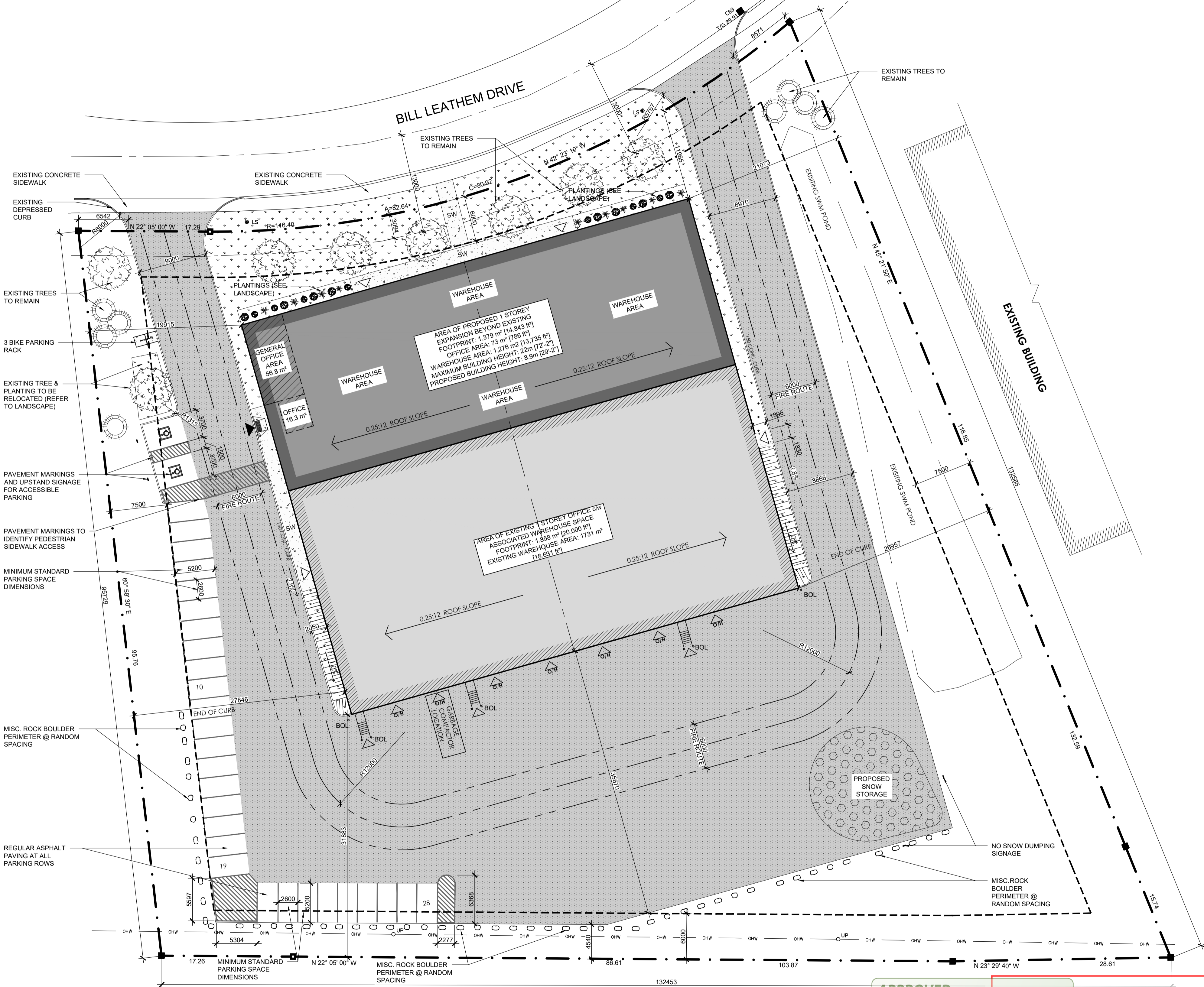


PROPERTY LINES WERE DERIVED FROM TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 18 CONCESSION 1 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN CITY OF OTTAWA BY FARLEY, SMITH & DENIS SURVEYING LTD. 2021



#### LEGEND

- PROPERTY LINE
- PROPERTY MARKERS
- SETBACK LINE
- FIRE ROUTE LINES
- EXTENTS OF EXISTING BUILDING
- EXTENTS OF PROPOSED BUILDING
- LANDSCAPED AREA (REFER TO LANDSCAPE DRAWINGS)
- HEAVY DUTY ASPHALT (REFER TO CIVIL)
- CONCRETE WALK
- BILL LEATHEN DR.
- STREETNAME AND CENTRELINE
- APPROXIMATE LOCATION AND CROWN OF NEW AND EXISTING TREES (REFER TO CIVIL DRAWINGS FOR SPECIES)
- BARRIER-FREE CURB RAMP w/ TACTILE ATTENTION INDICATORS
- MAIN BUILDING ENTRANCE
- SECONDARY BUILDING ENTRANCES AND/OR EMERGENCY EXITS

#### ZONING INFORMATION

PER THE CITY OF OTTAWA ZONING BY-LAW 2008-250 CONSOLIDATION

**LEGAL DESCRIPTION:**  
PLAN OF SURVEY OF PART OF LOT 18 CONCESSION 1 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF NEPEAN  
CITY OF OTTAWA

**PROPOSAL:**  
1,358 m² [14,617 ft²] TOTAL EXPANSION TO THE EXISTING 1 STOREY BUILDING COMPRISED PRIMARILY OF GENERAL OFFICE SPACE AND ASSOCIATED WAREHOUSE SPACE. THE EXPANSION WILL INCORPORATE ADDITIONAL GENERAL OFFICE AND ASSOCIATED WAREHOUSE SPACE.

