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A000	COVER SHEET

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WATERIDGE APARTMENT BUILDING

ADDRESS: 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR CLC_REPLY -JUNE 30, 2022



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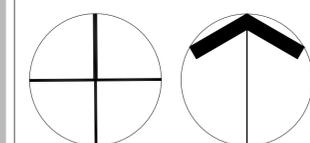
Rod Price
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COVER SHEET



PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWG	STEEL BOLLARD (REFER TO DETAIL XX.X)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BIB (REFER TO MECHANICAL DWG)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWG	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE SURVEY FOR THIS PROPERTY. MATIA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SHOWN HEREIN. IT IS INCLUDED UNDER SEAL OF CERTIFICATION ONLY.	TOP SURVEYORS INFO: CHOMAND LAND SURVEYORS INC. 14 CONCORDE GATE SUITE 200 WILLOW BRIDGE RD #104 MISSISSAUGA, ONT L4X 1L7 CANADA TEL: 905.876.8888 EMAIL: info@chomand.com	1 ALL EXISTING PAYMENT CURBS, SIDEWALK DRIVEWAYS AND DRIVEWAYS ARE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE PROTECTION AND BARRIER FREE SIGNAGE SET OUT IN THE TOWN OF OTTAWA BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL	HEAVY DUTY ASPHALT PAVING (REMANUR OF HEJBE TO RECEIVE LIGHT EMITTING DIODES)	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-47 REFER TO 200-24(2)	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REQUIRED UNDER PART 44V-1(83) CITY OF OTTAWA	2 A MINIMUM SETBACK OF 1.0M FROM REAL STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED BY THE CONTRACTOR/OWNER.	2 A MINIMUM SETBACK OF 1.0M FROM REAL STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED BY THE CONTRACTOR/OWNER.	6 ALL EXISTING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN. ALL EXISTING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.
CURB DEPRESSION	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTICO COCHERE (REFER TO LANDSCAPE DWG)	PROPOSED GRADING REFER TO CIVIL DWG		3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DISTURBED DURING CONSTRUCTION.	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DISTURBED DURING CONSTRUCTION.	7 ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIST ACCESS POINTS	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL	LANDSCAPED AREA	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWG		4 ALL BARRIER FREE ENTRANCES AND BARRIER FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8	4 ALL BARRIER FREE ENTRANCES AND BARRIER FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8	8 ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPED SIDE.
EXISTING DOWN HYDRANT	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPLANT)				9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWG							10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
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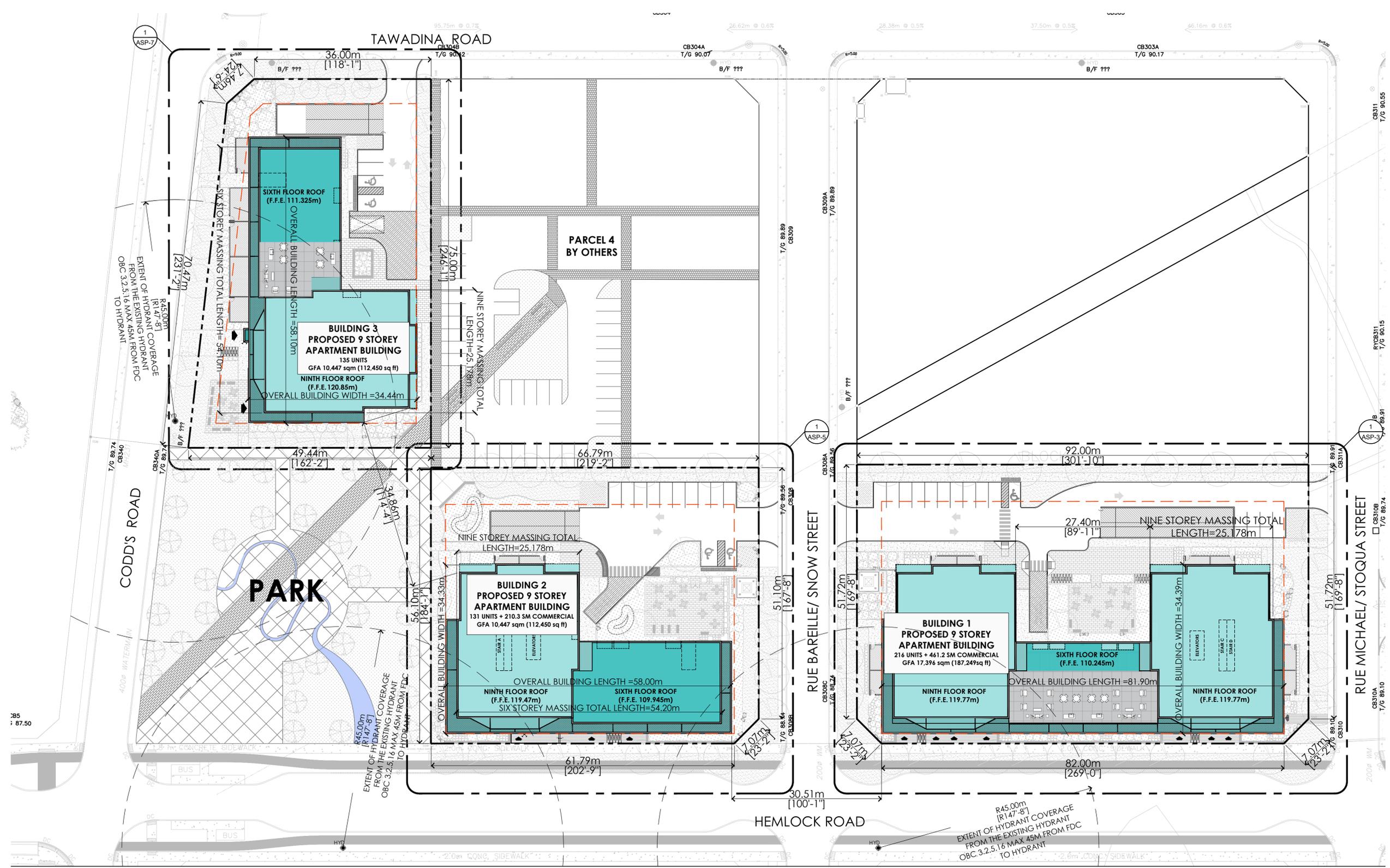
Architect's Stamp
MATAJ ARCHITECTS INCORPORATED
206-418 Incaque Shore Rd
Oakville, Ontario
L6H 0X7
T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

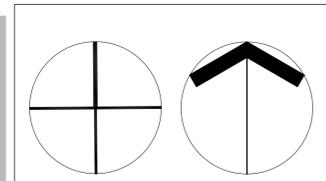
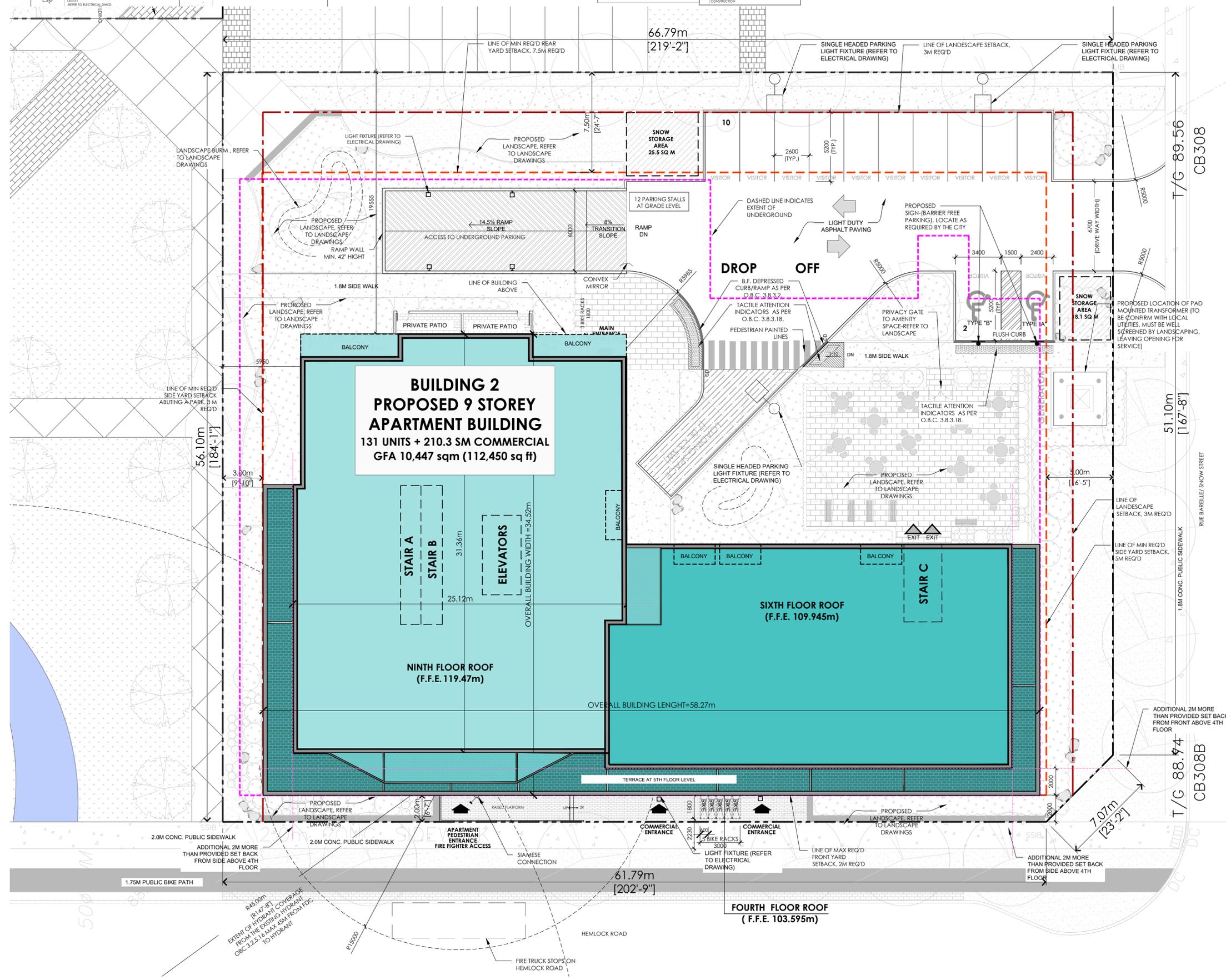
Sheet Title:
SITE PLAN - OVERALL SITE PLAN

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:400	22-06-29	22-004

Drawing No.: **ASP-1**
Drawing Series:
SITE PLAN APPLICATION



	PROPERTY LINE		FIRE DEPARTMENT CONNECTION		WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS		STEEL BOLLARD (REFER TO DETAIL XX.X)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES:	SITE PLAN - GENERAL NOTES:
	BUILDING SETBACK LINE		HOSE BIB (REFER TO MECHANICAL DWGS)		RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE REFER TO ELECTRICAL DWGS		FIRE ROUTE (TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49 REFER TO 200-24(2))	TOP SURVEYORS INFO:	TOP SURVEYORS INFO:	1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARBERS FREE SPACE SET OFF BY THE CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARBER FREE SPACE SET OFF BY THE TOWN.
	LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL DWGS		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		PROPOSED GRADING REFER TO CIVIL DWGS	CONTRADICTORY LAND SURVEYORS INFO: CHANDRA LAND SURVEYORS INC. 1000 SHEPPARD AVE. E. SUITE 200 MISSISSAUGA, ONTARIO L4X 1L7 TEL: 905-882-4242 EMAIL: info@chandra-land.com	2 A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED OR RELOCATED AT THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	6 ALL EXISTING DRIVEWAYS TO BE RESTORED DOWNWARD AS WELL AS INWARD AND CROWNED TO NEAREST VERTICAL CURB LIGHT CORRELATION AT THE PROPERTY LINE.	
	CURB DEPRESSION		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 (REQUIRE PLAN #41-181 CITY OF OTTAWA)	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.	
	ENTRY EXIT ACCESS POINT		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET REFER TO ELECTRICAL DWGS		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)	4 ALL BARBER FREE DRIVEWAYS AND BARBER FREE PARKS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.3.2	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LANDSCAPE FLOOR.	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LANDSCAPE FLOOR.	
	EXISTING DOWNSPOUT								9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.	
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS								10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	



Key Plan:

No.	Date:	Issue/Revision	By:
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

No.	Date:	Issue/Revision	By:
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MATAJ ARCHITECTS
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Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

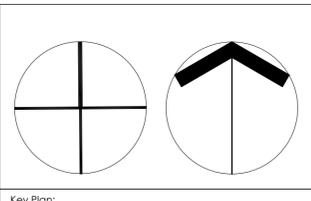
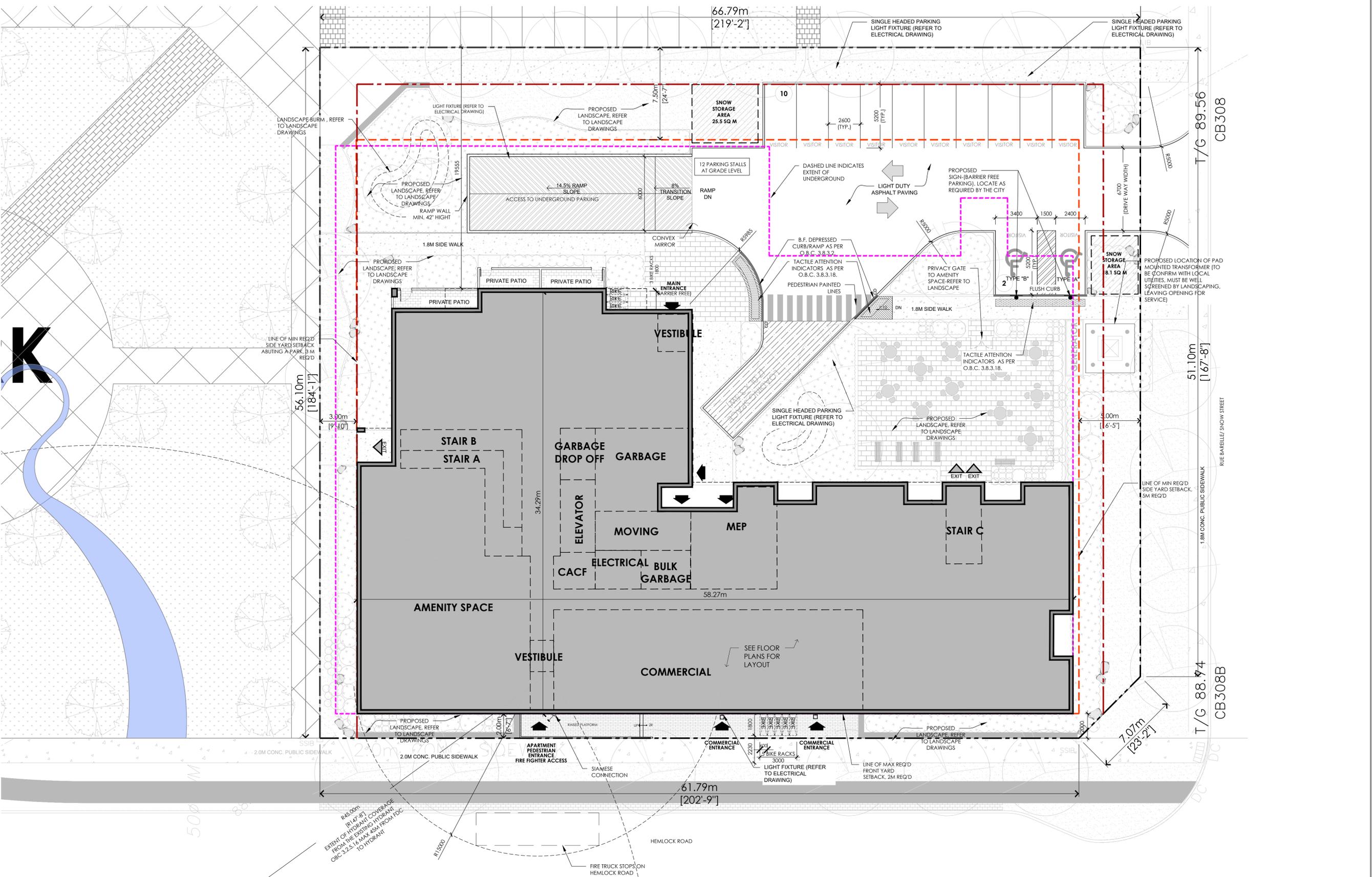
Sheet Title:
SITE PLAN - BLDG 2 ROOF LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.:
ASP-4

Drawing Series:
SITE PLAN APPLICATION

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWG'S	STEEL COLLAR (REFER TO DETAIL XX.X)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWG'S)	RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE REFER TO ELECTRICAL DWG'S	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE MOST RECENT CONSTRUCTION SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DATA IN THE FIELD.	TOPIC SURVEYORS INFO: CHADWICK LAND SURVEYORS INC. 14 COLLEEGATE GATE SUITE 200 UNIT 101, OAKVILLE, ON L6M 4T4. EMAIL: HOPPO@chadwick.com	1. ALL EXISTING DRIVEWAYS, CURBS, SEWERAL DRIVEWAYS AND BARRIER FREE DRIVEWAYS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIER FREE DRIVEWAYS AS REQUIRED BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMANDER OF HERE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	PROPOSED GRADING REFER TO CIVIL DWG'S	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REQUIRED PLAN 4W-1181 CITY OF OTTAWA	2. A MINIMUM STRACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR/OWNER.	2. A MINIMUM STRACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR/OWNER.	6. ALL EXISTING DRIVEWAYS TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGN TO AN ADJACENT VERTICALLY CURVED LIGHT DISTRIBUTION AT THE PROPERTY LINE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DISCRETE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWG'S)	CONDENSING LINE ON 4" CONCRETE PAD (REFER TO MECH DWG'S)		3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.	3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.	7. ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG'S	LANDSCAPED AREA	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)		4. ALL BARRIER FREE DRIVEWAYS AND BARRIER FREE PARKS TO BE MAINTAINED WITH O.B.C. 3.8.3.2	4. ALL BARRIER FREE DRIVEWAYS AND BARRIER FREE PARKS TO BE MAINTAINED WITH O.B.C. 3.8.3.2	8. ALL CONDENSING UNITS TO BE SCREENED ON THE EXTERIOR FLOOR.
EXISTING DOWN WALK							9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWG'S							10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



No.	Date:	Issue/Revision	By:
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:			
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Architect's Stamp

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 LICENCE 7609

MATAJ ARCHITECTS
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

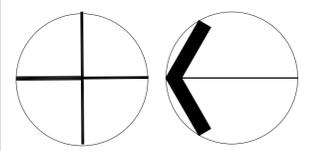
Sheet Title:
SITE PLAN - BLDG 2 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

