

BUILDING A	
FIRM NAME: NICHOLAS CARAGIANIS ARCHITECT INC. 137 PAMILLA - OTTAWA, ONTARIO - K1S 3K9	
PROJECT NAME: AMERICAN IRON & METAL RECYCLING LOCATION: 2555 SHEFFIELD ROAD OTTAWA, ONTARIO	
ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9
2	MAJOR OCCUPANCY(S) F-3 LOW HAZARD INDUSTRIAL OCCUPANCIES 3.1.2.1.(1) 9.10.2
3	BUILDING AREA(m <sup>2</sup> ) EXISTING _____ NEW 5238.24m <sup>2</sup> TOTAL 5238.24m <sup>2</sup> 1.4.1.2.[A] 1.4.1.2.[A]
4	GROSS FLOOR AREA(m <sup>2</sup> ) EXISTING _____ NEW 5676.74m <sup>2</sup> TOTAL 5676.74m <sup>2</sup> 1.4.1.2.[A] 1.4.1.2.[A]
5	NUMBER OF STOREYS BUILDING HEIGHT 14.65m ABOVE GRADE 1 BELOW GRADE 0 1.4.1.2.[A] & 3.2.1.1. 1.4.1.2.[A] & 9.10.4.
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS 1 3.2.2.10 & 3.2.5 9.10.20.
7	BUILDING CLASSIFICATION 3.2.2.80 GROUP F-3, 1 STOREY 3.2.2.20-83 9.10.2.
8	SPRINKLER SYSTEM CONTROL <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING 3.2.2.20-83 9.10.8.2 3.2.2.15 3.2.2.17
9	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 3.2.9. N/A
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.4. 9.10.18
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 3.2.5.7 N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6. N/A
13	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH 3.2.2.20-83 9.10.6
14	MEZZANINE(S) AREA SQ.M 440.73 m <sup>2</sup> (FLOOR AREA IN WHICH MEZZ IS LOCATED = 440.92m <sup>2</sup> ) ENCLOSED MEZZANINE IS LESS THAN 10% 3.2.1.1.(3)-(8) 9.10.4.1 3.2.1.1.(4)
15	OCCUPANT LOAD BASED ON 1st FLOOR OCCUPANCY F-3 ALLOWED LOAD 188 OFFICE(48) WH(140) PERSONS TOTAL OFFICE AREA = 447/9.3=48 PERSONS TOTAL WAREHOUSE AREA = 3944/28=140 PERSONS DESIGN OF BUILDING (WAREHOUSE) 73 OFFICE(26) WH(47) PERSONS 3.1.17 9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN) 3.8 9.5.2
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.3.1.2 & 3.3.1.19 9.10.1.3(4)
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES (FRR) (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOOR 0 MIN HOURS ROOF 0 MIN HOURS MEZZANINE 0 MIN HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOOR 0 MIN HOURS ROOF 0 MIN HOURS MEZZANINE 0 MIN HOURS OTHER FIRE RESISTANCE RATINGS 3.2.2.20-83 & 3.2.1.4 9.10.8 3.3.5.6 9.10.9 3.4.4.1
19	SPATIAL SEPARATION-CONSTRUCTION OF EXTERIOR WALLS 3.2.3.1.B 9.10.14
20	PLUMBING FIXTURE REQUIREMENTS 3.7.4.7 & 3.7.4.9
21	1st FLOOR OCCUPANCY MEZZANINE OCCUPANCY GROUP D (26) GROUP F-3 (47) (UNOCCUPIED) 0 BUILDING CODE REFERENCE OCCUPANCY LOAD ORC TABLE NUMBER FEATURES REQUIRED FEATURES PROVIDED OFFICE AREA 26 3.7.4.7 2 PER SEX 3 PER SEX (2 PER SEX + 1 UNIVERSAL) WAREHOUSE 47 3.7.4.9 2 PER SEX 2 PER SEX (1 PER SEX + 1 UNIVERSAL)
21	OTHER DESCRIBE