**ZONING:**  
(IL-9) LIGHT INDUSTRIAL  
**ZONING PROVISIONS (PER TABLE 204E):**

- LOT AREA (MIN.) = 3,000 m²  
ACTUAL LOT AREA = 12,114 m²
- LOT WIDTH (MIN.) = 15 m  
ACTUAL WIDTH = 119.3 m
- LOT COVERAGE = 60% MAX.  
EXISTING LOT COVERAGE = 15%  
ADDITION LOT COVERAGE = 11%  
TOTAL LOT COVERAGE = 26%
- SETBACKS (MIN.):
  - FRONT = 6 m
  - REAR = 6 m
  - SIDES = 7.5 m
- MAX BUILDING HEIGHT = 22 m  
ACTUAL HEIGHT = 8.9 m
- MIN. WIDTH OF LANDSCAPE BUFFER ABUTTING STREET = 3.0 m

#### PARKING:

CITY OF OTTAWA MINIMUM PARKING SPACE RATES

THE REQUIRED NUMBER OF PARKING SPACES BASED ON THE CITY OF OTTAWA'S MINIMUM PARKING SPACE RATES PER BY-LAW 2016-249 & 2018-206 - TABLE 101-MINIMUM PARKING SPACE RATES:

ROW N49 - LIGHT INDUSTRIAL USE

INDUSTRIAL USES, LIGHT REQUIRES 0.8 PARKING SPACES PER 100m² OF GROSS FLOOR AREA.

REQUIRED SPACES - WAREHOUSE: 25 SPACES

ROW N59 - OFFICE

OFFICE USE REQUIRES 2.4 PARKING SPACES PER 100m² OF GROSS FLOOR AREA.

REQUIRED SPACES - OFFICE: 3 SPACES

TOTAL REQUIRED: 28 SPACES

TOTAL PROVIDED: 28 SPACES

#### BARRIER-FREE PARKING:

RESERVED BARRIER-FREE PARKING SPACES

REQUIRED: 2 SPACES

PROVIDED: 2 SPACES

#### BICYCLE PARKING:

ON-SITE BICYCLE PARKING WILL BE PROVIDED WHERE SHOWN AND NOTED ON THE SITE PLAN. THE REQUIRED NUMBER OF BICYCLE PARKING SPACES BASED ON THE CITY OF OTTAWA'S MINIMUM PARKING RATES PER SECTION 111 OF PART 4 OF THE ZONING BY-LAW 2008-250 CONSOLIDATION - TABLE 111A-BICYCLE PARKING SPACE RATES:

LAND USE ITEM:

(E) PER 250m² OF GROSS FLOOR AREA - OFFICE = 1 SPACE

(G) SPACE PER 200m² OF GROSS FLOOR AREA - WAREHOUSE = 1

SPACE PER 200m² OF GROSS FLOOR AREA

AREA OF (E): 73 m² = 1 SPACES

AREA OF (G): 3007 m² = 2 SPACES

TOTAL PARKING REQUIRED: 3 SPACES

THE REQUIRED MINIMUM BICYCLE PARKING SPACE DIMENSIONS PER TABLE 111B: 0.6m (W) x 1.8m (L)

#### LOADING REQUIREMENTS:

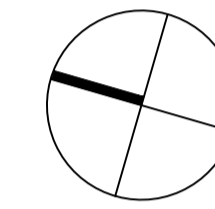
(PER TABLE 113A)

BASED ON THE GROSS FLOOR AREA OF THE BUILDING, A MINIMUM OF 2 LOADING SPACES IS REQUIRED.

APPROVED  
By Lily Xu at 3:47 pm, Sep 06, 2022

LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

North



#### Revisions

No.	By	Description	Date
04	JM	ISSUED FOR COORDINATION	11 MAY 2022
03	JM	ISSUED FOR SPA SUBMISSION	18 MAR 2022
02	JM	ISSUED FOR COORDINATION	08 MAR 2022
01	JM	ISSUED FOR COORDINATION	07 MAR 2022

Project

## WAREHOUSE ADDITION

2 BILL LEATHEN DRIVE, NEPEAN, ON

Drawing

## PROPOSED SITE PLAN

Scale AS NOTED Stamp

Drawn J.M.

Checked J.M.

Project No.

22-114

Date  
FEBRUARY 2022

Drawing No.

SP-A01