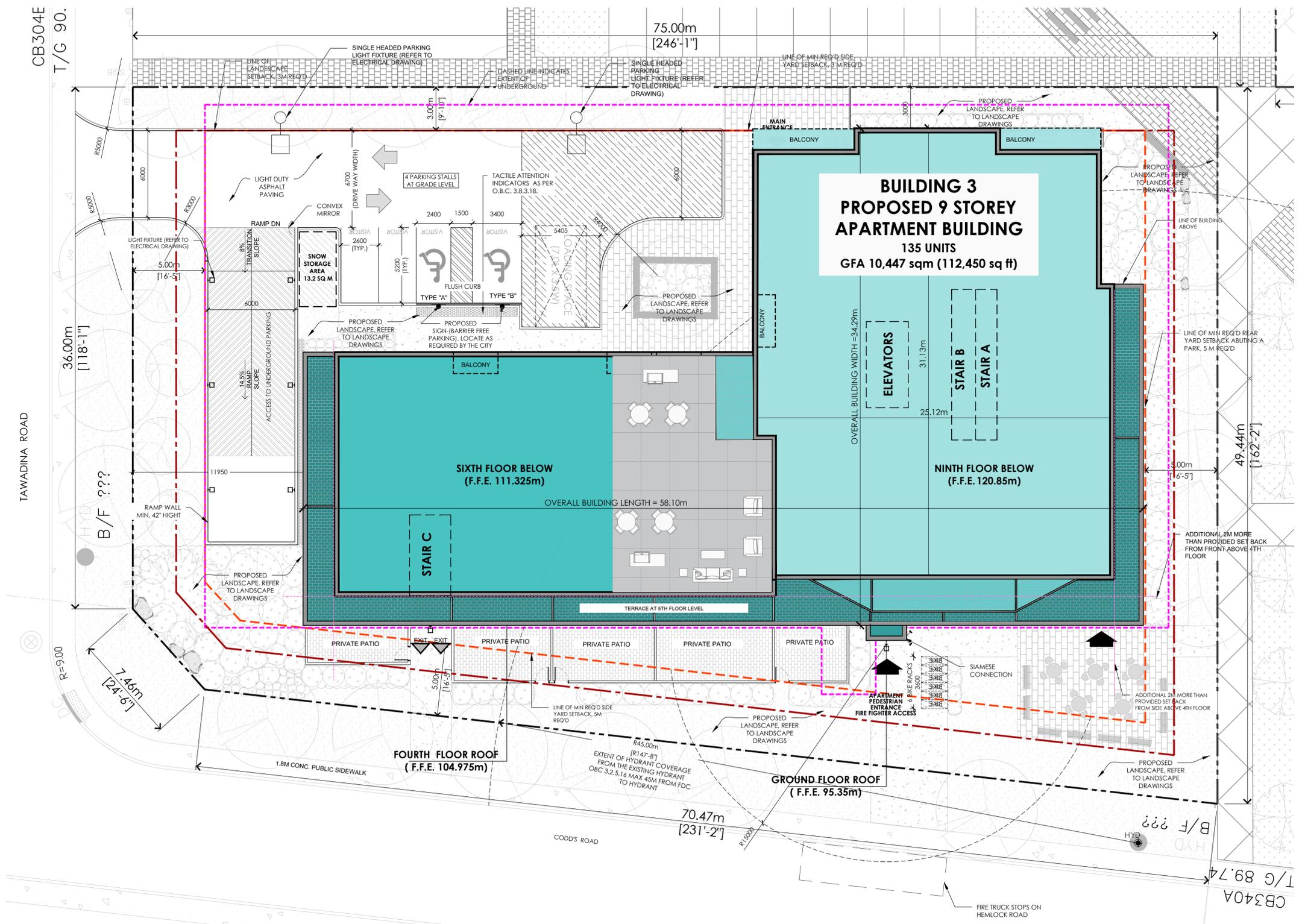
Drawing No:
ASP-4

Drawing Series:
 SITE PLAN APPLICATION

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SHEET IS BASED UPON THE MOST RECENT CONSTRUCTION SURVEY FOR THIS PROPERTY. MANA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DOES NOT INCLUDE IN THIS SET OF DRAWINGS.	TOP SURVEYORS INFO: CHADWICK LAND SURVEYORS INC. 1000 GERRARD ST. E. SUITE 200 MISSISSAUGA, ONT. L4X 1L7	1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMANUR OF HEZE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	PROPOSED GRADING REFER TO CIVIL DWGS	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 AND 13 REG. PLAN 441-181 OF 07/01/04	CONTRACTOR SHALL MAINTAIN ALL EXISTING STREET FURNITURE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	2 A MINIMUM STRACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	6 ALL EXISTING DRIVEWAYS TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN VERO CORRECT LIGHT DISTRIBUTION AT THE PROPERTY LINE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE DURING CONSTRUCTION.	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE DURING CONSTRUCTION.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA			4 ALL BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	4 ALL BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	8 ALL CONDENSING UNITS TO BE SCREENED ON THE EXTERIOR FLOOR.
EXISTING DOWN WALK	SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS							10 WHERE FEASIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:



No.	Date:	Issue/Revision	By:
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

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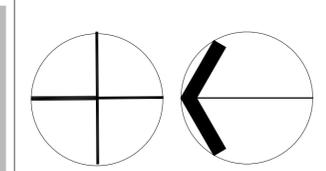
Project:
WATERIDGE
APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 3
ROOF LEVEL

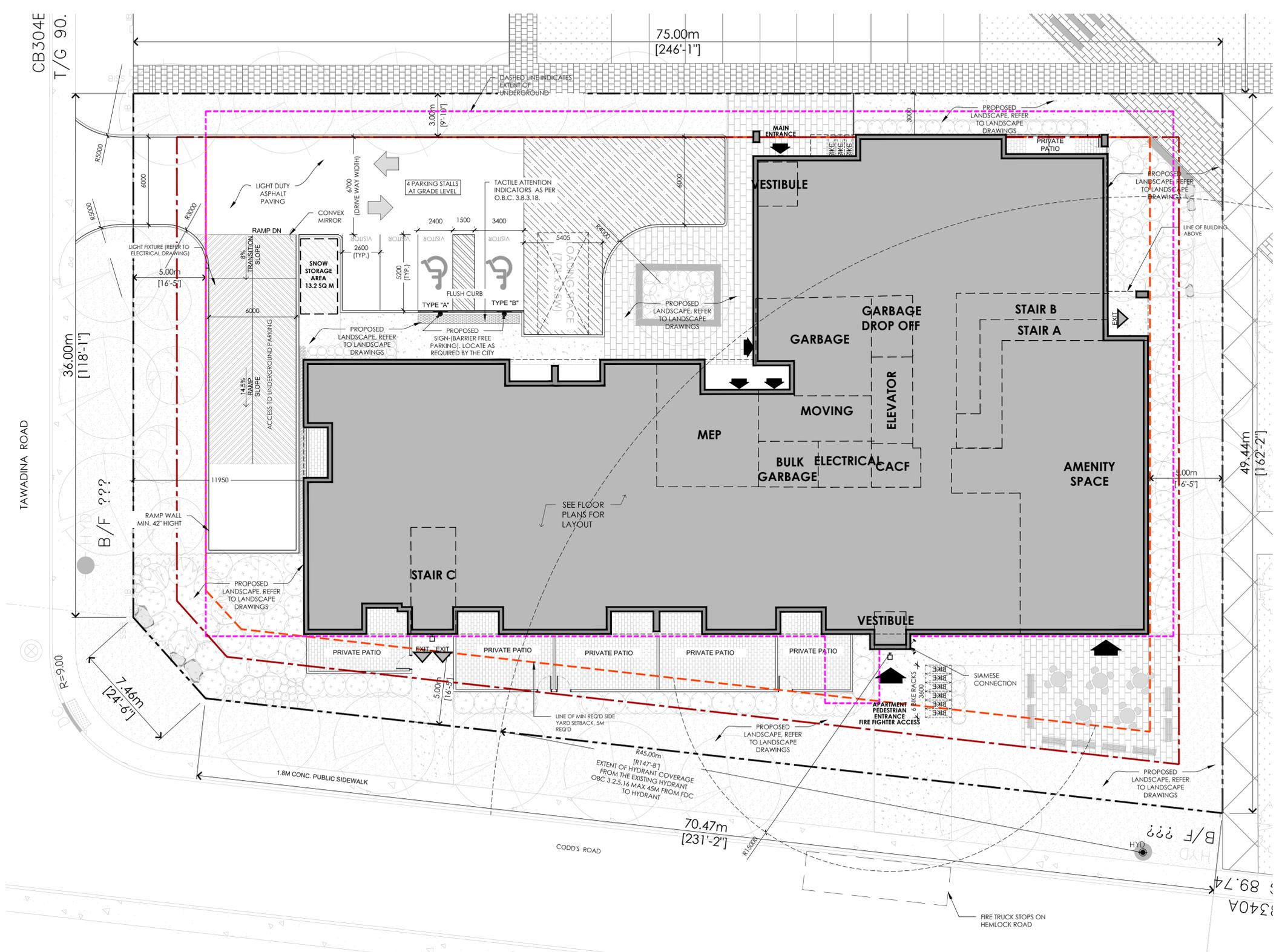
Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:150	22-06-29	22-004

Drawing No.:
ASP-7
 Drawing Series:
 SITE PLAN APPLICATION

	PROPERTY LINE		FIRE DEPARTMENT CONNECTION		WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS		STEEL BOLLARD (REFER TO DETAIL XX.3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES:	SITE PLAN - GENERAL NOTES:
	BUILDING SETBACK LINE		HOSE BIB (REFER TO MECHANICAL DWGS)		RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS		PARKING COUNT	THIS SITE PLAN IS BASED UPON THE MOST RECENT RECORD DRAWINGS AND THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEY AND RECORD DRAWINGS INCLUDED IN THESE PLANS.	TOP SURVEYORS INFO CHANDAN LAND SURVEYERS NAME: CHANDAN VOLKMER LTD 14 CONCORDE GATE SUITE 200 MILLS RD. DUNDAS ST. W. M1H 3R8 EMAIL: info@chandan-land.com	1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE TOWN BY LAWS AND DESIGN CRITERIA.
	LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS		NON-HEAVY DUTY ASPHALT PAVING (REMANUER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)		PROPOSED GRADING (REFER TO CIVIL DWGS)	2 A MINIMUM STRACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED TO THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISRUPTION DURING CONSTRUCTION.	6 ALL EXISTING UNDERGROUND UTILITIES TO BE IDENTIFIED AND MARKED AS WELL AS INWARD AND OUTWARD TO ADJACENT PROPERTY. REFER TO LANDSCAPE DRAWINGS.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
	CURB DEPRESSION		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTS COCHERE (REFER TO LANDSCAPE DWGS)		LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REGISTERED PLAN 441-181 CITY OF OTTAWA	4 ALL BARRIERS FREE OF CHARGE AND BARRIERS FREE PARTS OF TRAVEL MUST COMPLY WITH O.C.S. 3.8.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.	8 ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE FLOOR.	
	ENTRY EXIT ACCESS POINTS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL		LANDSCAPED AREA						
	EXISTING DOWN WORKOUT		SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS		POWDERED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION						
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS										



Key Plan:



2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM
No.	Date:	Issue/Revision	By:
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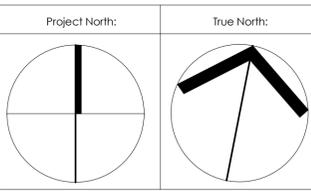
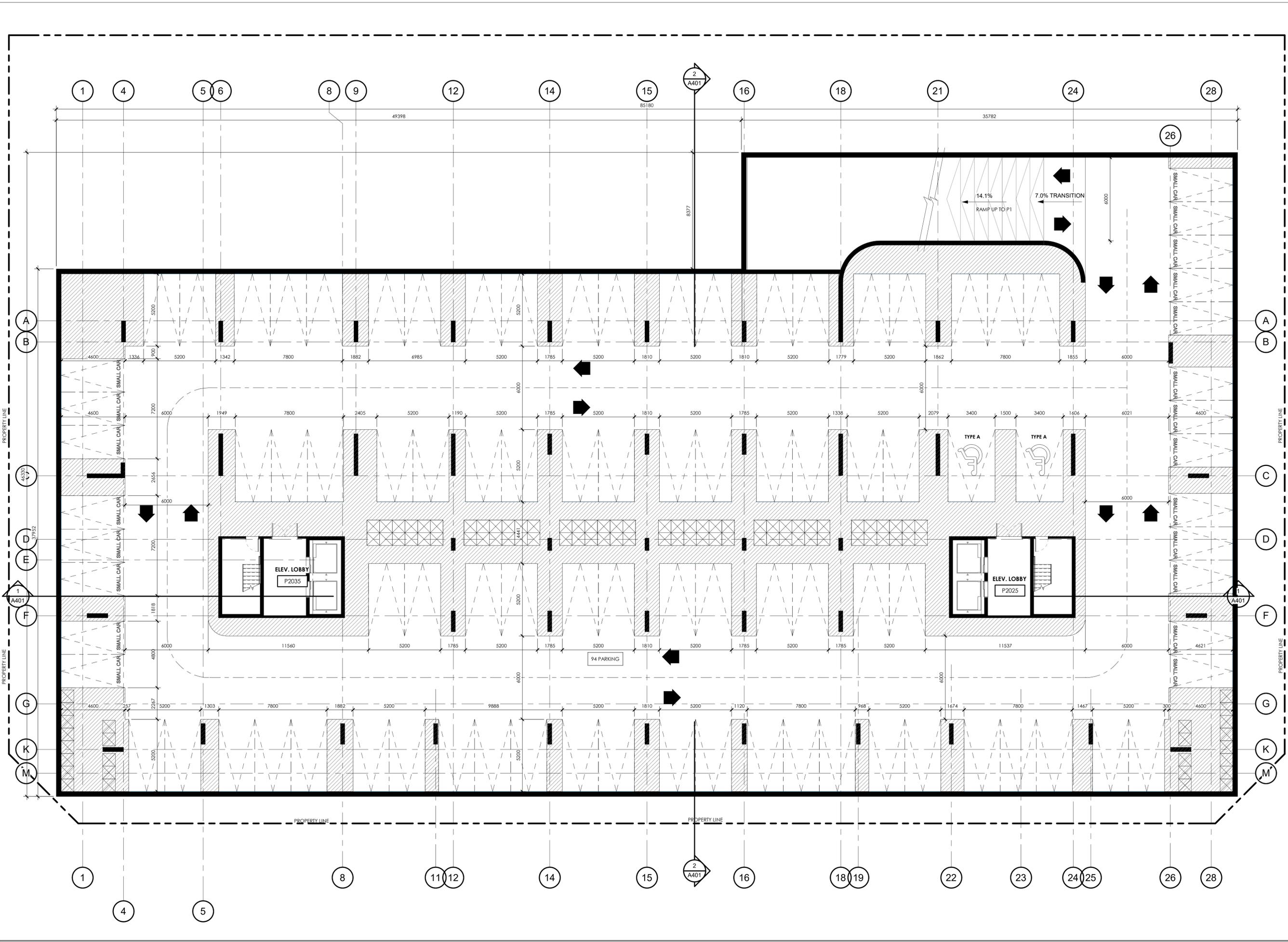
Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
**SITE PLAN - BLDG 3
GRADE LEVEL**

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No:
ASP-8

Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

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1	ISSUED FOR CLC - Reply	22/06/30

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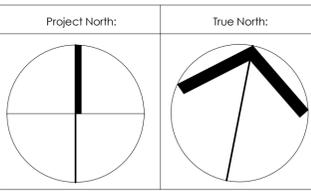
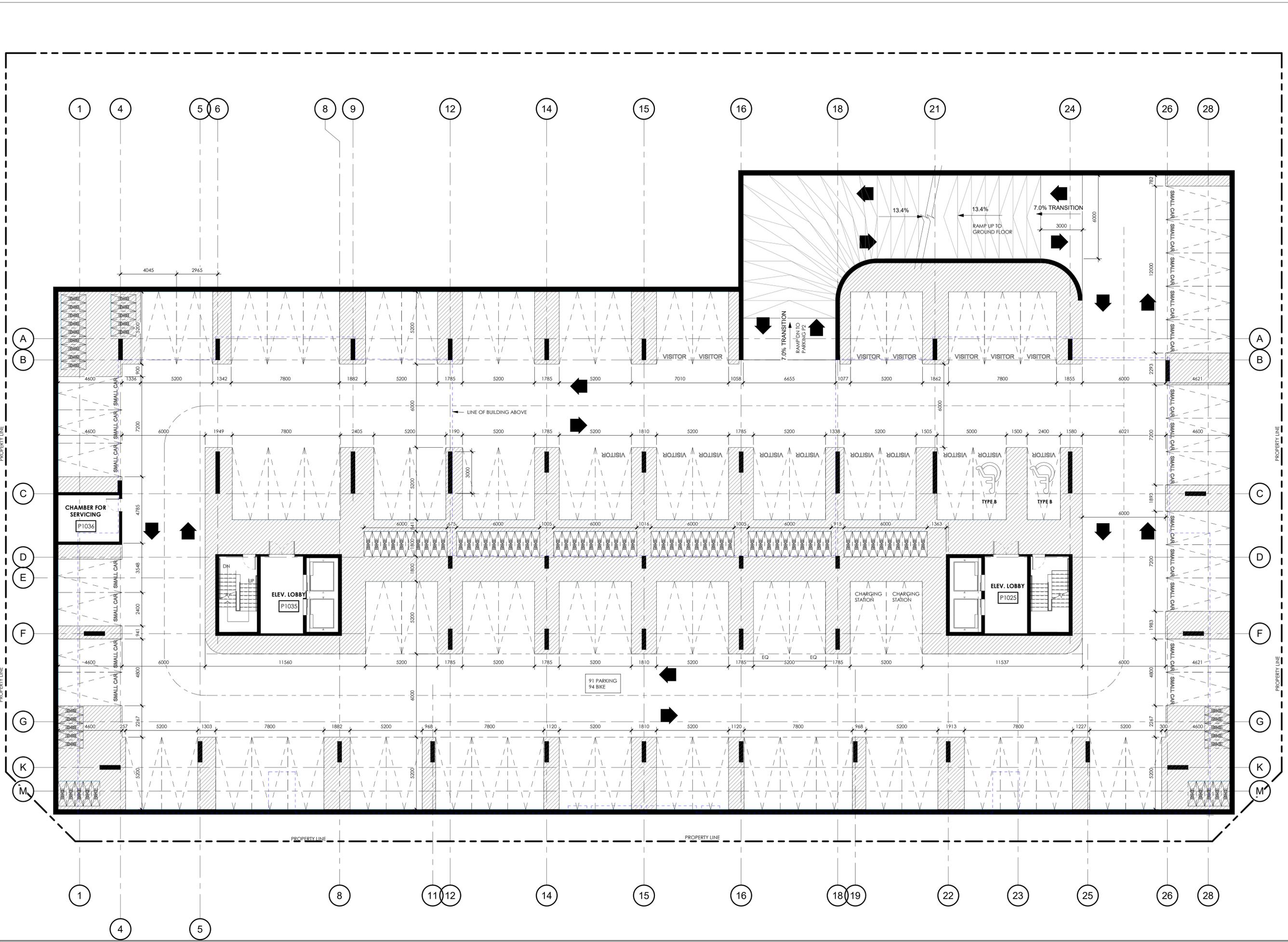


