gal Pot	POTTED
PERENNIALS					
ca	102	<i>Calamagrostis acutiflora</i> 'Walt Foerster'	Feather Reed Grass	1 gal Pot	POTTED
hs	81	<i>Hemerocallis</i> 'Gentle Shepherd'	'Gentle Shepherd' White Daylily	1 gal Pot	POTTED
pv	50	<i>Panicum virgatum</i>	Switch Grass	1 gal Pot	POTTED
sc	30	<i>Schizachyrium scaparium</i>	Little Bluestem	1 gal Pot	POTTED

IMPORTANT NOTICE FOR CONTRACTOR:

THE CITY OF OTTAWA REQUIRES A Certificate of Completion (F1) Landscape Works TO BE SUBMITTED AND SEALED BY THE LANDSCAPE ARCHITECT. CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE REQUIREMENTS OF THIS PROCESS AND PROVIDING SUFFICIENT NOTICE TO THE LANDSCAPE ARCHITECT TO CONDUCT SITE REVIEWS DURING INSTALLATION OF TREES. THE 1 YEAR WARRANTY PERIOD SHALL NOT COMMENCE UNTIL THE LANDSCAPE ARCHITECT HAS SUBMITTED THE F1 Certificate.

PRIOR TO INSTALLATION OF TREES, THE DEVELOPER WILL CONTACT THE PLANNING AND GROWTH MANAGEMENT AND FORESTRY SERVICES TO REVIEW THE SPECIES AND LOCATION OF TREES.

- GENERAL NOTES**
1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
 2. ALL UNDERGROUND UTILITIES TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR ANY IMPROVEMENTS TO UNDERGROUND SERVICES TO CONFORM TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY COMMENCEMENT OF WORK.
 3. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 4. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 5. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 6. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 7. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 8. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 9. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 10. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 11. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 12. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 13. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 14. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 15. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 16. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 17. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 18. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 19. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 20. ALL UTILITIES SHALL BE REFERRED TO GENERAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.



REVISIONS

NO.	DATE	DESCRIPTION	BY	APP'D
17	05/09/2017	ISSUED FOR SPA		PDF
16	05/09/2017	ISSUED FOR SUBMISSION		PDF
15	05/09/2017	ISSUED FOR TENDER		PDF
14	05/09/2017	REISSUED FOR SPA		PDF
13	05/09/2017	ISSUED FOR BUILDING PERMIT		PDF
12	05/09/2017	REISSUED FOR APPROVAL		PDF
11	05/09/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL		PDF
10	05/09/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL		PDF
9	05/09/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL		PDF
8	05/09/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL		PDF
7	05/09/2017	REISSUED FOR SPA		PDF
6	05/09/2017	REISSUED FOR SPA		PDF
5	05/09/2017	REISSUED FOR SPA		PDF
4	05/09/2017	REISSUED FOR SPA		PDF
3	05/09/2017	REISSUED FOR SPA		PDF
2	05/09/2017	ISSUED FOR SPA		PDF
1	05/09/2017	ISSUED FOR CLIENT REVIEW		PDF