BUILDING A	
22A	
SB-10 COMPLIANCE: SB-10 TABLE SB5.5-6	
COMPONENT: WAREHOUSE - SEMIHEATED	REQUIRED PROVIDED
ROOF	INSUL ABOVE DECK R-17 ci R-17 ci
WALLS ABOVE GRADE	MASS R-10 ci R-10 ci METAL BUILDING R-13 + R-6.5 ci - STEEL FRAME R-13 + R-6 ci R-21.6 ci
SLAB-ON-GRADE FLOORS	UNHEATED NR NR
OPAQUE DOORS	SWINGING U 0.63 U 0.63 NONSWINGING U 0.45 U 0.45
FENESTRATION	METAL FRAME: FIXED U 0.46 U 0.46
COMPONENT: OFFICE - HEATED	REQUIRED PROVIDED
ROOF	INSUL ABOVE DECK R-35 ci R-35 ci
WALLS ABOVE GRADE	MASS R-19 ci R-20 ci METAL BUILDING R-13 + R-19 ci - STEEL FRAME R-13 + R-15 ci R-13 + R-20 ci
SLAB-ON-GRADE FLOORS	UNHEATED R-15 FOR 48 IN. R-15 FOR 48 IN.
OPAQUE DOORS	SWINGING U 0.45 U 0.45
FENESTRATION	METAL FRAME: ENTRANCE DOOR 0.69 0.40 1.10 U 0.69 0.40 1.10 METAL FRAME: FIXED U 0.38 U 0.38 SKYLIGHT U 0.45 0.40 NR U 0.45 0.40 NR

22B Wall Area Breakdown - Wall Area & Area of Vertical Fenestration		
Wall	Wall Area (m <sup>2</sup> )	Area of Vertical Fenestration (m <sup>2</sup> ) (including windows, doors and mechanical openings)
NORTH	917 m <sup>2</sup>	87 m <sup>2</sup>
WEST	807 m <sup>2</sup>	164 m <sup>2</sup>
SOUTH	890 m <sup>2</sup>	108 m <sup>2</sup>
EAST	758 m <sup>2</sup>	210 m <sup>2</sup>
TOTAL	3,372 m <sup>2</sup>	569 m <sup>2</sup>
PERCENTAGE OF WALL HAVING FENESTRATION: 16.8 % (40% maximum)		

22C Breakdown - Roof Area & Skylights		
Roof	Roof Area (m <sup>2</sup> )	Area of Skylights (m <sup>2</sup> )
OFFICES	691 m <sup>2</sup>	0 m <sup>2</sup>
WAREHOUSE	4,534 m <sup>2</sup>	NA m <sup>2</sup>
TOTAL	4,920 m <sup>2</sup>	0 m <sup>2</sup>
PERCENTAGE OF ROOF WITH SKYLIGHTS: 0%		

2555 SHEFFIELD ROAD - STATISTICS - REFERENCE CITY OF OTTAWA ZONING BY-LAW			
ALL AREAS IN SQUARE METRES			
SITE STATISTICS SUMMARY 2555 SHEFFIELD RD NORTH PARCEL (SQ.M.)			
LOT AREA OF NORTH PARCEL	40,210.00	NORTH PARCEL	
REVISED PER NEW PROJECTED BOUNDARIES			
BUILDING AREA - BUILDING A	5238.24		
BUILDING AREA - BUILDING B	511.99		
TOTAL BUILDING AREA	5750.23	14.30%	
LANDSCAPED (FRONT & PERIMETER)	7056.80	17.55%	
REMAINING (HARD SURFACE AREA)	27402.97	68.15%	
BUILDING A OVERALL OFFICE GFA		884.53	
BUILDING B OVERALL OFFICE GFA		0.00	
TOTAL OFFICE GFA		884.53	
BUILDING A OVERALL WAREHOUSE GFA		2,256.88	
BUILDING B OVERALL WAREHOUSE GFA		511.99	
TOTAL WAREHOUSE GFA		2,768.87	
BUILDING A OVERALL STORAGE GFA		1,666.64	
BUILDING B OVERALL STORAGE GFA		112.31	
TOTAL STORAGE GFA		1,778.95	
BUILDING A OVERALL ATM GFA		20.30	
BUILDING B OVERALL ATM GFA		0.00	
TOTAL ATM GFA		20.30	
TOTAL BLDG A & B GFA (4828.35 + 624.30)			5,452.65
BUILDING A FLOOR SPACE INDEX PROVIDED:	4828.35/40,210	0.12	
BUILDING B FLOOR SPACE INDEX PROVIDED:	624.30/40,210	0.02	
OVERALL FLOOR SPACE INDEX PROVIDED FOR NORTH PARCEL:	5452.65/40,210	0.14	
HEIGHT OF BUILDING A (TOP OF DECK 48'-0")		14.655m	
HEIGHT OF BUILDING B (TOP OF DECK 38'-0")		11.608m	