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - PARKING LEVEL P2

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A200 Of:
 SITE PLAN APPLICATION



SPA FILE NO. -

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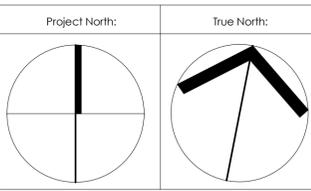
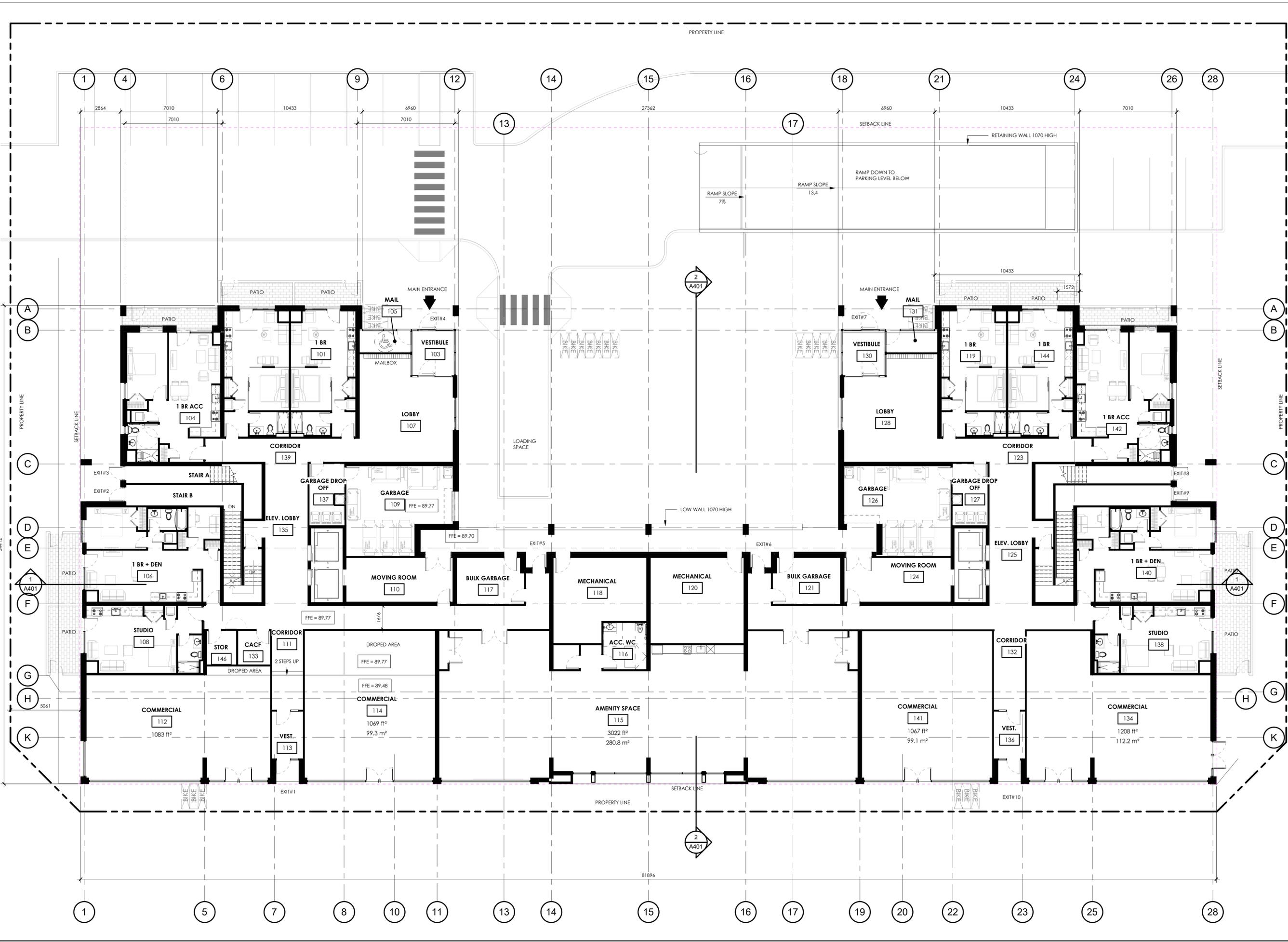


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - PARKING LEVEL P1

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A201 of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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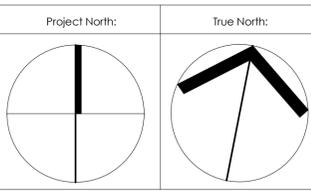
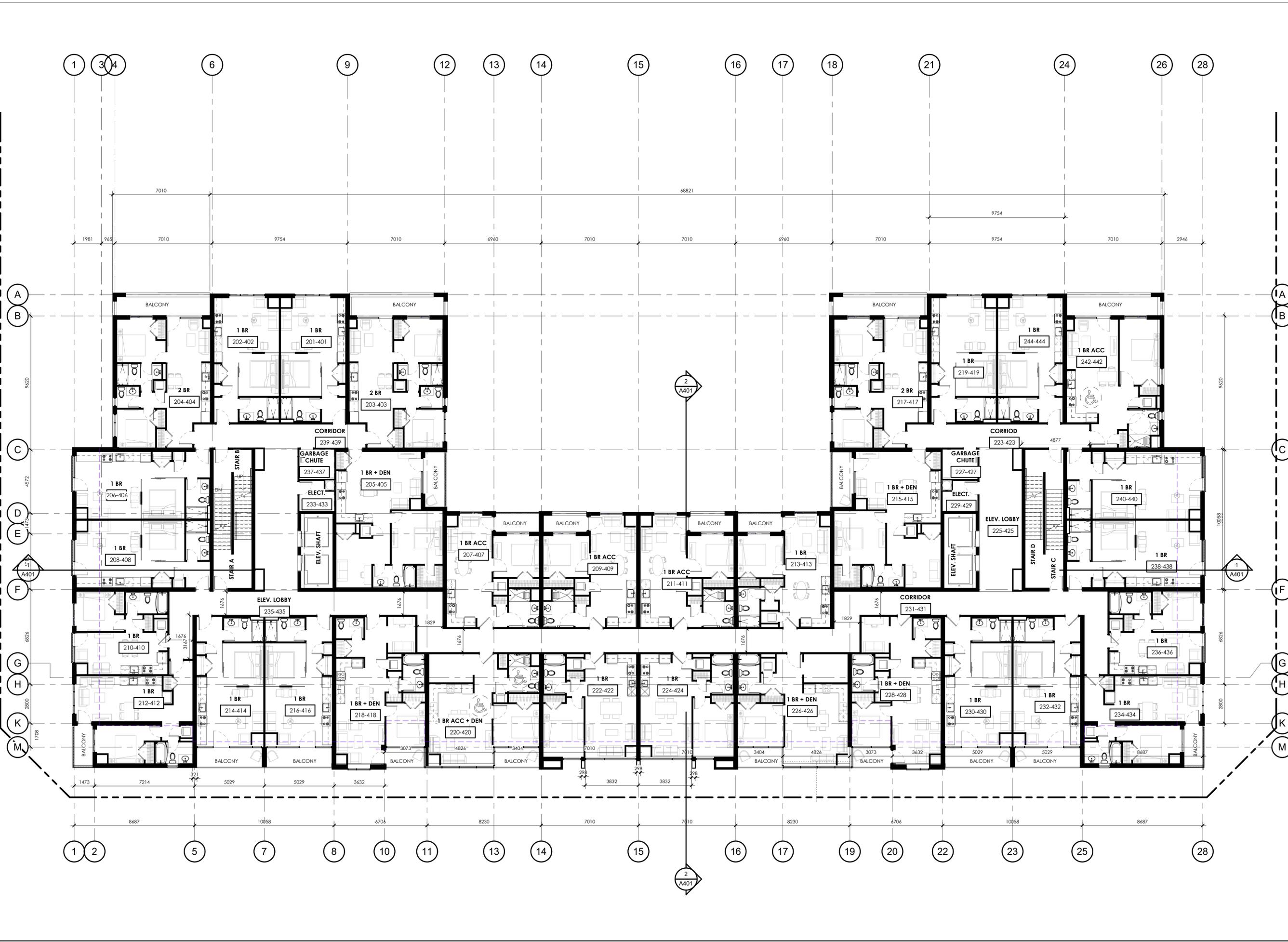
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - GROUND FLOOR PLAN