PROJECT / LOCATION:
1375 CLYDE AVENUE
 OTTAWA, ONTARIO

CLIENT:
DYMON MANAGEMENT

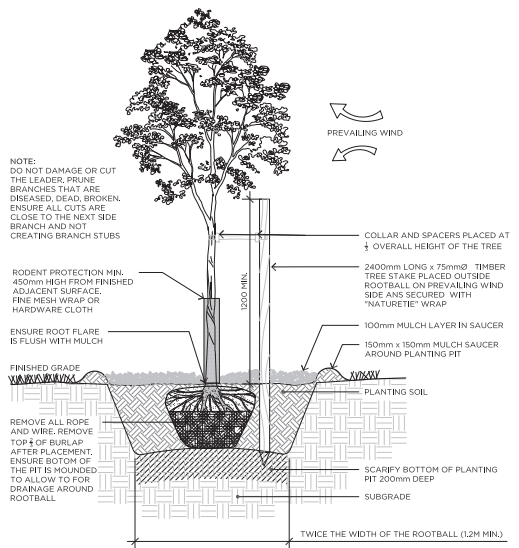
FOTENN
 Planning + Design

390 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com

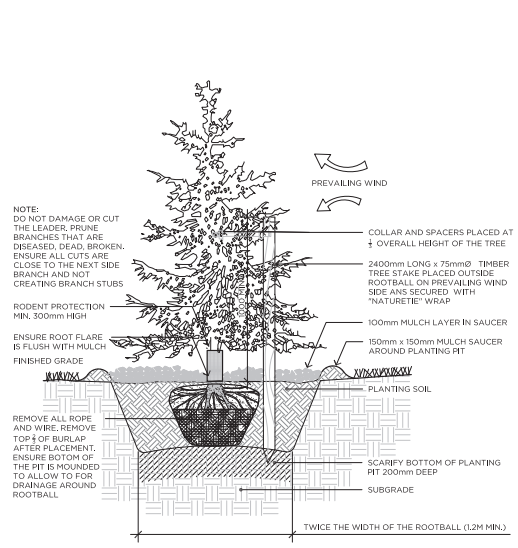


SHEET TITLE:
PLANTING PLAN

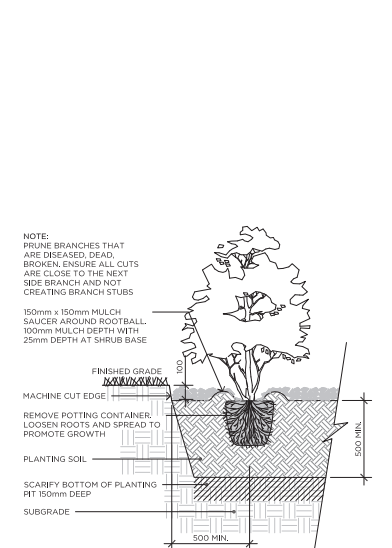
REVIEWED	KA/OM	DRAWING NO.
DRAWN	KZ	
DATE	04 OCT 2017	SHEET NO.
SCALE	1 : 250	L2-1