PROVIDED LOADING BAYS - NORTH PARCEL				
Floor Levels	OFFICE STANDARD PARALLEL LOADING BAY 3.5M X 9.0M	WAREHOUSE & STORAGE STANDARD LOADING BAYS 3.5M X 7.0M	OVERSIZED LOADING SPACE AS PER TABLE 113C 4.3M X 13M	TOTAL
GROUND	1	2	1	4
TOTAL	1	2	1	4
LOADING SPACES REQUIRED				
OFFICE - 1 STANDARD SPACES REQUIRED FROM 350m <sup>2</sup> TO 4999m <sup>2</sup>				1
WAREHOUSE/STORAGE - 2 STANDARD SPACES REQUIRED UP TO 9999m <sup>2</sup>				2
TABLE 113C - 1 OVERSIZED SPACE REQUIRED (WAREHOUSE BUILDING OVER 5000m <sup>2</sup> GFA)				1

2555 SHEFFIELD ROAD - STATISTICS - REFERENCE CITY OF OTTAWA ZONING BY-LAW									
ALL AREAS IN SQUARE METRES									
BUILDING A - PROPOSED 1 STOREY BUILDING WITH MEZZANINE - AREA CALCULATIONS (SQ.M.)									
FLOOR	OVERALL BUILDING CONSTRUCTION AREA	TERRACE & BALCONIES	OVERALL GROSS FLOOR AREA	DEDUCTIONS AS PER ZONING BY-LAW D/T & LOADING BAYS	TOTAL GROSS FLOOR AREA OFFICE, WAREHOUSE, STORAGE, ATM	GROSS FLOOR AREA (GFA) TOTAL OFFICE AREA	GROSS FLOOR AREA (GFA) TOTAL WAREHOUSE AREA	GROSS FLOOR AREA (GFA) TOTAL STORAGE AREA	ATM
GROUND	5,225.05	0	5,225.05	1,023.79	4,201.26	447.89	2,256.88	1,476.19	20.30
2nd	663.04	0	663.04	35.95	627.09	436.64	0.00	190.45	0.00
TOTAL	5,888.09	0.00	5,888.09	1,059.74	4,828.35	884.53	2,256.88	1,666.64	20.30
NOTE* OPEN MEZZANINE AREA IS LESS THAN 30% OF THE BUILDING AREA									
NOTE** ENCLOSED MEZZANINE AREA IS LESS THAN 10% OF THE OPEN FLOOR AREA									

BUILDING B - PROPOSED 1 STOREY BUILDING WITH MEZZANINE - AREA CALCULATIONS (SQ.M.)							
FLOOR	OVERALL BUILDING CONSTRUCTION AREA	TERRACE & BALCONIES	OVERALL GROSS FLOOR AREA	DEDUCTIONS AS PER ZONING BY-LAW	TOTAL GROSS FLOOR AREA WAREHOUSE, STORAGE	GROSS FLOOR AREA (GFA) TOTAL WAREHOUSE AREA	GROSS FLOOR AREA (GFA) TOTAL STORAGE AREA
GROUND	511.99	0	511.99	0.00	511.99	511.99	0.00
2nd	112.31	0	112.31	0.00	112.31	0.00	112.31
TOTAL	624.30	0.00	624.30	0.00	624.30	511.99	112.31
NOTE* OPEN MEZZANINE AREA IS LESS THAN 30% OF THE BUILDING AREA							
NOTE** ENCLOSED MEZZANINE AREA IS LESS THAN 10% OF THE OPEN FLOOR AREA							

REQUIRED VEHICLE PARKING SPACES FOR NORTH PARCEL (AS PER CITY BY-LAW)			
OFFICE: 2.4 SPACES/100m <sup>2</sup> GFA (884.53/100 X 2.4)	REQUIRED	Provided	
BLDG A WAREHOUSE & STORAGE: GFA 2256.88+1666.64 = 3923.52			4
BLDG B WAREHOUSE & STORAGE: GFA 511.99+112.31 = 624.30			
BLDG A & B WAREHOUSE & STORAGE: 1.0 SPACES/2000m <sup>2</sup> GFA (3923.52+624.30 = 4547.82) 4547.82/2000 X 1.0			3
TOTAL BICYCLE PARKING SPACES PROVIDED FOR BUILDING A & B			7
***TOTAL BICYCLE SPACES PROVIDED 8 (NEXT TO THE FRONT ENTRY DOORS OF BUILDING A)			
OFFICE: 2.4 SPACES/100m <sup>2</sup> GFA (884.53/100 X 2.4)	REQUIRED	Provided	
BLDG A WAREHOUSE & STORAGE: GFA 2256.88+1666.64 = 3923.52			22
BLDG B WAREHOUSE & STORAGE: GFA 511.99+112.31 = 624.30			33
BLDG A & B WAREHOUSE & STORAGE: 0.8 SPACES/100m <sup>2</sup> GFA (3923.52+624.30 = 4547.82) 4547.82/100 X 0.8			37
TOTAL PARKING SPACES FOR BUILDING A & B			59
REDEDUCED PARKING SPACES**			12
BARRIER FREE SPACES			2 TYPE A & 2 TYPE B 2 TYPE A & 3 TYPE B
* 26 PARKING SPACES PROVIDED ABOVE THE REQUIRED 59 SPACES IN THE NORTH PARCEL			
** PARKING SPACE SIZES 2.6m WIDE X 5.2m LONG - 50% CAN BE REDUCED TO 2.4m WIDE (PARKING LOT OVER 50			