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A202 of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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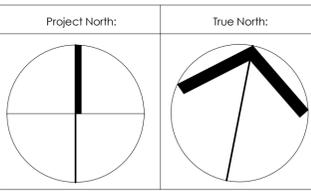
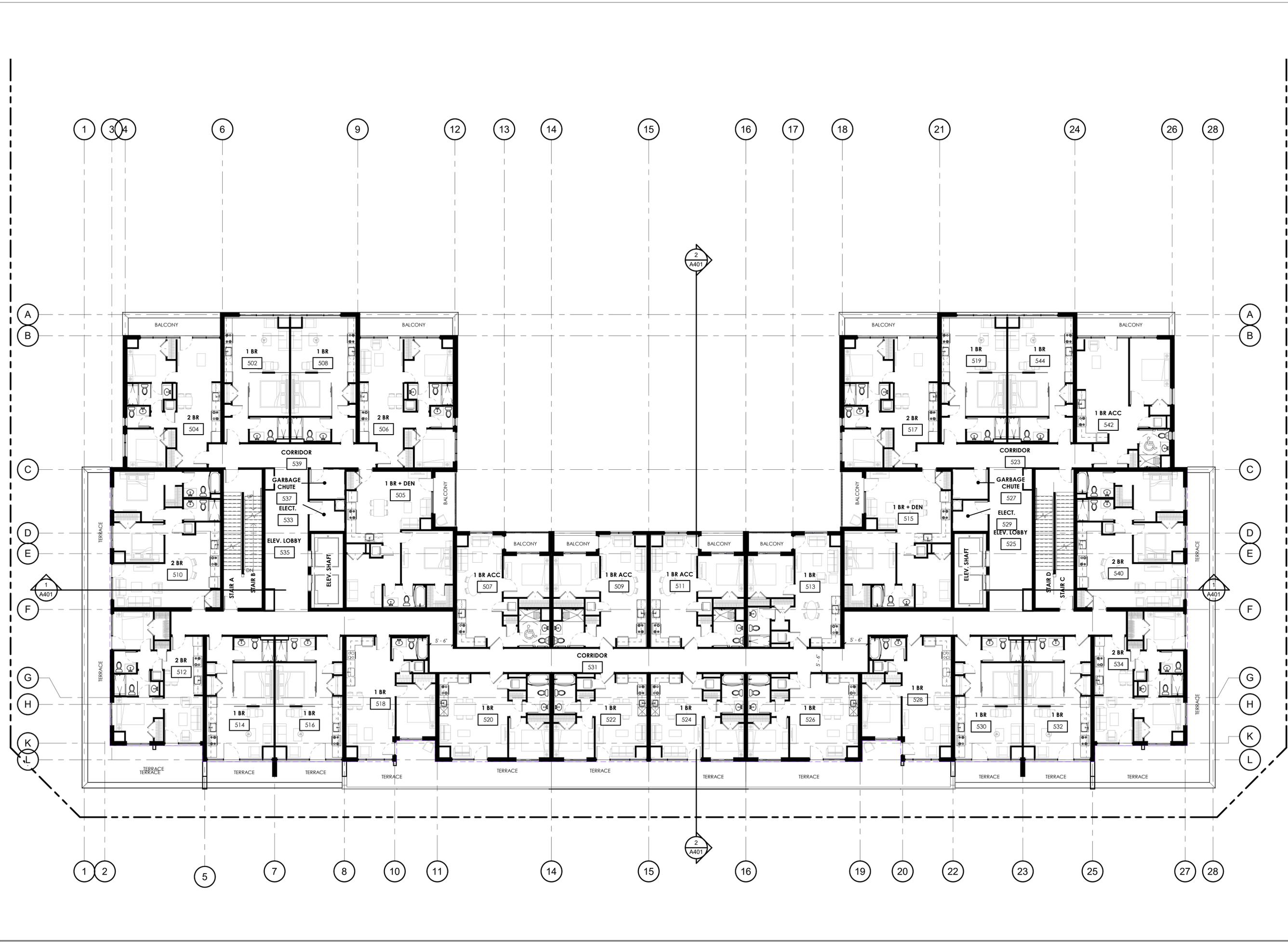
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - TYPICAL FLOOR (2nd-4th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A203 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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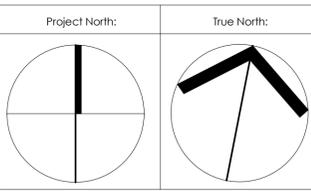
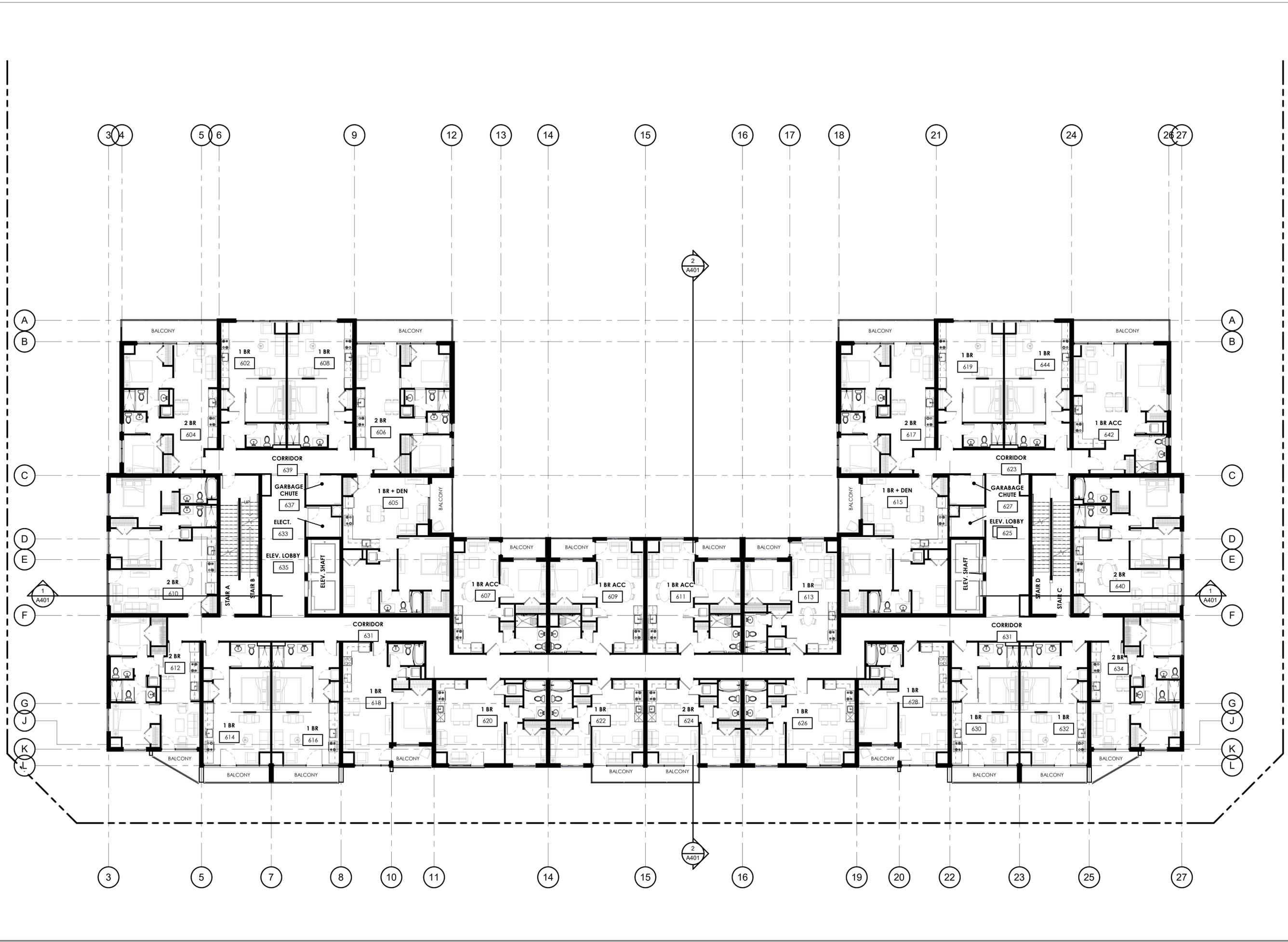
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A204 of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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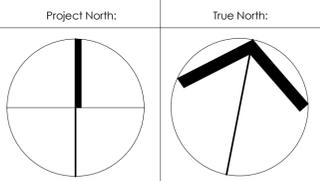
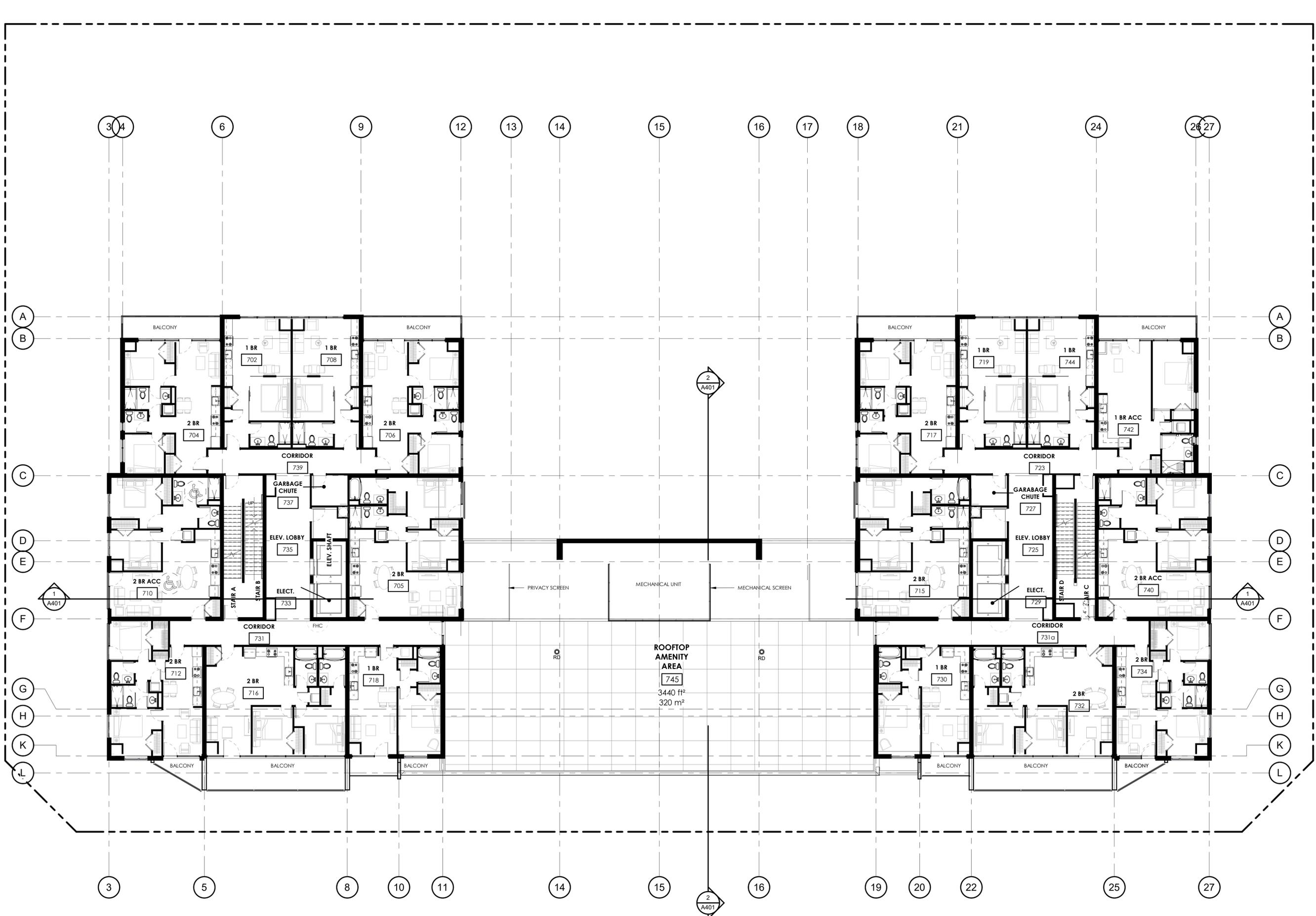
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - SIXTH FLOOR PLAN (6th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A205 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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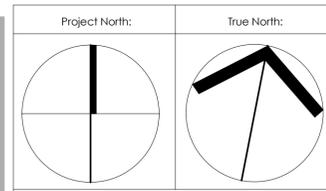
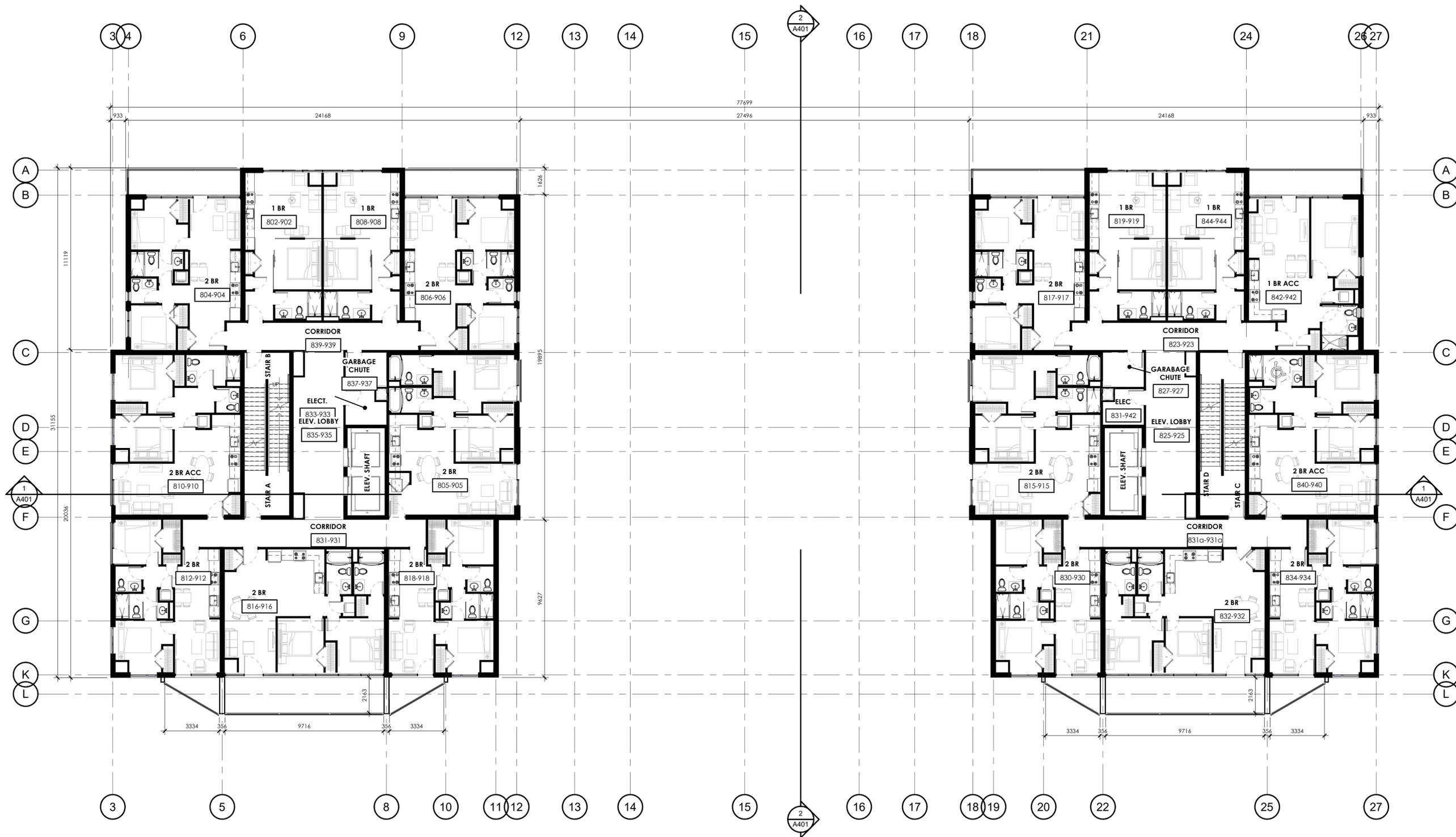
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Project:
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 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - SEVENTH FLOOR PLAN (7th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A206 Of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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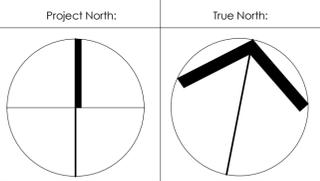
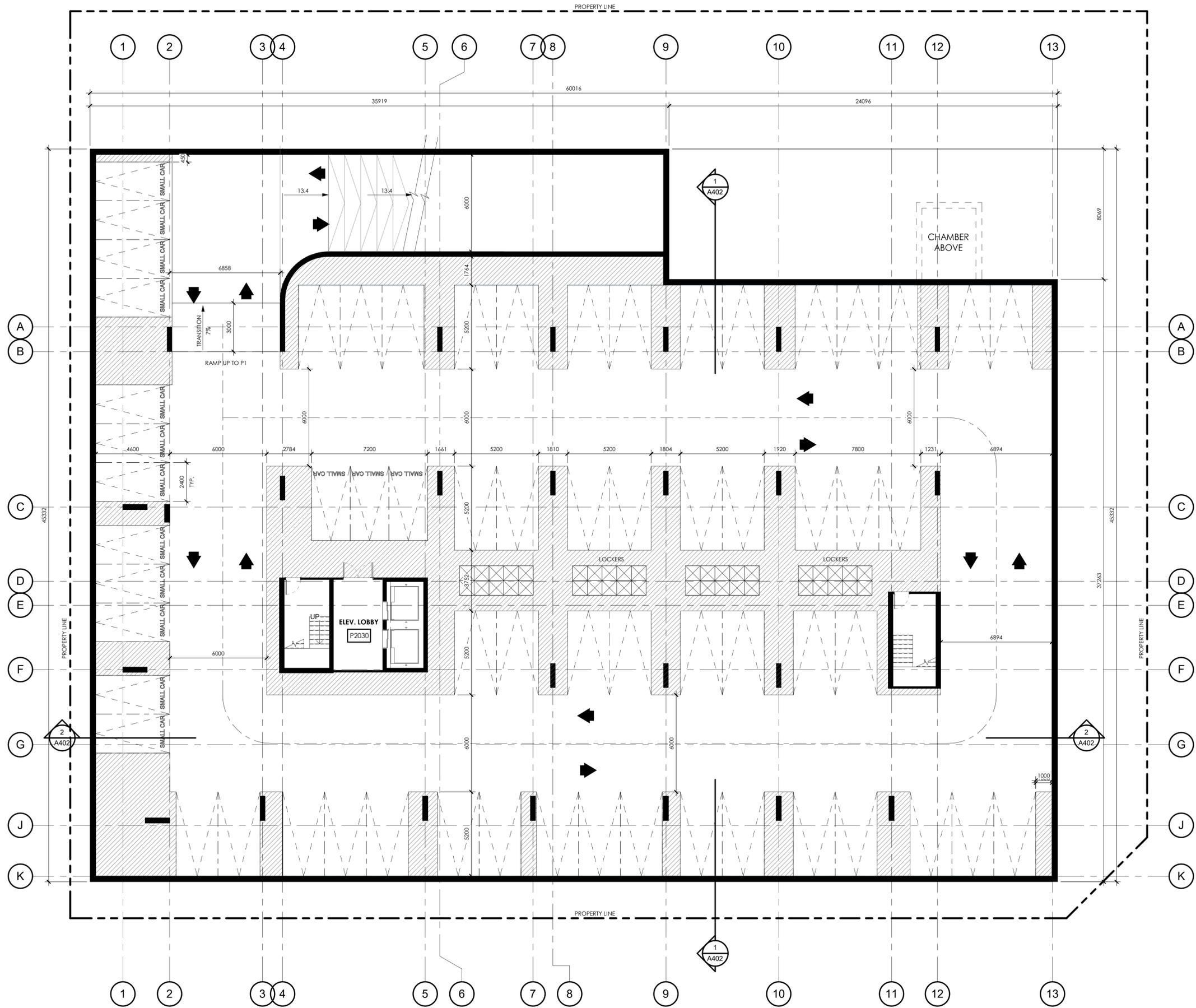
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 Oakville Ontario L6H 0X7
 1.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - EIGHT & NINE FLOOR PLAN (8th-9th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A207 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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Project:
WATERIDGE APARTMENT BUILDING

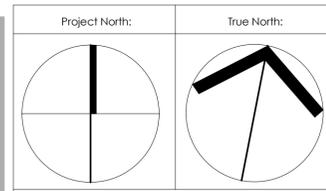
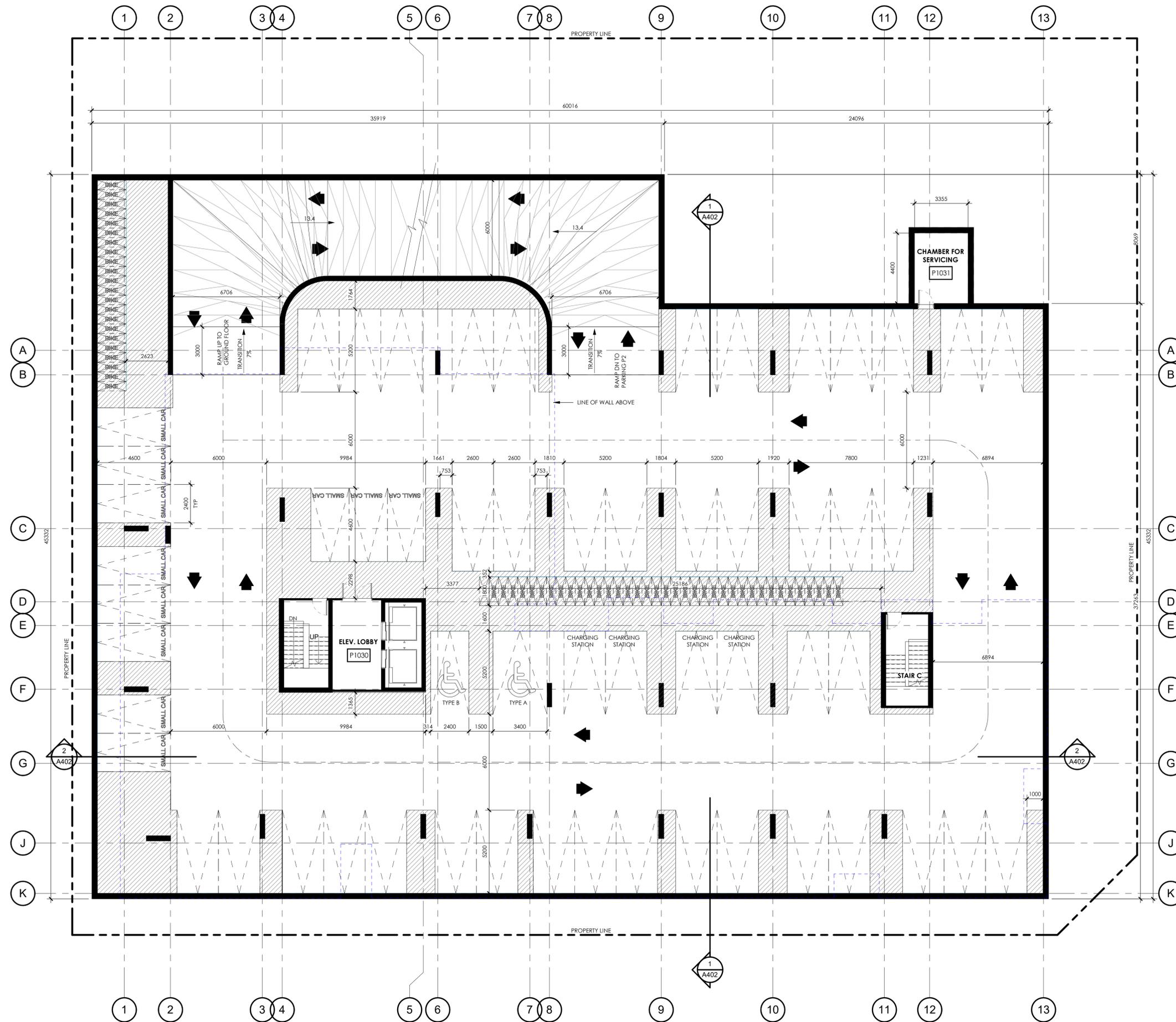
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - PARKING LEVEL P2

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A209 Of:

Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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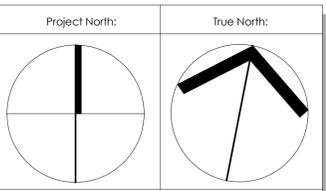
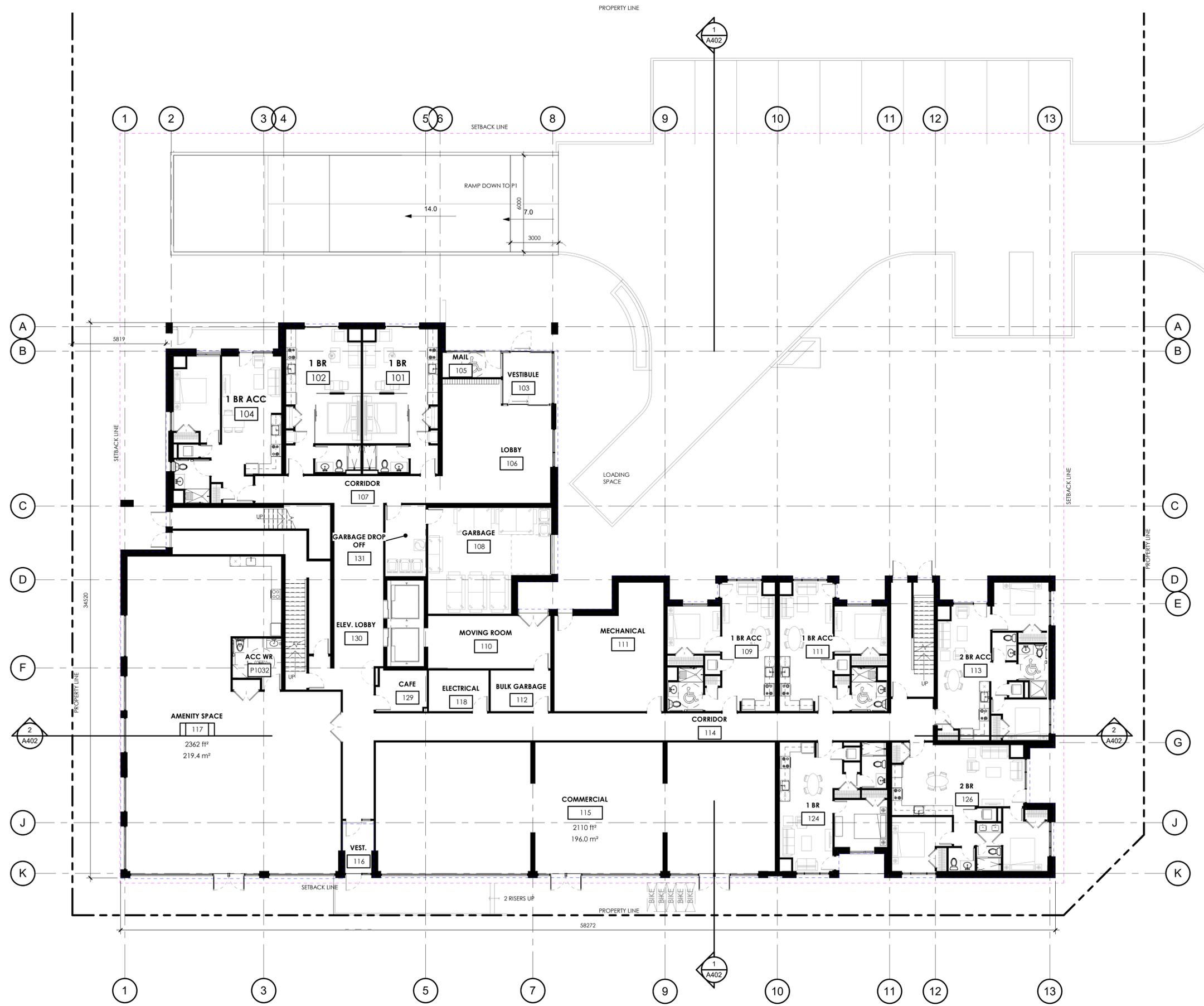
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 L6H 0X7
 1.905.281.1444

Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - PARKING LEVEL P1

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A210 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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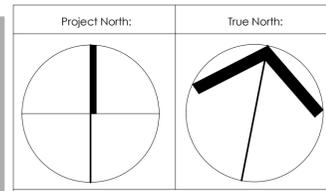
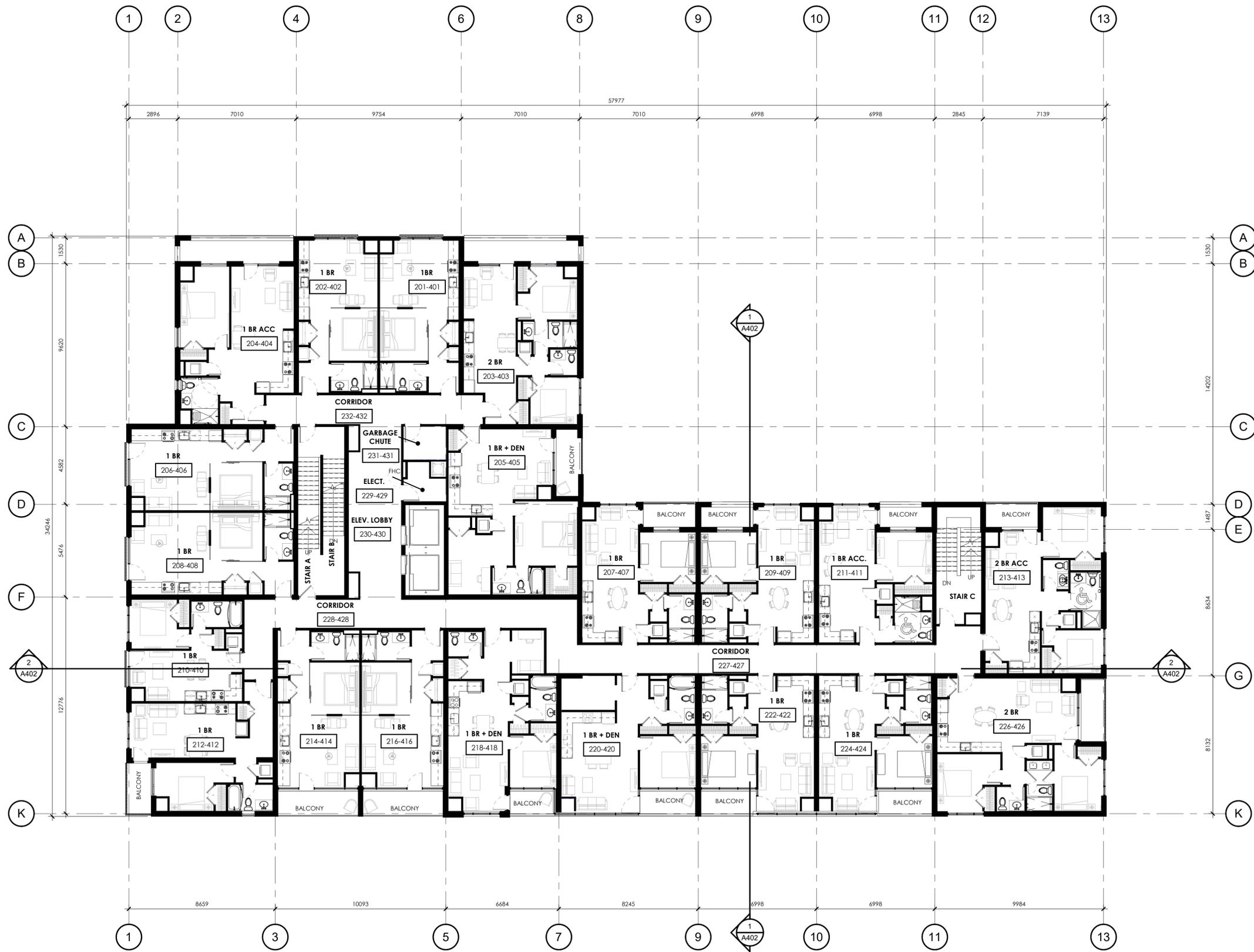


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - GROUND FLOOR PLAN

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A211 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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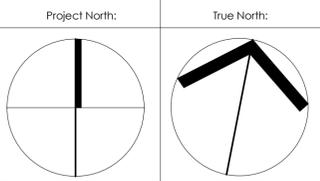
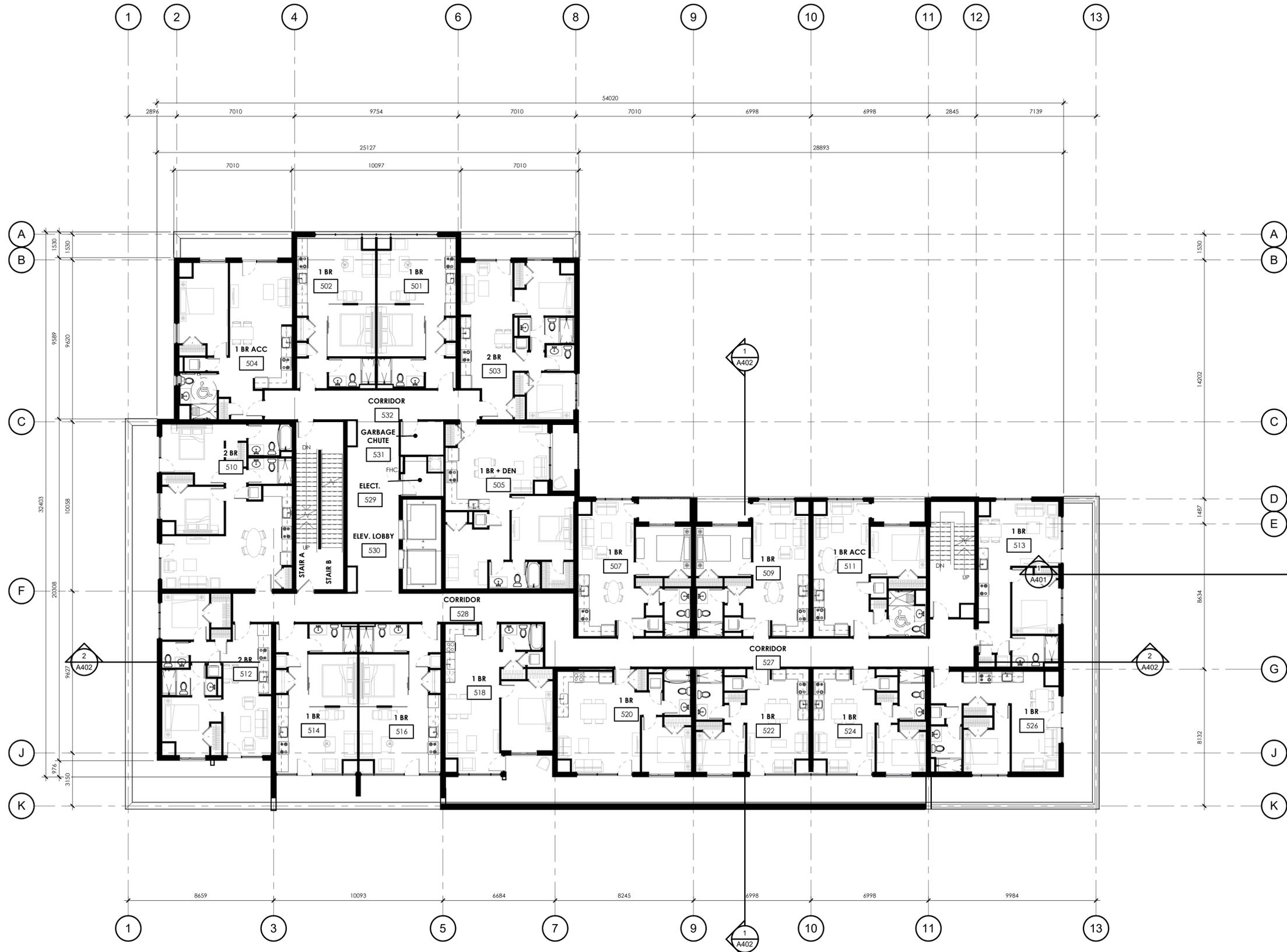


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - TYPICAL FLOOR (2nd-4th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A212 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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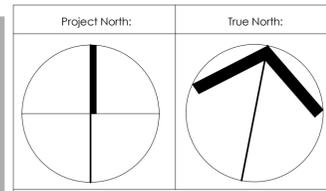


Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A213 Of:
SITE PLAN APPLICATION



SPA FILE NO. -

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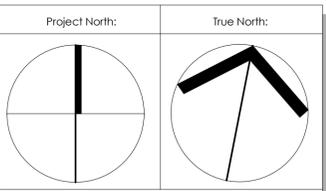
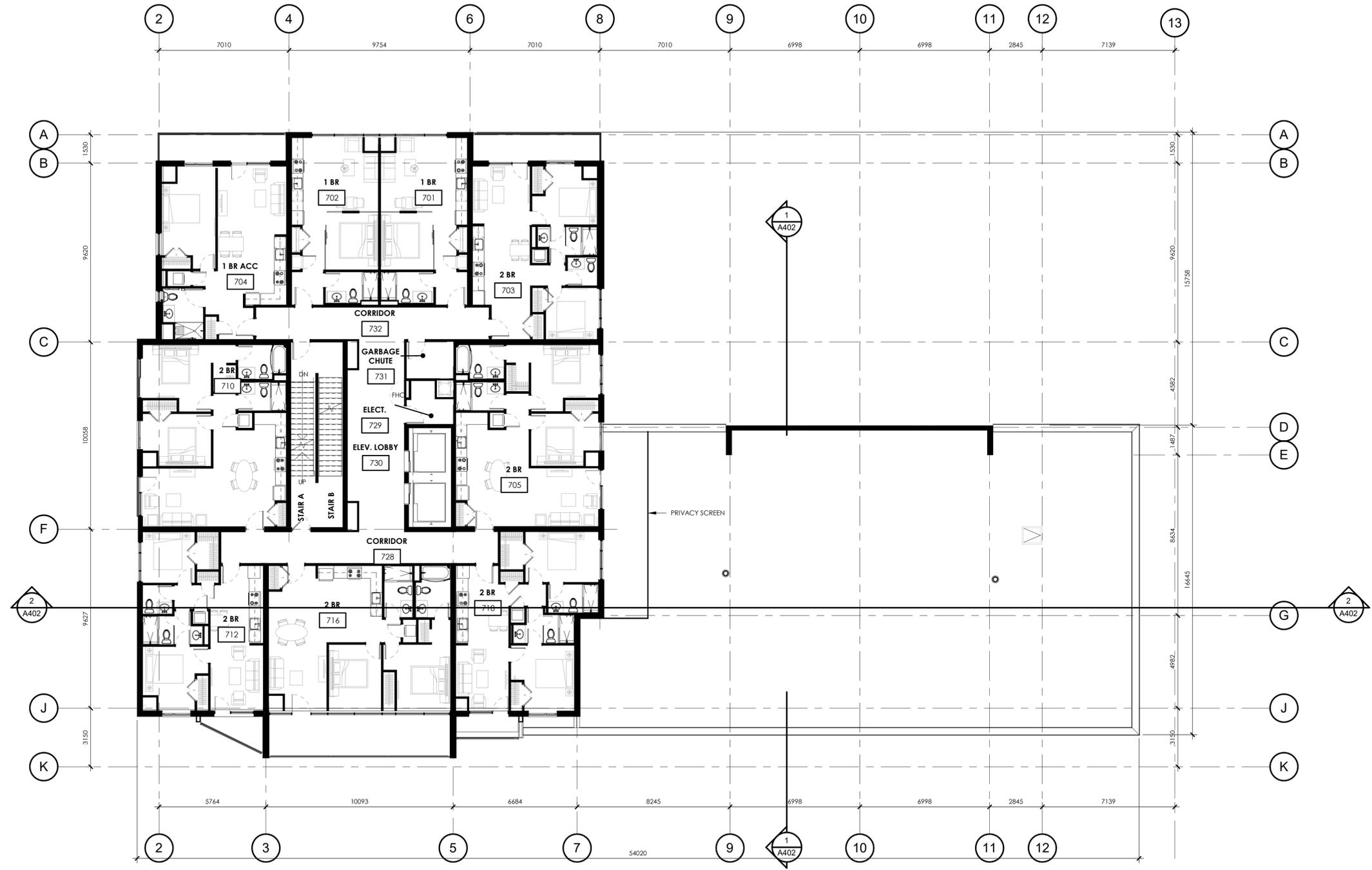


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - SIXTH FLOOR (6th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A214 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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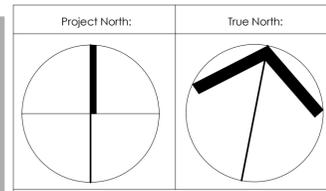
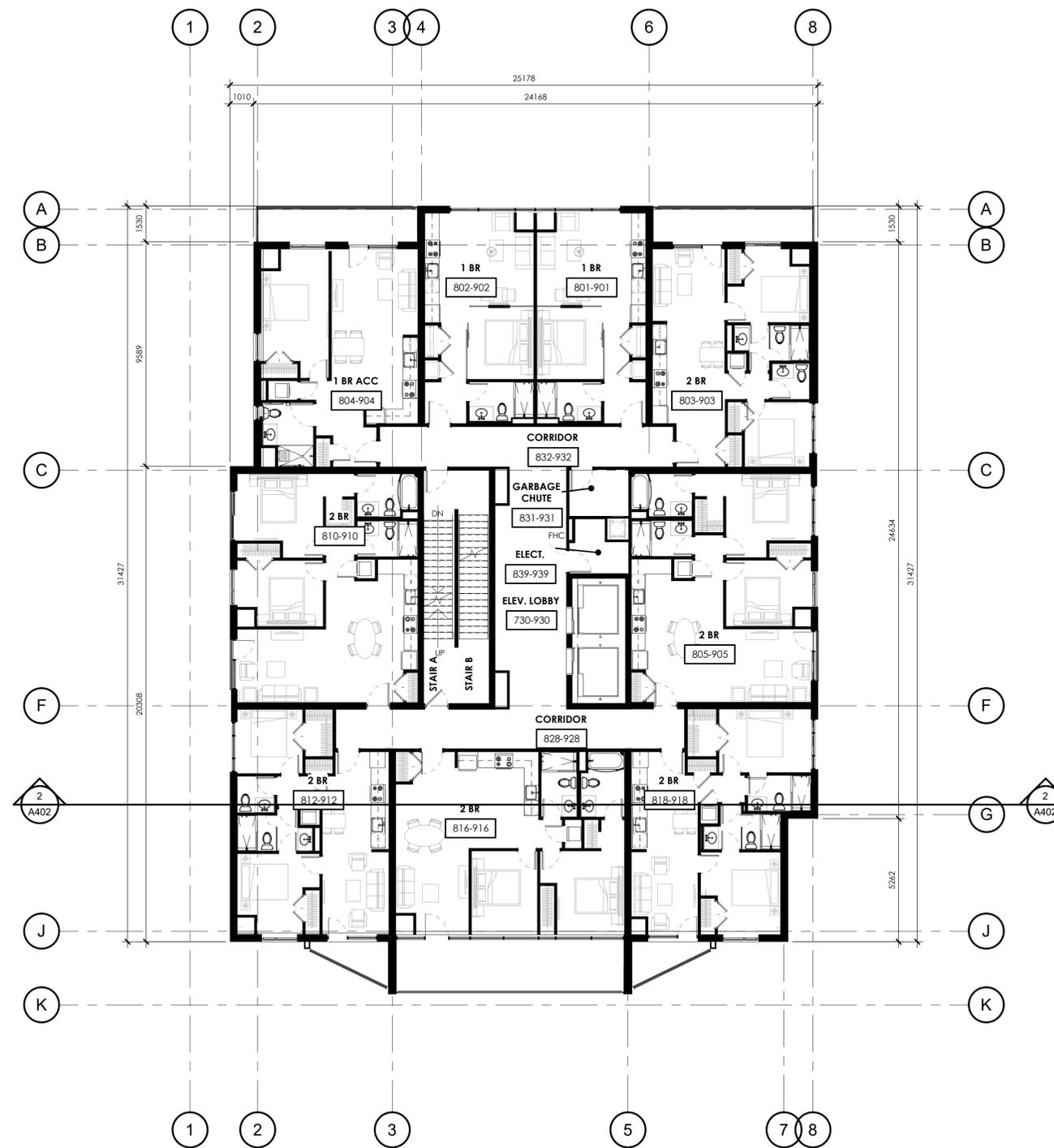