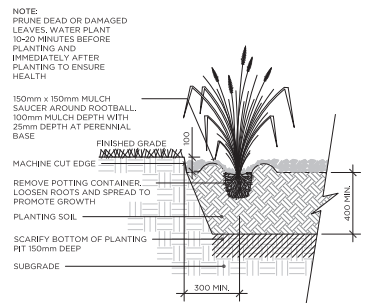
1 | DECIDUOUS TREE PLANTING



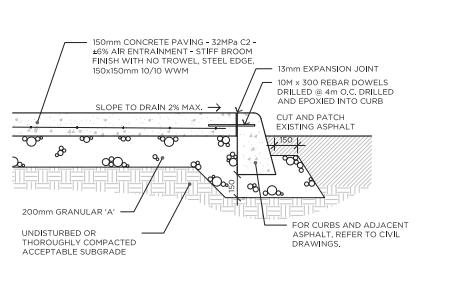
2 | CONIFEROUS TREE PLANTING



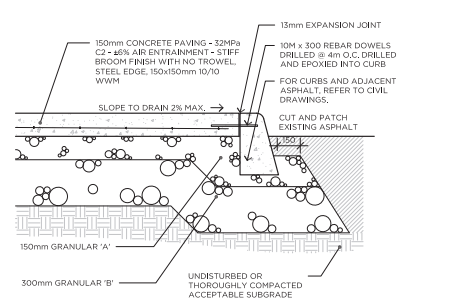
3 | SHRUB PLANTING



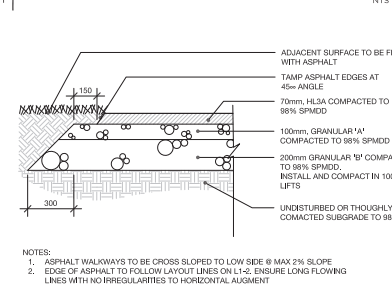
4 | PERENNIAL GRASS PLANTING



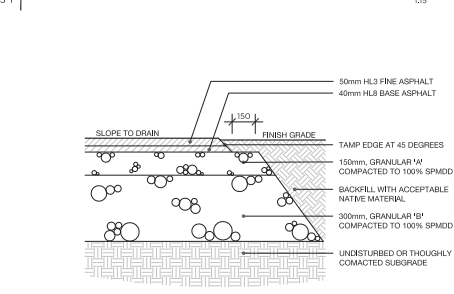
5 | LIGHT DUTY CONCRETE PAVING



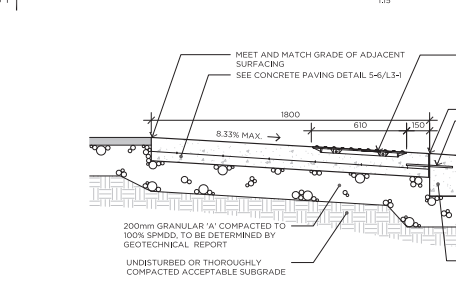
6 | HEAVY DUTY CONCRETE PAVING



7 | LIGHT DUTY ASPHALT PAVING



8 | HEAVY DUTY ASPHALT PAVING



9 | DETECTABLE WARNING STRIP

- GENERAL NOTES**
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
 - ALL UNDERPINNING WORKS TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT BARES NO RESPONSIBILITY FOR ANY UNKNOWN SUBSURFACE CONDITIONS.
 - CONTRACTOR TO COMPLETE LAYOUT TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION.
 - ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
 - ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS, SURVEY, AERIAL PHOTOS, AND LANDSCAPE ARCHITECT'S FIELD NOTES. SURVEY AND TOPOGRAPHICAL INFORMATION HAS BEEN PROVIDED IN DIGITAL FORMAT FROM AMEC CONSULTING PROFESSIONALS LTD. DECEMBER 19, 2015.
 - THIS DRAWING IS AN INSTRUMENT OF SERVICE AND REQUIRES THE PERMISSION OF THE LANDSCAPE ARCHITECT FOR USE. COPYRIGHT IS RESERVED BY THE LANDSCAPE ARCHITECT THAT HAS DRAWN AND BOUND THE DRAWINGS.
 - DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE LANDSCAPE ARCHITECT, AS ISSUED FOR CONSTRUCTION.
 - ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS.

REVISIONS

NO.	DATE	ISSUED FOR	BY
17	05/06/2018	ISSUED FOR SPA	PDF
16	09/06/2018	ISSUED FOR SUBMISSION	PDF
15	02/10/2018	ISSUED FOR TENDER	PDF
14	03/02/2018	REISSUED FOR SPA	PDF
13	10/02/2018	ISSUED FOR BUILDING PERMIT	PDF
12	10/02/2018	REISSUED FOR APPROVAL	PDF
11	13/02/2018	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
10	08/02/2018	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
9	04/02/2018	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
8	31/01/2018	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
7	15/01/2018	REISSUED FOR SPA	PDF
6	12/10/2017	REISSUED FOR SPA	PDF
5	09/10/2017	REISSUED FOR SPA	PDF
4	11/09/2017	REISSUED FOR SPA	PDF
3	12/04/2017	REISSUED FOR SPA	PDF
2	14/11/2017	ISSUED FOR SPA	PDF
1	08/10/2017	ISSUED FOR CLIENT REVIEW	PDF
NO.	DMV	MILESTONE / FAT SAILLANT	FORMAT

PROJECT / LOCATION:
1375 CLYDE AVENUE
 OTTAWA, ONTARIO

CLIENT:
DYMON MANAGEMENT

FOTENN
 Planning + Design

396 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com



SHEET TITLE: **DETAILS**

REVISION	KA/OM	DRAWING NO.
DRAWN	KZ	
DATE	04 OCT 2017	SHEET NO.
SCALE	AS NOTED	L3-1

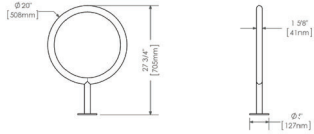


MATERIALS: The bike rack is constructed using H.S. steel tube and steel mounting plate.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike rack is delivered pre-assembled.

TO SPECIFY: Select MBR150-S
 Choose: Powdercoat Color COLOUR; GLOSS 'SILVER 14'
 Galvanized Finish
 Surface Mount MBR150-S-G



DIMENSIONS:
 Height: 27.34" (700mm)
 Diameter: 20" (508mm)
 Weight: 17.08lbs (7.7kg)

1 L3-2 BIKE RACK NTS

TREE PROTECTION REQUIREMENTS:

- PROTECT TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10' X DIAMETER OF A TREE). TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
- UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DRILLING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OF ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY;
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING.
- TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF POST OR FRAMED MATERIALS (E.G. MODULAR STEEL, PLYWOOD HOARDING, OSB/NOV FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ AND INSTALLATION MUST MINIMIZE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
- THE LOCATION OF THE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLAN FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE DECLINE REPORT, ETC.). THE PLAN AND CONSTRUCTION FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
- IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF A FENCE, WOOD CHIPS, OR SITE PLANTING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE DISCONTINUED.

BY LAWS:
 ALL CITY-OWNED TREES AND PROTECTED UNDER THE MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW (2006-279), WITHIN THE URBAN AREA, PRIVATELY OWNED TREES GREATER THAN 10CM DIAMETER ON LOTS 1/4 OR 1/2 IN SIZE OR LESS, AND TREES GREATER THAN 10CM DIAMETER ON LOTS 1/4-1/2A, ARE PROTECTED UNDER THE URBAN TREE CONSERVATION BY-LAW (2009-200).