REQUIRED BICYCLE SPACES FOR NORTH PARCEL (AS PER CITY BY-LAW)	
OFFICE: 1.0 SPACE/250m <sup>2</sup> GFA (884.53/250 X 1.0)	4
BLDG A WAREHOUSE & STORAGE: GFA 2256.88+1666.64 = 3923.52	
BLDG B WAREHOUSE & STORAGE: GFA 511.99+112.31 = 624.30	
BLDG A & B WAREHOUSE & STORAGE: 1.0 SPACES/2000m <sup>2</sup> GFA (3923.52+624.30 = 4547.82) 4547.82/2000 X 1.0	3
TOTAL BICYCLE PARKING SPACES PROVIDED FOR BUILDING A & B	7
***TOTAL BICYCLE SPACES PROVIDED 8 (NEXT TO THE FRONT ENTRY DOORS OF BUILDING A)	

EXISTING BUILDINGS TO BE REMOVED (SQ.M.)	
EXISTING OFFICE BUILDING	3,791.88
EXISTING WAREHOUSE BUILDING	514.31
TOTAL	4,306.19

LEGAL DESCRIPTION OF PROPERTY:  
BLOCK 1 REGISTERED PLAN 4M-1303 CITY OF OTTAWA NORTH SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ONTARIO LAND SURVEYORS  
SOUTH PORTION SURVEYED BY FAIRHALL, MOFFAT & WOODLAND LIMITED ONTARIO LAND SURVEYORS

1H - HEAVY INDUSTRIAL ZONE  
ZONING REQUIREMENTS

LEGAL DESCRIPTION OF PROPERTY:  
PART OF BLOCK A REGISTERED PLAN 783 CITY OF OTTAWA NORTH SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ONTARIO LAND SURVEYOR

ZONING MECHANISM	ALLOWED	PROPOSED
Minimum Lot Area	4,000m <sup>2</sup>	40,210.00m <sup>2</sup>
Minimum Lot Width	No minimum	170m
Minimum Front Yard Setback	7.5m	7.5m
Minimum Corner Yard Setback	7.5m	Not applicable
Minimum Interior Side Yard Setback	7.5m	10.6m
Minimum Rear Yard Setback	7.5m	11.7m
Maximum Floor Space Index	2	0.14
Maximum Building Height Permitted	22m	BLD A: 14.655m (48'-1") - Ave. grading to high point of roof BLD B: 11.608m
Minimum Width of Landscaped Area:	3m	3m
Minimum Setback from Green's Creek	30m from normal high-water mark of any watercourse or 15m from top of the bank whichever is the greater.	43.373m MIN.

SCALE: DRAWING #


DATE: MARCH 2019

DRAWN BY: GL, SH, CC, AA

1. Contractor must verify all job dimensions, all drawings, details, specifications and report any discrepancies to owners before proceeding with work.  
2. All drawings and specifications are instruments of service and the property of the architects which must be returned at the completion of the work, and may not be reproduced without their written permission.

ref	description	date
10	SPC REVISION	2022-08-25
09	UPDATED DRAWINGS TO SITE	2022-01-17
08	ISSUED FOR PERMIT REV#2	2021-08-23
07	ISSUED FOR COOH#1	2021-06-28
06	ISSUED FOR CONSTRUCTION	2021-06-03
05	ISSUED FOR ADDENDUM #5	2020-08-17
04	ISSUED FOR CITY RFI #1	2020-08-06
03	ISSUED FOR ADDENDUM #2	2020-07-29
02	ISSUED FOR BUILDING TENDER	2020-07-07
01	ISSUED FOR BUILDING PERMIT	2020-06-26

revisions



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TRUE NORTH PROJECT NORTH

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PROJECT & LOCATION: METAL RECYCLING PLANT  
2555 SHEFFIELD ROAD  
OTTAWA, ONT.

OFFICE FILE NUMBER: 19023

TITLE OF DRAWING: CODE MATRIX & STATS

SCALE: DRAWING #

DATE: MARCH 2019

DRAWN BY: GL, SH, CC, AA

# A0.01