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 SEVENTH FLOOR (7th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A215 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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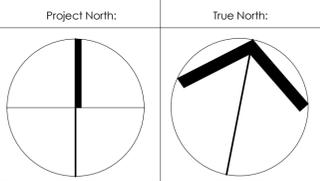
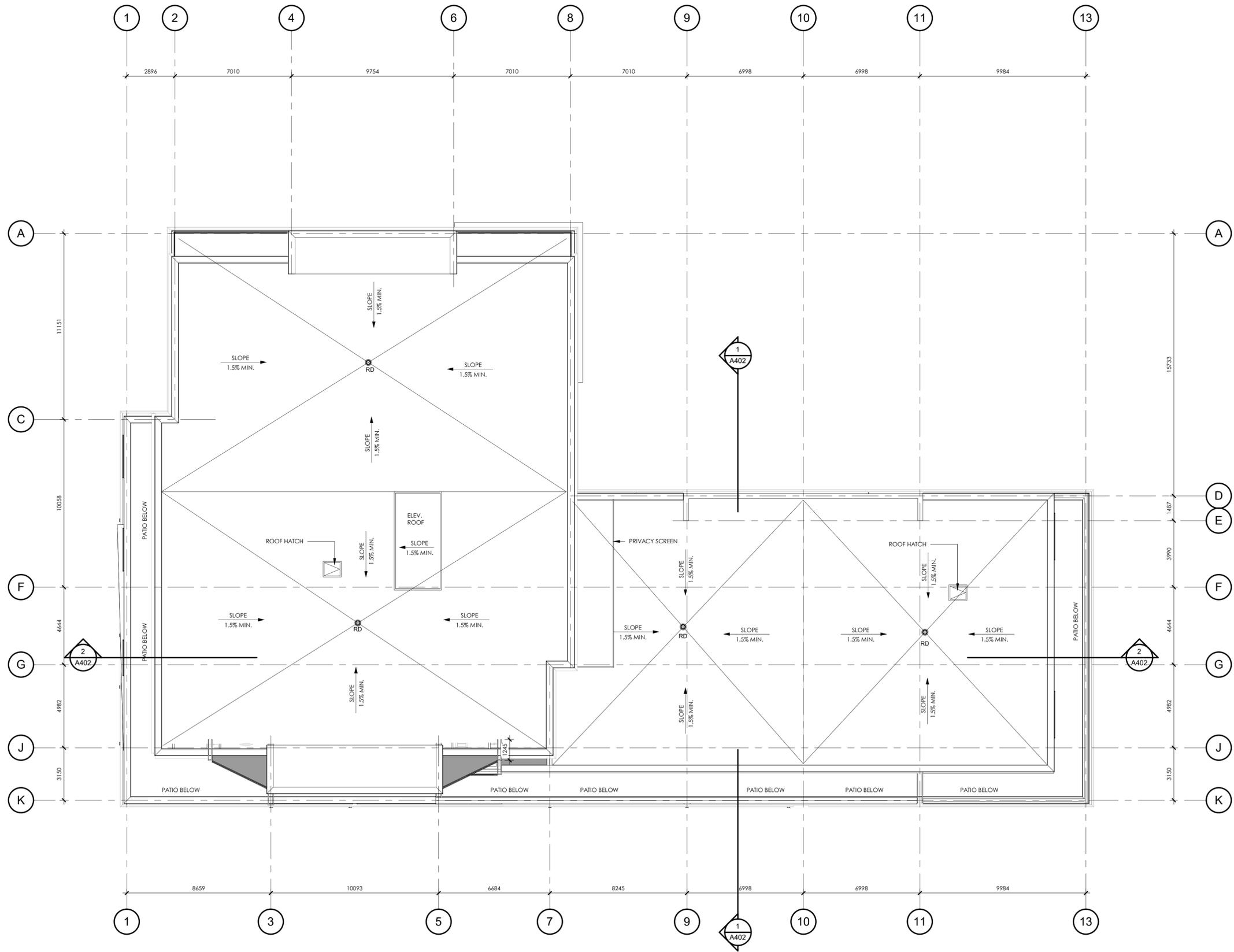
Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - EIGHT & NINTH FLOOR PLAN (8th-9th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A216 Of:

Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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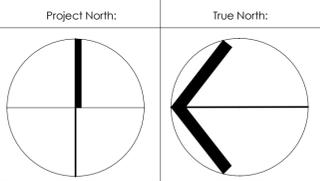
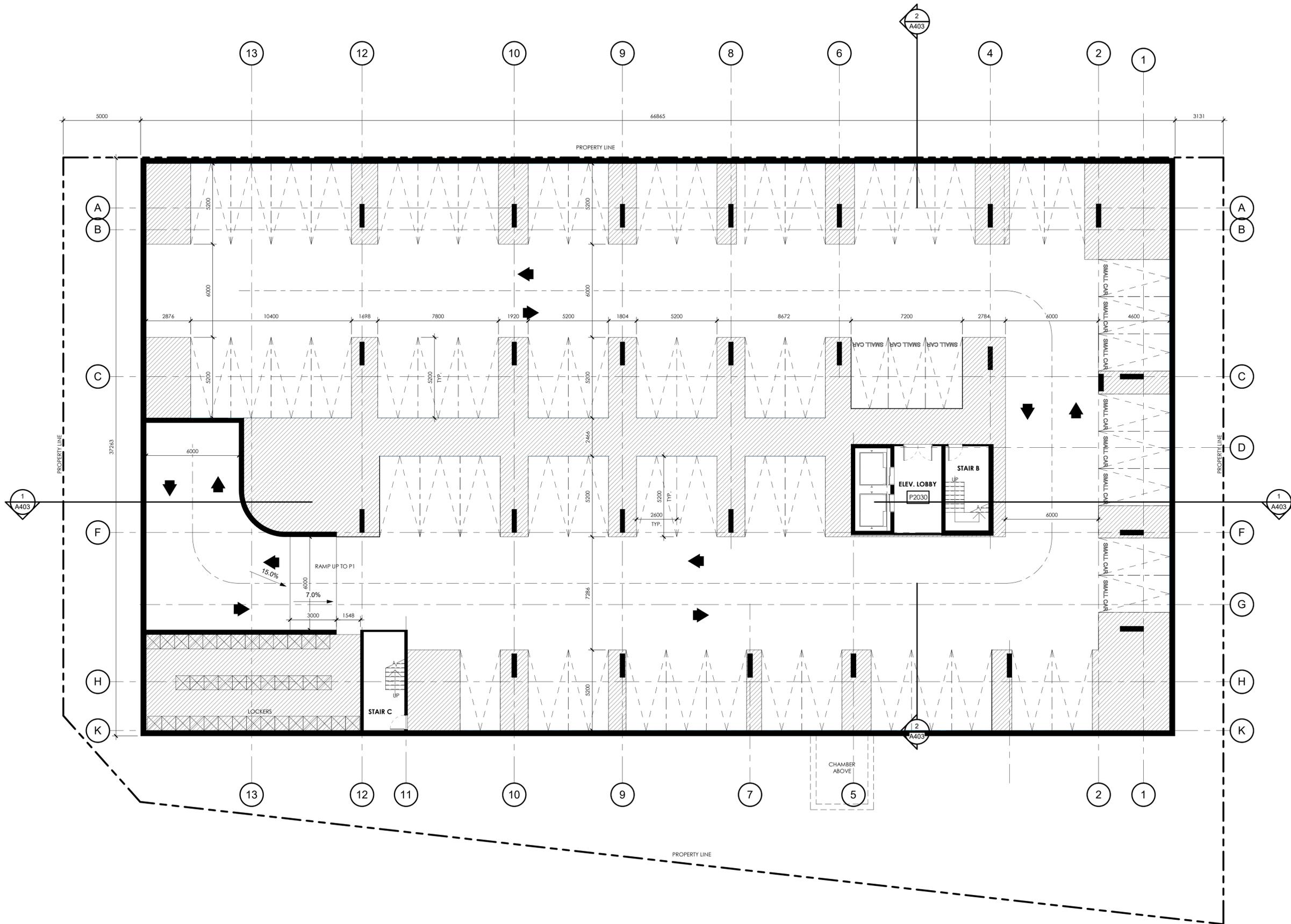


Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - ROOF PLAN

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A217 Of:
SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

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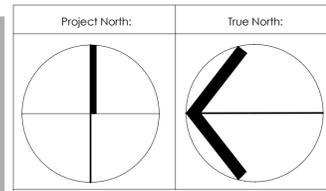
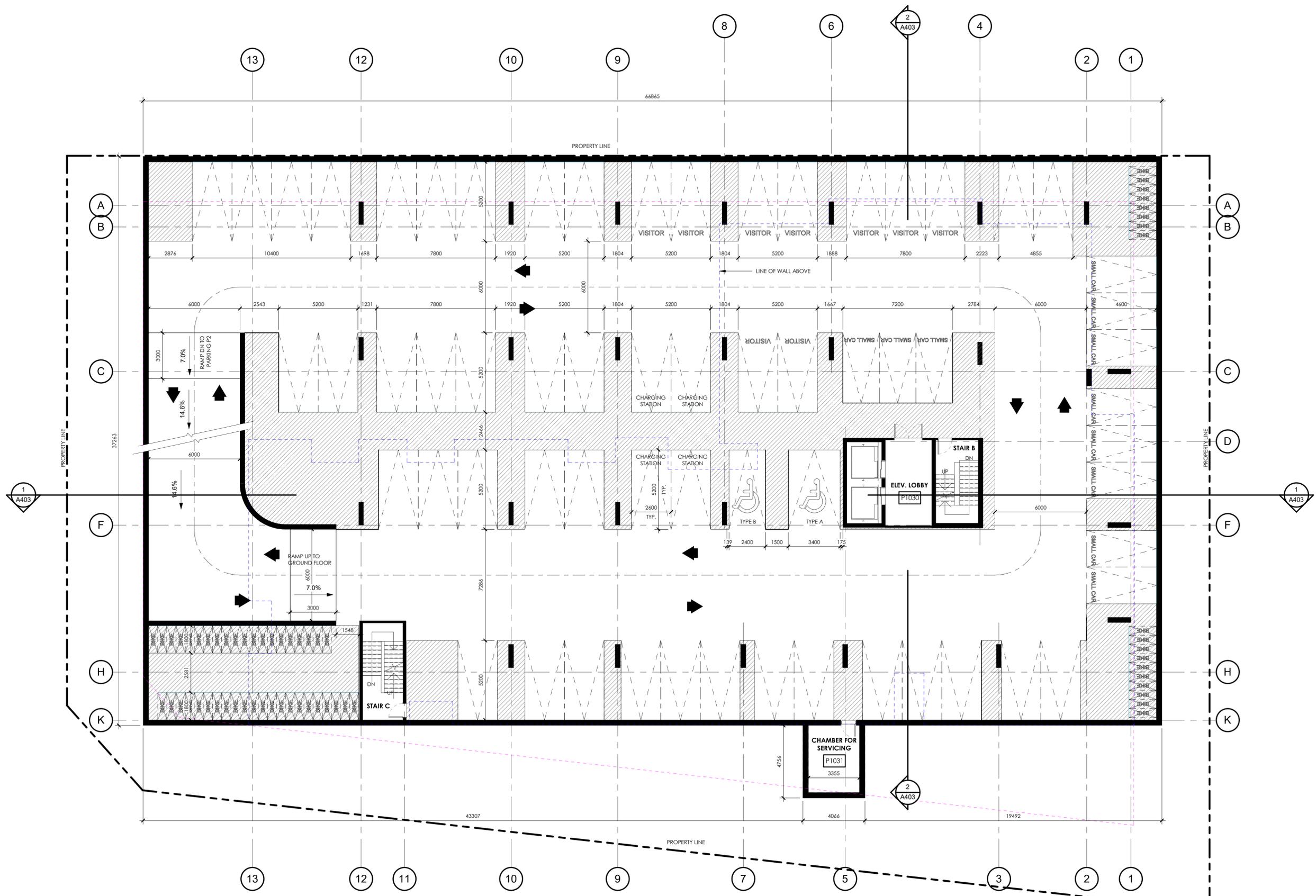
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - PARKING LEVEL P2

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A218 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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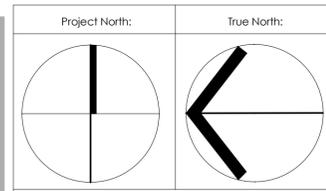
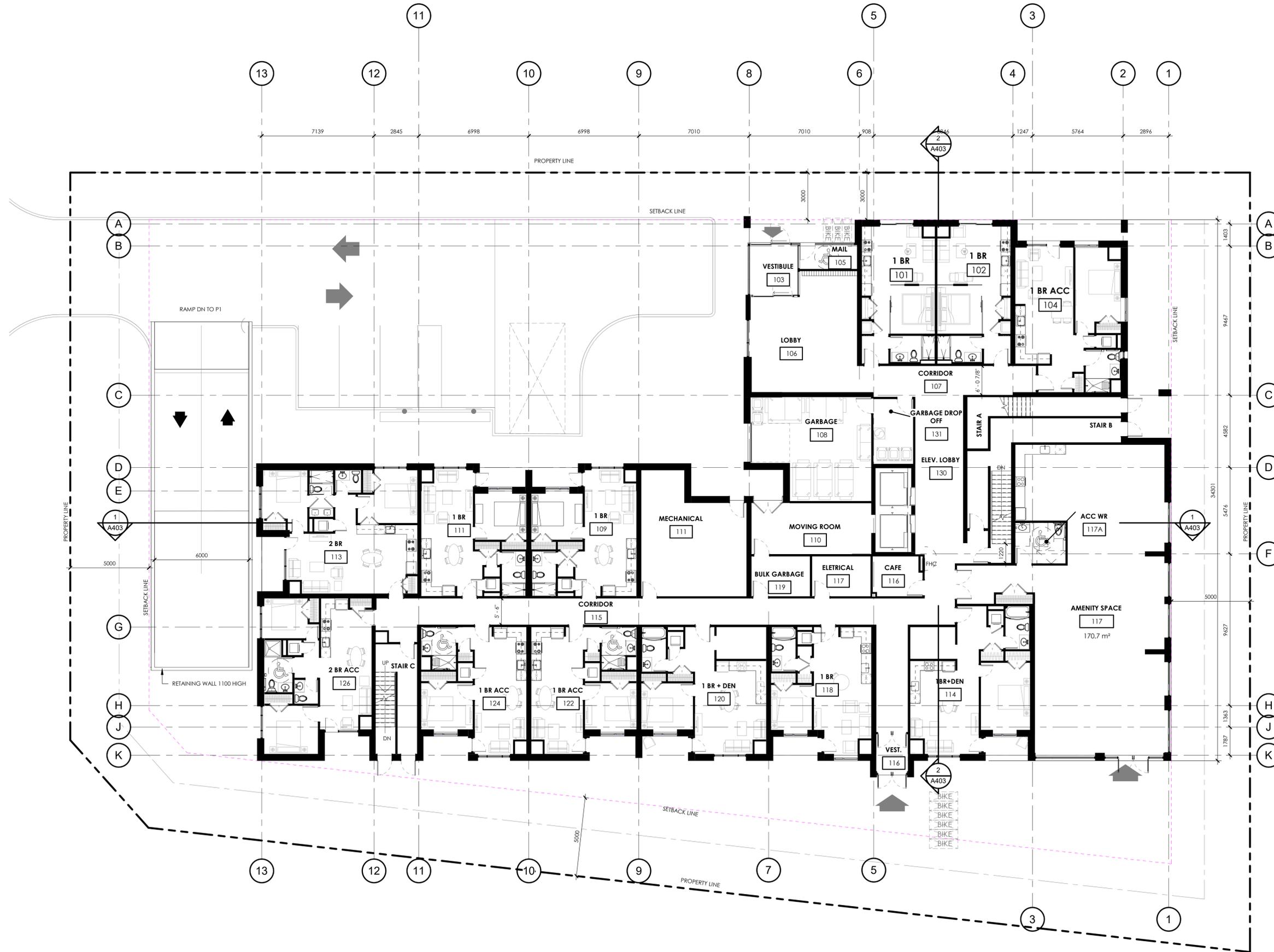
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - PARKING LEVEL P1

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A219 Of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

Note:
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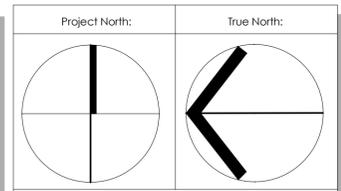
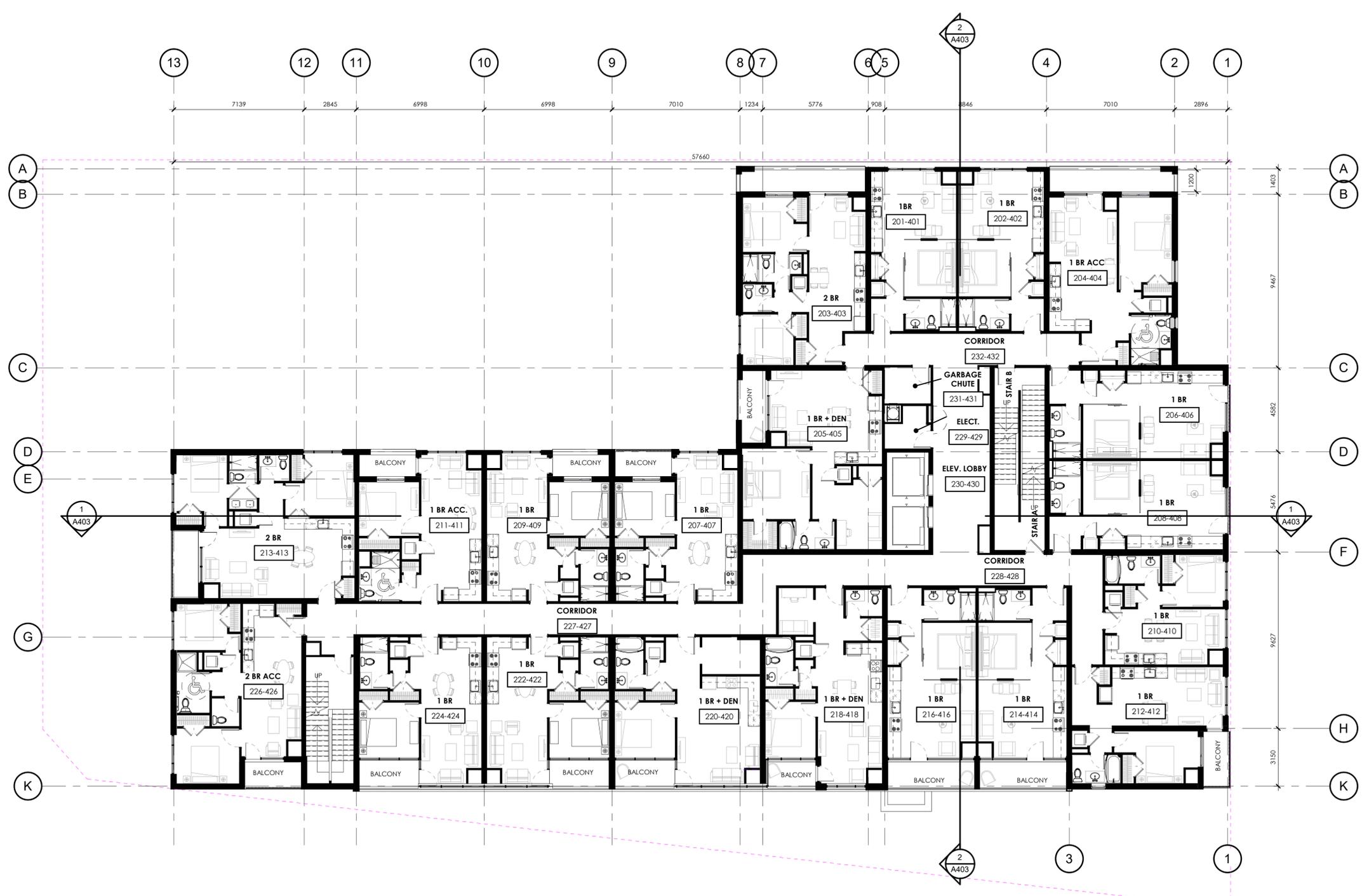
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 206-418 Iroquois Shore Rd
 Oakville, Ontario
 L6H 0X7
 1.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - GROUND FLOOR PLAN