ACCESSIBLE FORMATS AND COMMUNICATION SUPPORTS ARE AVAILABLE. UPON REQUEST

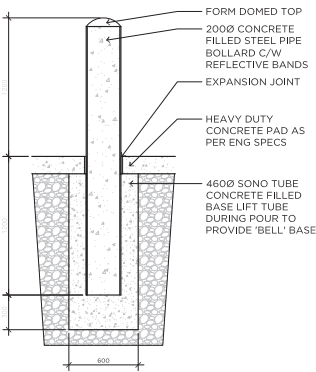
Ottawa

TREE PROTECTION SPECIFICATION

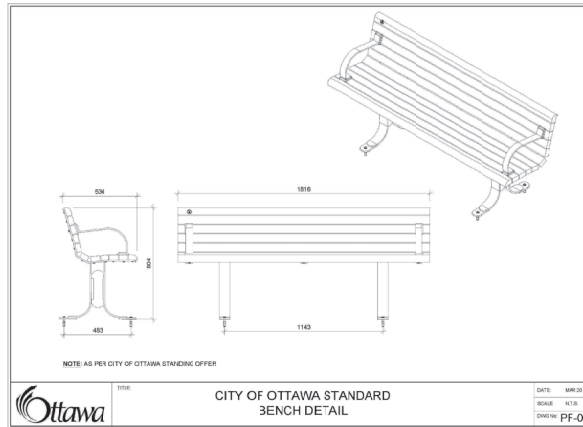
TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS
 DATE: MAY 2019
 DRAWING NO.: 1 of 1

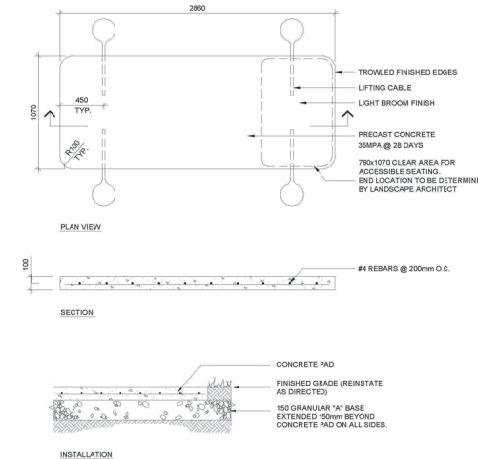
3 L3-2 TREE PROTECTION FENCE NTS



2 L3-2 BOLLARD NTS



4 L3-2 BENCH ON CONCRETE PAD NTS



DETAILS

GENERAL NOTES

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- ALL UNDERGROUND UTILITIES TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT BARELY NO RESPONSIBILITY FOR ANY UNDISCOVERED SUBSURFACE CONDITIONS.
- CONTRACTOR TO COMPLETE LAYOUT TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- THE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
- ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS, SURVEYS, AERIAL PHOTOS, AND LANDSCAPE ARCHITECT'S FIELD NOTES. SURVEY AND TOPOGRAPHICAL INFORMATION HAS BEEN PROVIDED IN DIGITAL FORMAT FROM AMB CONSULTING/GEOTECHNICAL LTD. (DECEMBER 19, 2017).
- THE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAINS THE PROPERTY OF THE LANDSCAPE ARCHITECT FOR USE. COPYRIGHT IS RESERVED BY THE LANDSCAPE ARCHITECT THAT HAS DRAWN AND BOUND THE DRAWINGS.
- DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE LANDSCAPE ARCHITECT, AS ISSUED FOR CONSTRUCTION.
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.

REVISIONS

NO.	DATE	ISSUED FOR	BY
17	05/06/2019	ISSUED FOR SPA	PDF
16	09/09/2018	ISSUED FOR SUBMISSION	PDF
15	07/10/2018	ISSUED FOR TENDER	PDF
14	03/10/2018	REISSUED FOR SPA	PDF
13	10/03/2018	ISSUED FOR BUILDING PERMIT	PDF
12	10/03/2018	REISSUED FOR APPROVAL	PDF
11	13/10/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
10	08/10/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
9	04/03/2017	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
8	31/01/2016	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
7	15/06/2016	REISSUED FOR SPA	PDF
6	12/10/2016	REISSUED FOR SPA	PDF
5	05/10/2016	REISSUED FOR SPA	PDF
4	11/09/2016	REISSUED FOR SPA	PDF
3	10/04/2016	REISSUED FOR SPA	PDF
2	14/11/2015	ISSUED FOR SPA	PDF
1	08/10/2015	ISSUED FOR CLIENT REVIEW	PDF
NO.	DATE	MILESTONE / FMT/SALANT	FORMAT

PROJECT / LOCATION:

1375 CLYDE AVENUE
 OTTAWA, ONTARIO

CLIENT:

DYMON MANAGEMENT

FOTENN
 Planning + Design

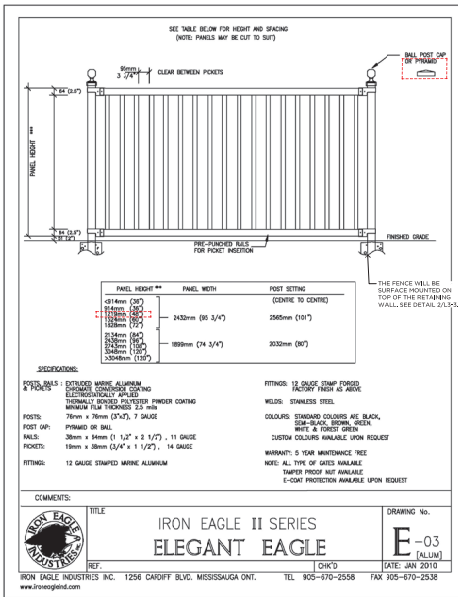
396 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com



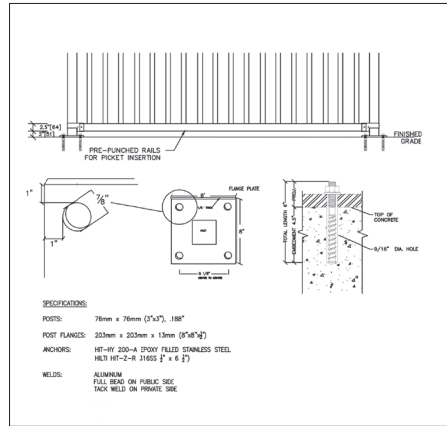
SHEET TITLE

DETAILS

REVIEWED	KA/OM	DRAWING NO.
DRAWN	KZ	
DATE	04 OCT 2017	SHEET NO.
SCALE	AS NOTED	L3-2

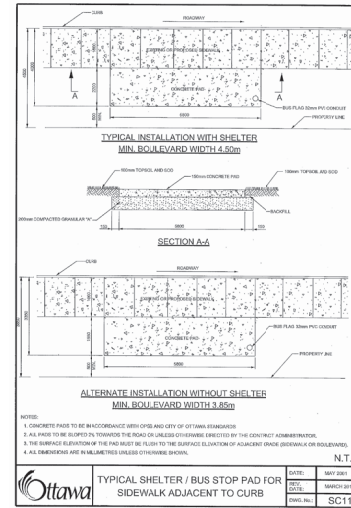


1 L3-3 | 1.5m HIGH ALUMINUM FENCE - SURFACE MOUNTED NTS

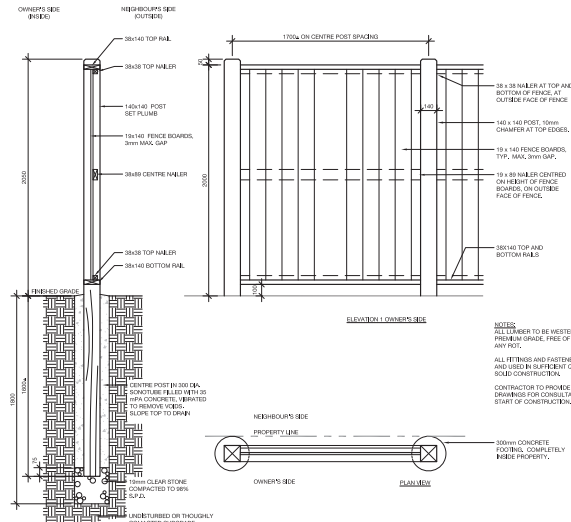


2 L3-3 | ALUMINUM FENCE - FLANGE PLATE NTS

NOTE:
REFER TO SITE PLAN FOR DIMENSIONS OF THE CUSTOM-DESIGNED CONCRETE PAD.



3 L3-3 | BUS STOP PAD FOR SIDEWALK NTS



4 L3-3 | 2m HIGH WOODEN SCREEN - SURFACE MOUNTED NTS

GENERAL NOTES

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- ALL UNDERGROUND UTILITIES TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT BARES NO RESPONSIBILITY FOR ANY UNKNOWN SUBSURFACE CONDITIONS.
- CONTRACTOR TO COMPLETE LAYOUT TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- THE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
- ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS, SURVEY, AERIAL PHOTOS, AND LANDSCAPE ARCHITECT'S FIELD NOTES. SURVEY AND TOPOGRAPHICAL INFORMATION HAS BEEN PROVIDED IN SEPARATE FORM FROM AND TO: COLLIERS COLLESON LTD. (DECEMBER 19, 2015).
- THE DRAWING IS AN INSTRUMENT OF SERVICE AND REQUIRES THE PERMISSION OF THE LANDSCAPE ARCHITECT FOR USE. COPYRIGHT BE RECEIVED BY THE LANDSCAPE ARCHITECT THAT HAS DRAWN AND SIGNED THE DRAWINGS.
- DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE LANDSCAPE ARCHITECT, AS ISSUED FOR CONSTRUCTION.
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.

REVISIONS

NO.	DATE	ISSUED FOR	BY
17	05/06/2010	ISSUED FOR SPA	PDF
16	09/09/2010	ISSUED FOR SUBMISSION	PDF
15	02/10/2010	ISSUED FOR TENDER	PDF
14	04/10/2010	REISSUED FOR SPA	PDF
13	10/10/2010	ISSUED FOR BUILDING PERMIT	PDF
12	10/10/2010	REISSUED FOR APPROVAL	PDF
11	12/10/2010	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
10	08/10/2010	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
9	04/09/2010	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
8	31/08/2010	COORDINATION WITH NEW ARCHITECTURAL SITE PLAN - REISSUED FOR ZONING APPROVAL	PDF
7	15/08/2010	REISSUED FOR SPA	PDF
6	12/10/2010	REISSUED FOR SPA	PDF
5	07/10/2010	REISSUED FOR SPA	PDF
4	11/09/2010	REISSUED FOR SPA	PDF
3	10/09/2010	REISSUED FOR SPA	PDF
2	18/10/2011	ISSUED FOR SPA	PDF
1	08/10/2011	ISSUED FOR CLIENT REVIEW	PDF
NO.	DATE	MILESTONE / FAF SAILANT	FORMAT

PROJECT / LOCATION:
1375 CLYDE AVENUE
OTTAWA, ONTARIO

CLIENT:
DYMON MANAGEMENT

FOTENN
Planning + Design

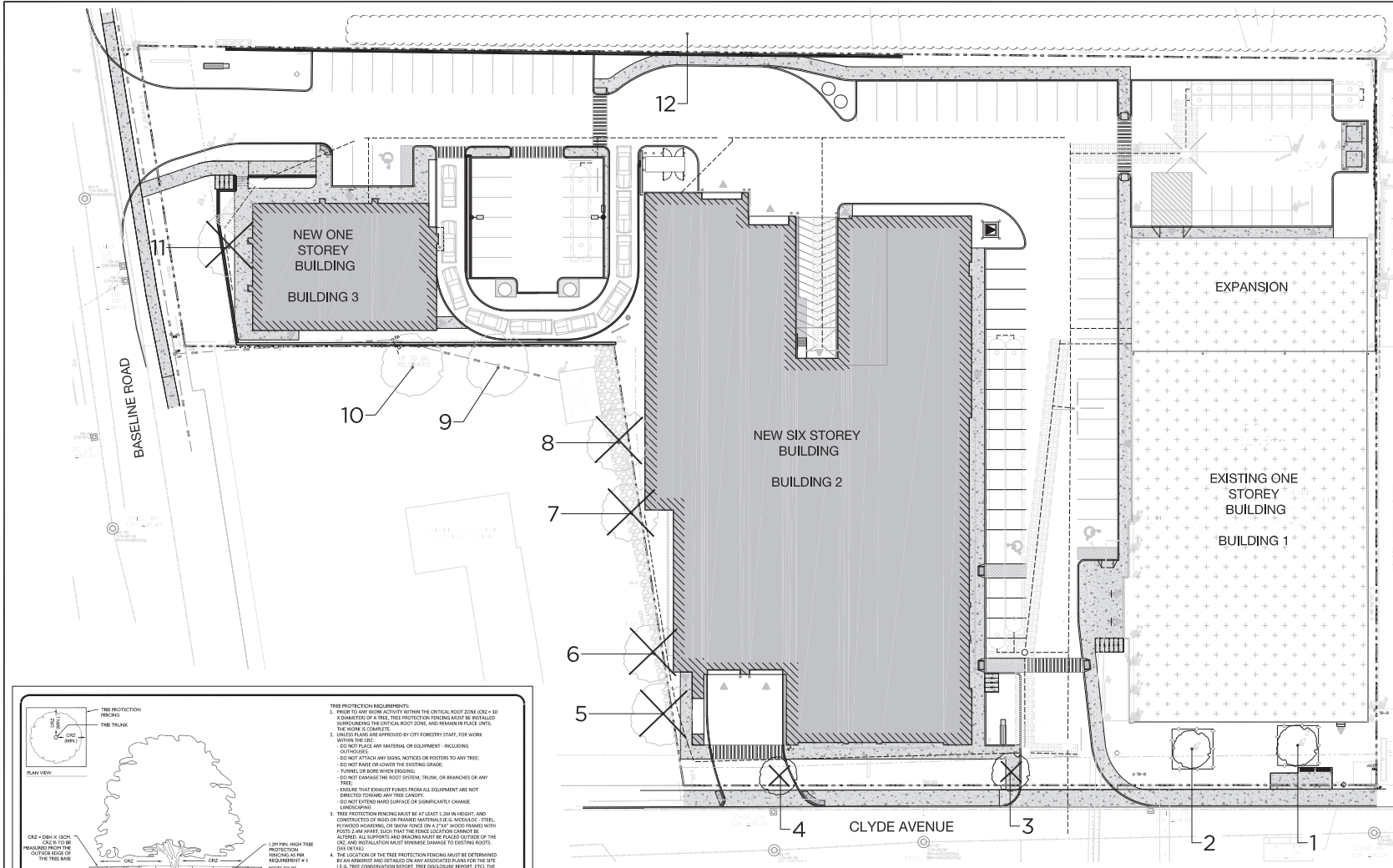
390 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com



SHEET TITLE

DETAILS

REVIEWED	KA/OM	DRAWING NO.
DRAWN	KZ	
DATE	04 OCT 2017	SHEET NO.
SCALE	AS NOTED	L3-3



- GENERAL NOTES**
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - ALL LANDSCAPING TREES TO BE LOCATED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY ANY DISCREPANCY.
 - CONTRACTOR SHALL SUBMIT TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 - ALL CEMENTED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
 - SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF OTTAWA ZONING BY-LAW AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA AND ALL APPLICABLE MUNICIPAL REGULATIONS AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.
 - ALL GENERAL TREE REMOVAL AND CONSERVATION HAS BEEN COMPLETED FROM EXISTING PLANS. EXISTING TREES TO BE REMOVED SHALL BE IDENTIFIED BY THE LANDSCAPE ARCHITECT AND BEING THE PROPERTY OF THE LANDSCAPE ARCHITECT SHALL BE IDENTIFIED BY THE LANDSCAPE ARCHITECT THAT HAS DRAWN AND BEING THE PROPERTY.
 - BRANCHES MAY BE CUT FOR CONSTRUCTION UNLESS NOTED BY THE LANDSCAPE ARCHITECT AS NOT TO BE REMOVED.
 - ALL TREES TO BE REMOVED SHALL BE IDENTIFIED BY THE LANDSCAPE ARCHITECT AS NOT TO BE REMOVED.
 - ALL TREE REMOVAL SHOULD BE 10 METERS AWAY FROM UTILITY LINES.
 - DO NOT SCALE DRAWING.
- LEGEND**
- PROPERTY LINE
 - EXISTING TREES TO REMAIN
 - EXISTING VEGETATION TO REMAIN
 - EXISTING TREES TO BE REMOVED
 - TREE PROTECTION FENCE - REFER TO CITY OF OTTAWA STANDARD DETAIL AND SPECIFICATION

REVISIONS

NO.	DATE	ISSUED FOR	FORMAT
5	04/04/2017	ISSUED FOR SPA	PDF
4	04/04/2017	ISSUED FOR SUBMISSION	PDF
3	04/04/2017	ISSUED FOR INTERNAL COORDINATION	PDF
2	10/11/2016	ISSUED FOR SUBMISSION	PDF
1	04/04/2017	ISSUED FOR SUBMISSION	PDF
NO.	D/WAY	MILESTONE / FAF BALLIANT	FORMAT

PROJECT / LOCATION:
1375 CLYDE AVENUE
 OTTAWA, ONTARIO

CLIENT:
DYMON MANAGEMENT

FOTENN
 Planning + Design

396 Cooper St Suite 300, Ottawa, ON K2P 2H7, 613.730.5709, www.fotenn.com



SHEET TITLE:
TREE CONSERVATION PLAN

REVIEWED: KA DRAWING NO.
 DRAWN: KZ/SP
 DATE: 04 OCT 2017 SHEET NO.
 SCALE: 1 : 250 **TR1**

TREE INVENTORY

TREE NUMBER	BOTANICAL NAME	COMMON NAME	OWNERSHIP	DBH (cm)	HEALTH	ACTION
1	<i>Acer platanoides</i>	Norway maple	Private	27.8	Good	Retain
2	<i>Acer platanoides</i>	Norway maple	Private	28.5	Fair	Retain
3	<i>Acer platanoides</i>	Norway maple	Private	18.2	Fair	Remove
4	<i>Acer platanoides</i>	Norway maple	Private	20.8	Fair	Remove
5	<i>Acer saccharinum</i>	Silver maple	Neighbour	+/- 40 (at 0.7m)	Good	Remove
6	<i>Acer saccharinum</i>	Silver maple	Neighbour	+/- 40 (at 1m)	Fair	Remove

7	<i>Acer saccharinum</i>	Silver maple	Neighbour	+/- 25 & +/- 35	Fair	Remove
8	<i>Acer saccharinum</i>	Silver maple	Neighbour	+/- 50	Good	Remove
9	<i>Acer platanoides</i>	Norway maple	Neighbour	+/- 25	Very Poor	Retain
10	<i>Acer saccharinum</i>	Sugar maple	Neighbour	+/- 20	Standing dead	Retain
11	<i>Acer platanoides</i>	Norway maple	Private	22.3	Fair	Remove
12	<i>Acer platanoides</i>	Norway maple	Neighbour	<10-40	Good to very poor	Retain

- NOTES:**
- THE TABLE ABOVE IS FROM THE TREE CONSERVATION REPORT PREPARED BY CERTIFIED ARBORIST, IFS ASSOCIATES, DATED APRIL 28, 2022.
 - REFER TO 'TREE PRESERVATION AND PROTECTION MEASURES' ON THE ARBORIST REPORT PRIOR TO ANY CONSTRUCTION WORKS ON SITE.
 - ANY WORKS WITHIN CRITICAL ROOT ZONE OF THE EXISTING TREES TO BE RETAINED NEEDS TO BE UNDERTAKEN BY HAND AND LIGHT EQUIPMENT TO THE SATISFACTION OF THE ARBORIST/LANDSCAPE ARCHITECT.

TREE PROTECTION SPECIFICATION

TO BE MAINTAINED FOR EXISTING TREES, WITH CLYDE AND BASELINE ROADS PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS
 DATE: MAY 2019
 DRAWING NO.: 1 of 1

TREE PROTECTION REQUIREMENTS:

- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ) +/- 30 x DIMENSION OF A TREE, THE PROTECTION FENCING MUST BE INSTALLED SUBSEQUENT TO THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
- UNLESS FENCING IS APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:

- DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTDOOR LAMPS, LIGHTS, OR SIGNAGE - WITHIN THE CRZ.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OF ANY TREE.
- DO NOT FENCE OR COVER THE EXISTING GRASS.
- DO NOT FENCE OR COVER ANY SOIL.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OF ANY TREE.
- DO NOT DIRECTLY DAMAGE THE TREE CANOPY.
- DO NOT EXCEED HAND SURFACE OR SUBSEQUENT CHANGE LANDSCAPING.

- TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. METAL GALVANNEE STEEL, ALUMINUM OR WOOD) WITH A MAXIMUM SPACING OF 1.2M BETWEEN VERTICAL POSTS. 2.0M ABOVE GROUND THE FENCING CANNOT BE ATTACHED TO ANY SUPPORTS AND BRANCHES MUST BE KEPT CLEAR OF THE CRZ AND NOT ALLOWED TO TOUCH BRANCHES OR SOIL.
- IF THE EXISTING TREE PROTECTION MUST BE REMOVED TO FACILITATE CONSTRUCTION, REPLACEMENT MEASURES MUST BE PROVIDED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
- IF THE EXISTING TREE PROTECTION MUST BE REMOVED TO FACILITATE CONSTRUCTION, REPLACEMENT MEASURES MUST BE PROVIDED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK. THESE MEASURES INCLUDE THE PLACEMENT OF PLWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE SOILS OR PROTECTION OF THE PROPOSED FENCING AND CARE OF ROOTS WHERE ENCOUNTERED.

REMARKS:

ALL CITY OWNED TREES ARE PROTECTED UNDER THE MUNICIPAL TREES AND PLANTING ACT AND PROTECTED UNDER THE CRITICAL ROOT ZONE WITHIN THE URBAN AREA, SIZE OR LEAD, AND TREES GREATER THAN 10CM DBH ON LOTS, 15CM DBH AND PROTECTED UNDER THE URBAN TREE CONSERVATION BY-LAW (2009-200).

Diagram: Shows a tree cross-section with labels for CRZ (Critical Root Zone), DBH (Diameter at Breast Height), and protection fence placement. Notes include: 'CRZ +/- 30 x DIM', 'CRZ X TO BE MAINTAINED FROM THE OUTSIDE EDGE OF THE TREE BASE', 'THIS PROTECTION FENCING IS FOR CITY OWNED', '2.0M HIGH TREE PROTECTION FENCING IS REQUIRED', 'POSTS TO BE SPACED AT 1.2M', 'CRZ X TO BE MAINTAINED FROM THE OUTSIDE EDGE OF THE TREE BASE', 'SOIL AND ROOT DISTURBANCE NOT PERMITTED', 'ACCESSIBLE FORMATS AND DOWN-INCLINATION SUPPORTS ARE AVAILABLE UPON REQUEST'.