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A220
 Of:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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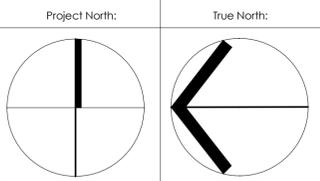
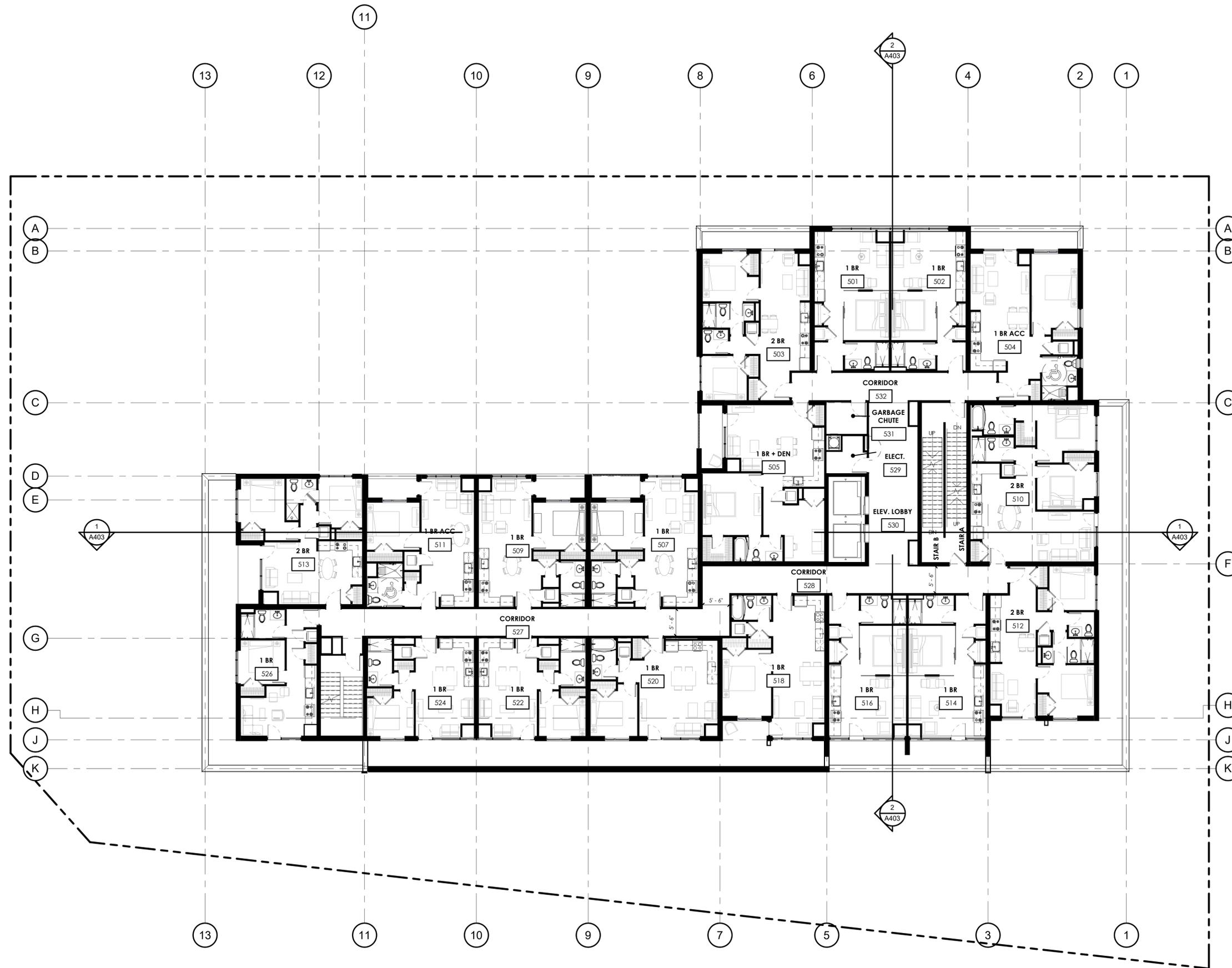


Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - TYPICAL FLOOR (2nd-4th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A221 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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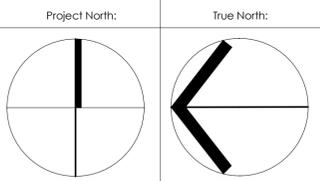
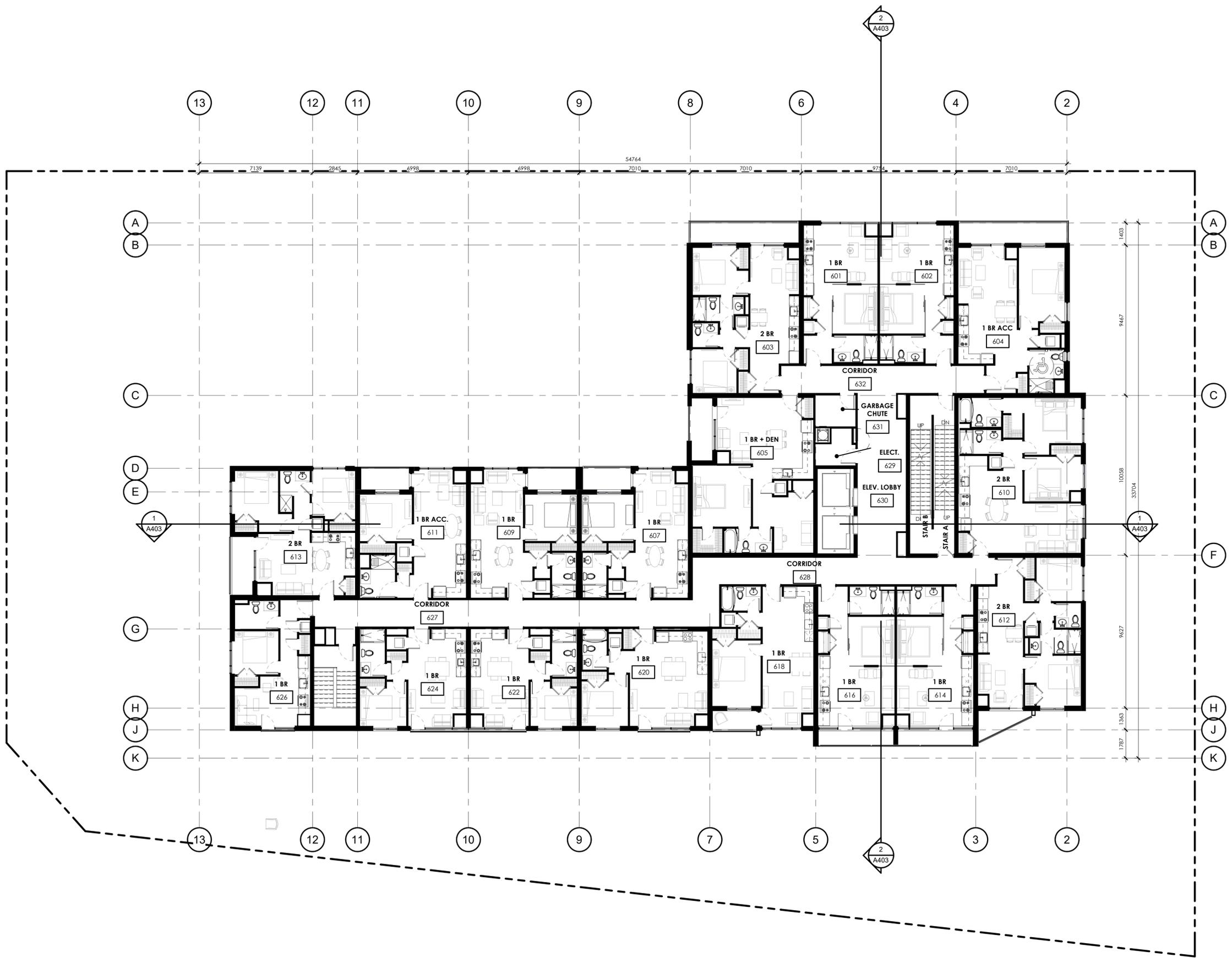
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A222 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

Note:
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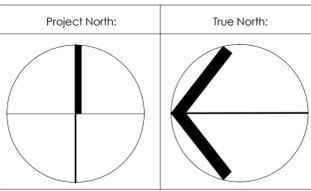
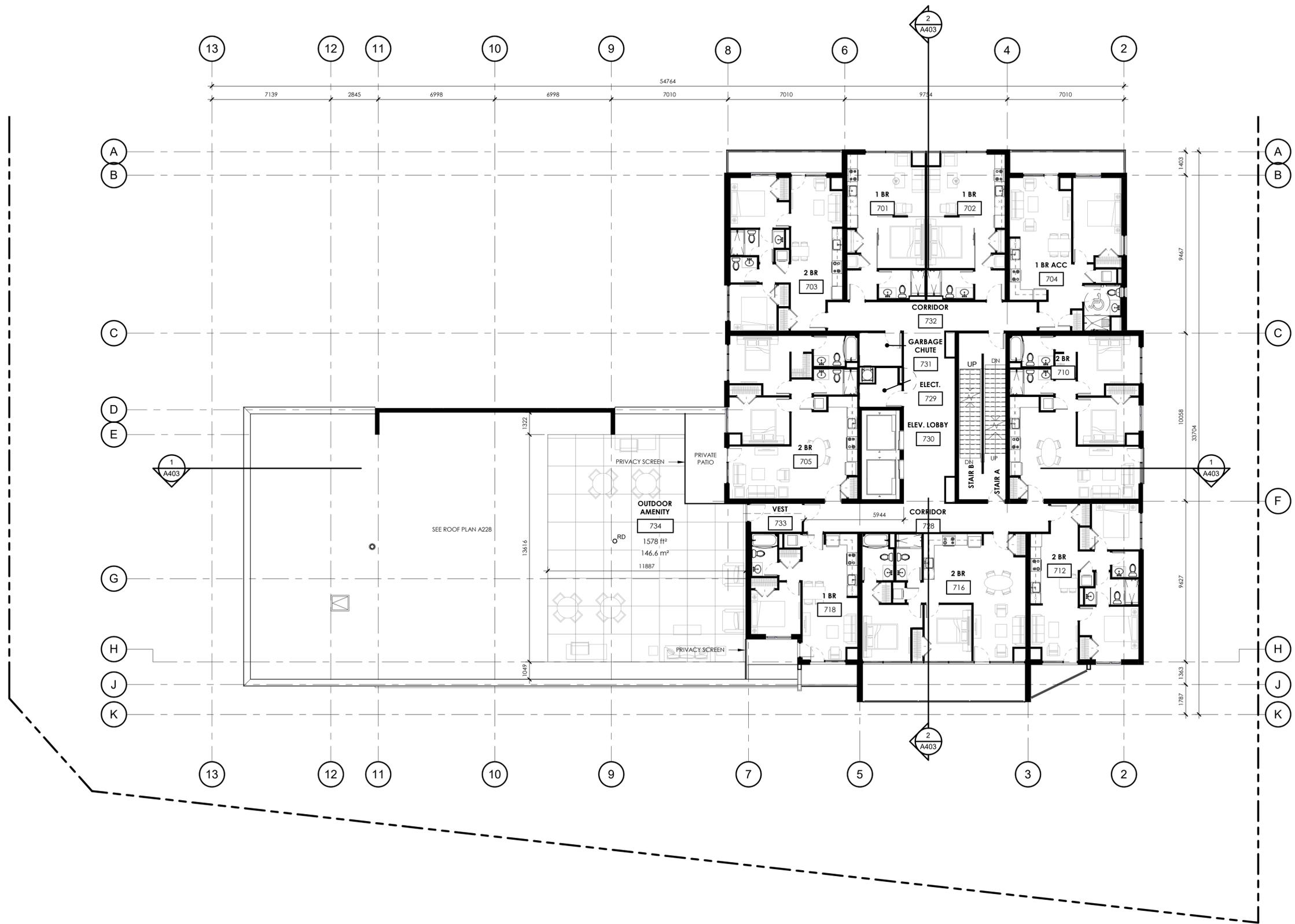
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - SIXTH FLOOR PLAN (6th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A223 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

Note:
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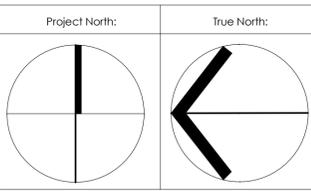
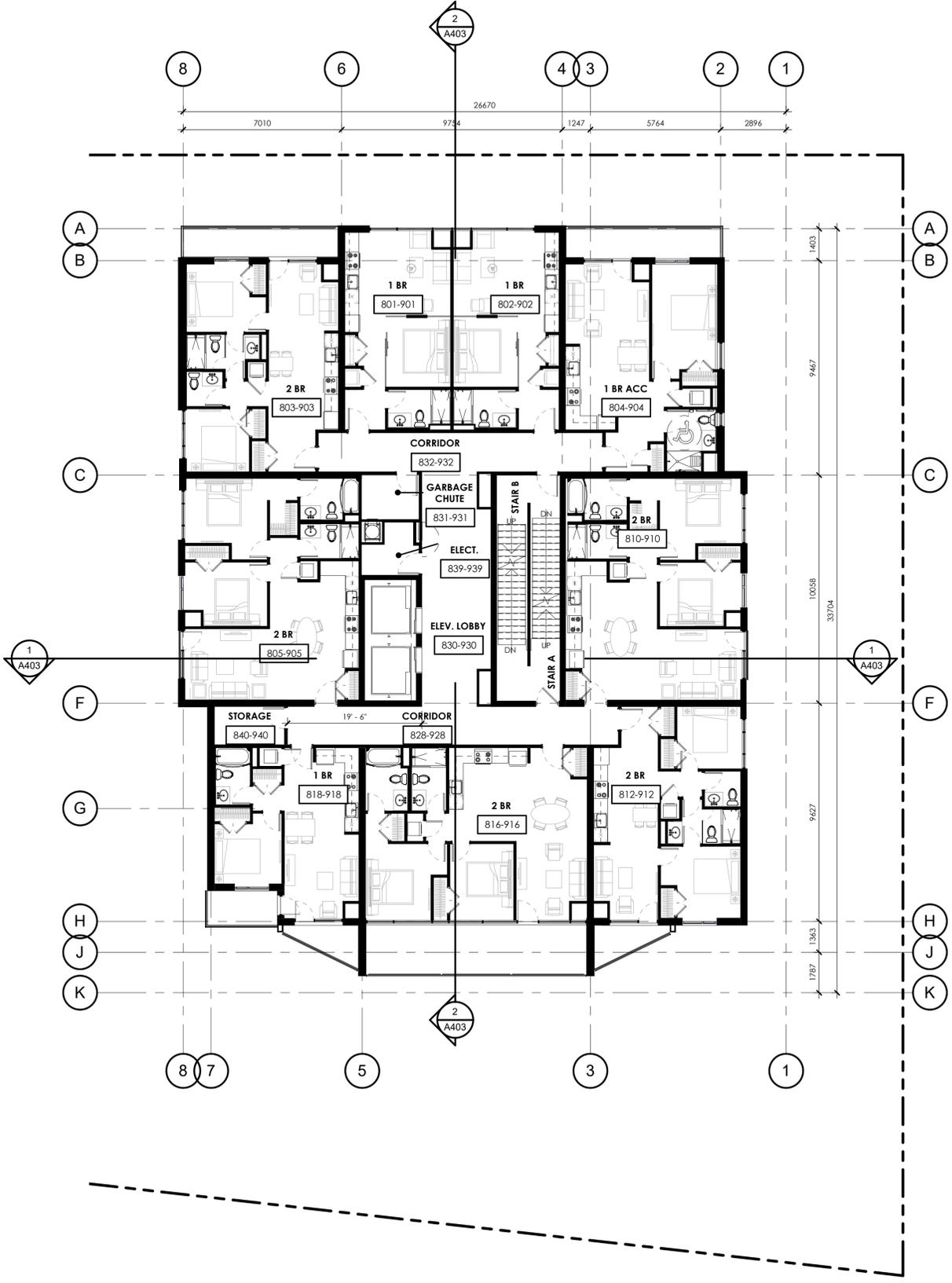
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - SEVENTH FLOOR PLAN (7th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A224 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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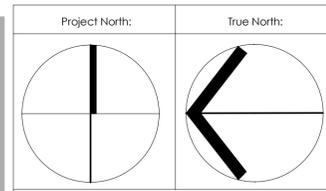
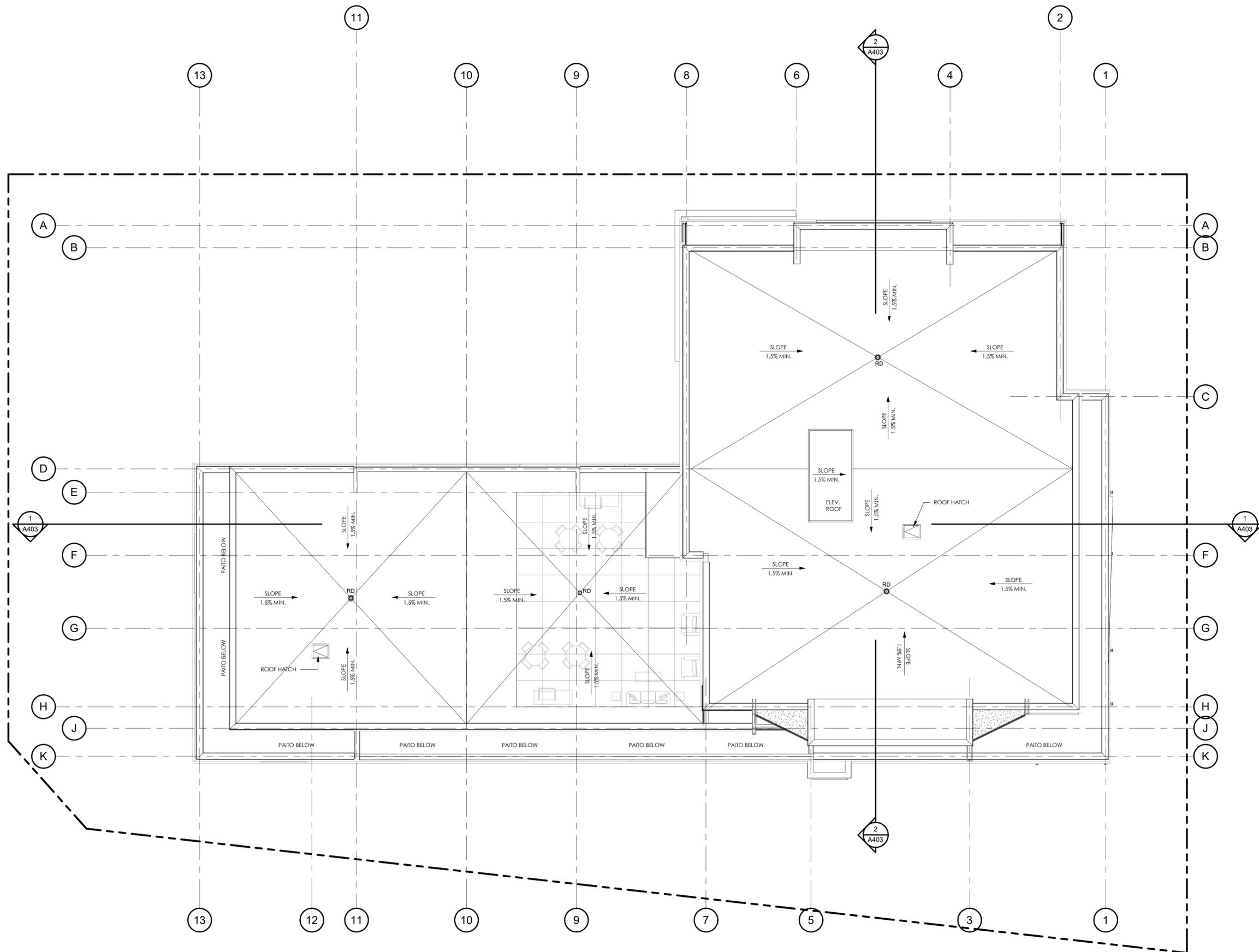
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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - EIGHT & NINTH FLOOR PLAN (8th-9th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A225 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - ROOF PLAN

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: 22-05-20	Project No.: 22-004

Drawing No:
A226 Of:
 Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.



EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - SOUTH (FRONT) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No:
A301 Of:
 Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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HATCH DENOTES BIRD FRIENDLY GLAZING

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDAL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300x600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

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MATAJ ARCHITECTS
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 1.905.231.4444

Project:
WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - NORTH (REAR) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A303 Of:

Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



2250	T/O HIGH PARAPET	32250
1220	T/O MID PARAPET	31220
	T/O ROOF DECK	30000
3175	T/O NINTH FLOOR	26825
3175	T/O EIGHTH FLOOR	23650
3175	T/O SEVENTH FLOOR	20475
3175	T/O SIXTH FLOOR	17300
3175	T/O FIFTH FLOOR	14125
3275	T/O FOURTH FLOOR	10850
3175	T/O THIRD FLOOR	7675
3175	T/O SECOND FLOOR	4500
4500	T/O GROUND FLOOR	0

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - SOUTH (FRONT) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A304 Of:
 Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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EXTERIOR ELEVATION LEGEND	
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E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

Note:
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2022-06-30
OF
ARCHITECTS
ETELVA GURARUKU MATAJ
LICENCE
7609

Architect's Stamp

MATAJ ARCHITECTS
INCORPORATED

206-418 Iroquois Shore Rd
Oakville Ontario
L6H 0X7
T.905.231.4444

Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - NORTH (REAR) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No:
A305 Of:

Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.



EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	



REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

Note:
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 1.905.281.1444

Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 2 - EAST & WEST ELEVATIONS

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A306 Of:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - WEST ELEVATION

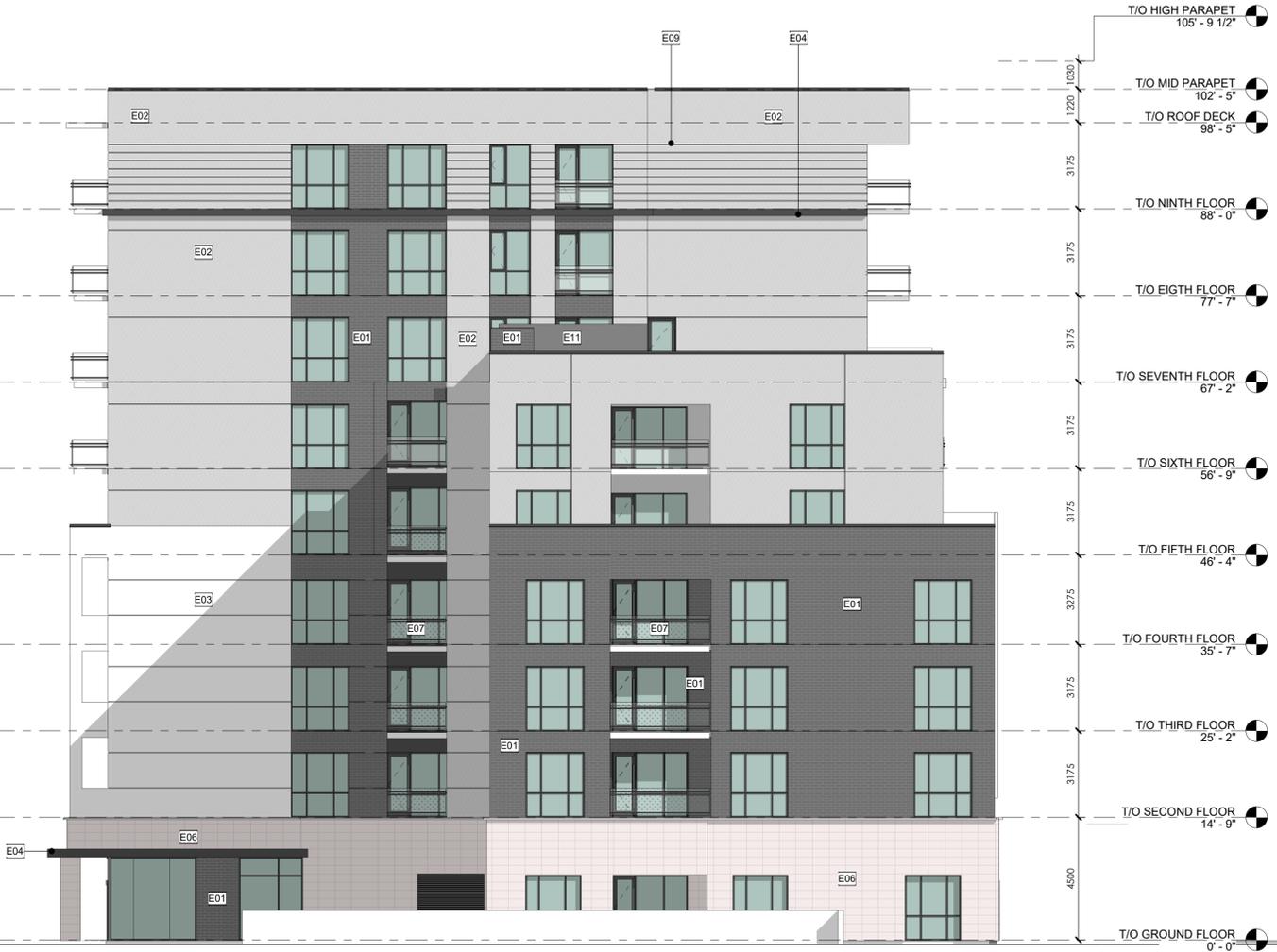
Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No:
A307 Of:
 Drawing Series:
 SITE PLAN APPLICATION

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
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E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



1 BLD 3 - NORTH ELEVATION
 A309 1 : 125



2 BLD 3 - SOUTH ELEVATION
 A309 1 : 125

Project North:	True North:
----------------	-------------

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

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Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD -
 WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 3 - NORTH & SOUTH ELEVATIONS

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A309 Of:

Drawing Series:
 SITE PLAN APPLICATION



2 PERSPECTIVE VIEW SE - BLD 1
A310



1 PERSPECTIVE VIEW SW - BLD 1
A310

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

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ONTARIO ASSOCIATION OF ARCHITECTS
2022-06-30 OF
ETLEVA GURAKUJI MATAJ
LICENCE 7609



MATAJ ARCHITECTS INC

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MATAJ ARCHITECTS INCORPORATED
206-418 Iroquois Shore Rd
Oakville Ontario L6H 0X7
T.905.231.4444

Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS - BUILDING 1

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale:	Date: 22-05-20	Project No.: 22-004

Drawing No:
A310 Of:

Drawing Series:
SITE PLAN APPLICATION



2 PERSPECTIVE VIEW SW - BLD 2
A311



1 PERSPECTIVE VIEW SE - BLD 2
A311

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS - BUILDING 2

Design By: MAI	Drawn By: -	Approved By: EM
Scale:	Date: 22-05-20	Project No.: 22-004

Drawing No:
A311 Of:

Drawing Series:
SITE PLAN APPLICATION



2 PERSPECTIVE VIEW SW - BLD 3
A312



1 PERSPECTIVE VIEW SE - BLD 3
A312

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20

Drawing Issues/Revisions:

Note:
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2022-06-30
OF
ARCHITECTS
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LICENCE
7609



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Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS - BUILDING 3

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale:	Date: 22-05-20	Project No.: 22-004

Drawing No:
A312 Of:

Drawing Series:
SITE PLAN APPLICATION



Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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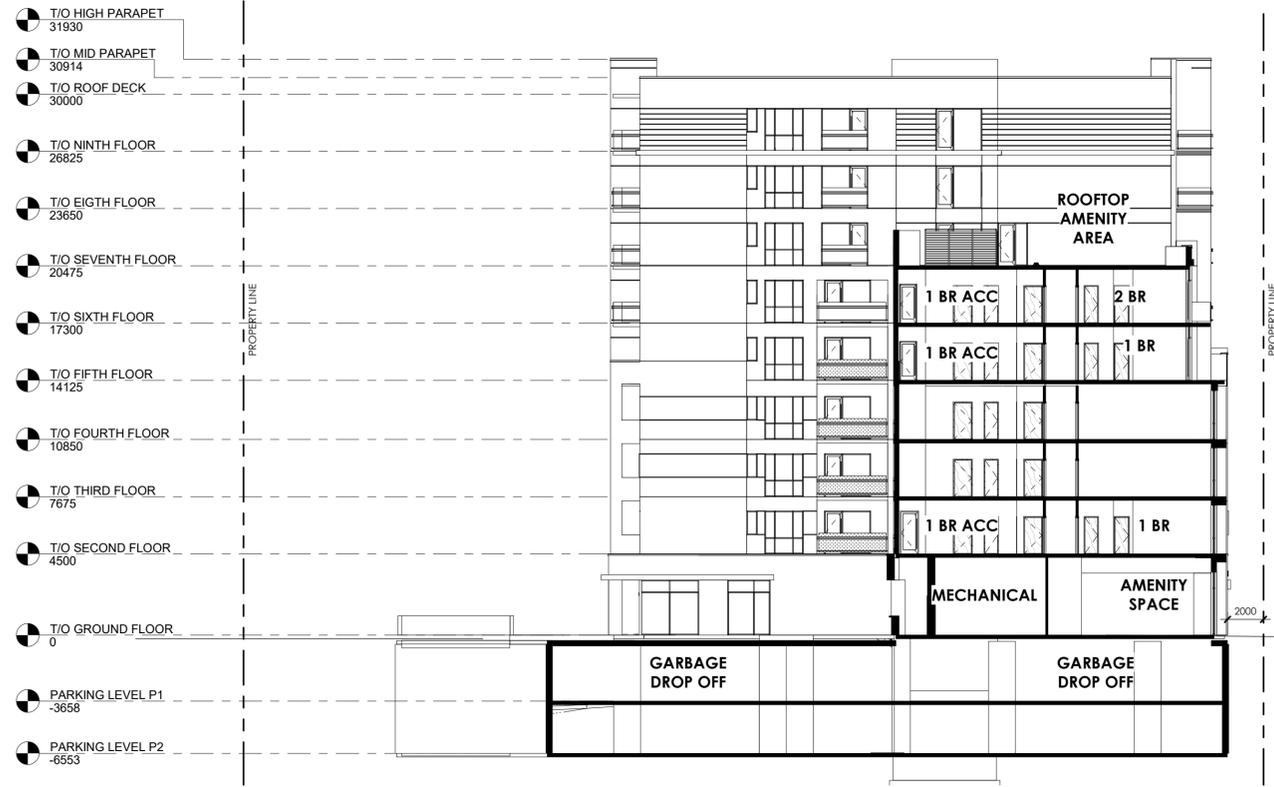
Project:
WATERIDGE APARTMENT BUILDING
 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
PERSPECTIVE OVERALL VIEW

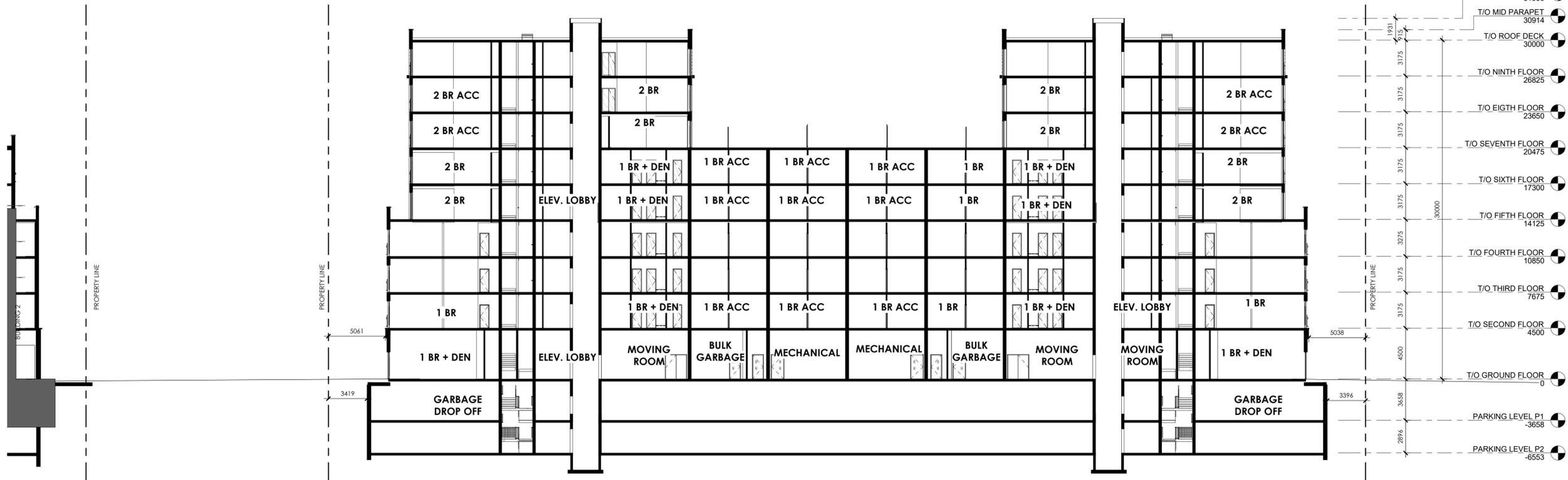
Design By: Designer	Drawn By: Author	Approved By: Approver
Scale:	Date: 22-05-20	Project No.: 22-004

Drawing No:
A313 Of:

Drawing Series:
 SITE PLAN APPLICATION



2 BUILDING 1 SITE SECTION I
A401 1 : 200



1 BUILDING 1 SITE SECTION II
A401 1 : 200

Project North:	True North:
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SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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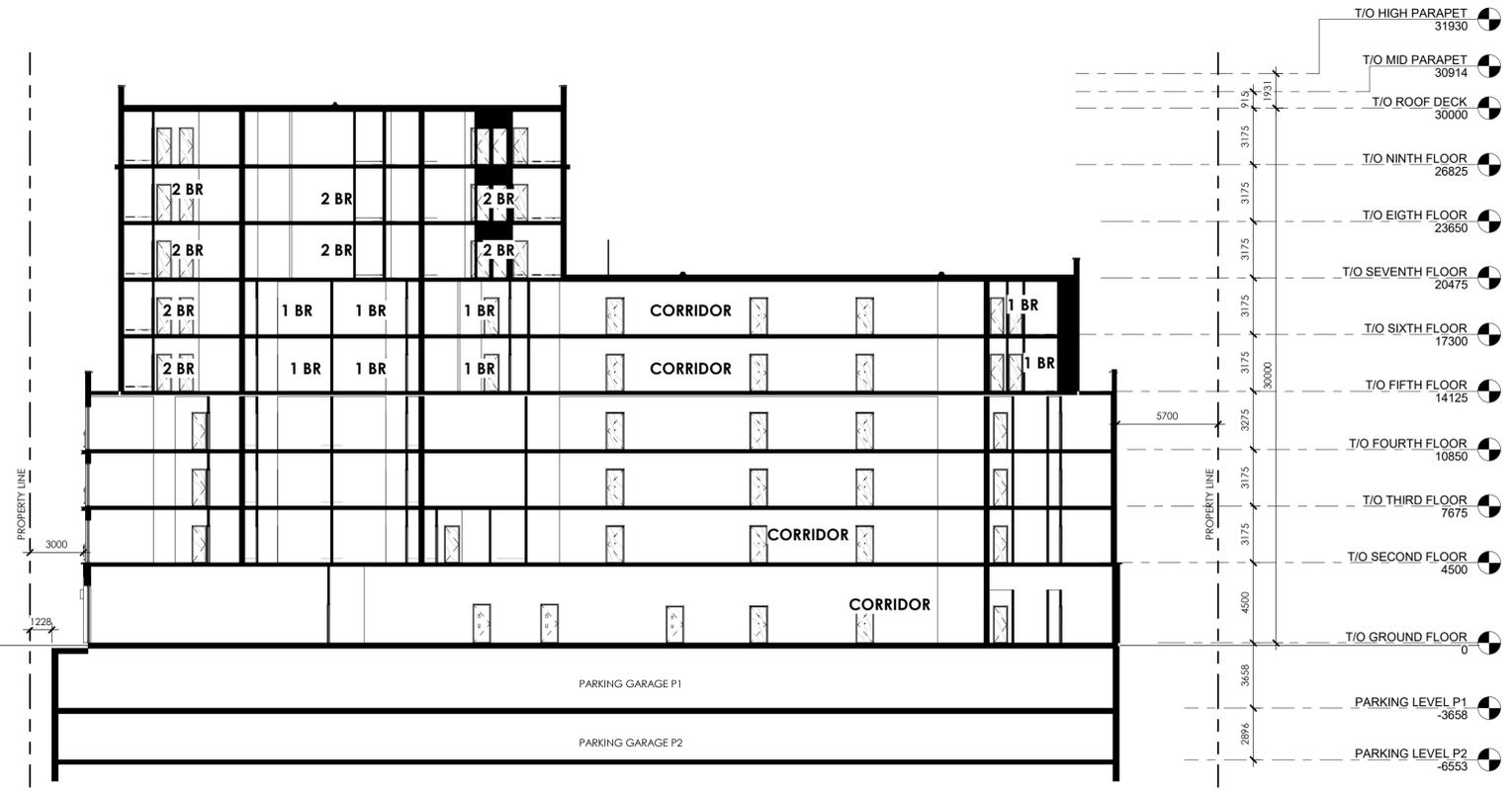


Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

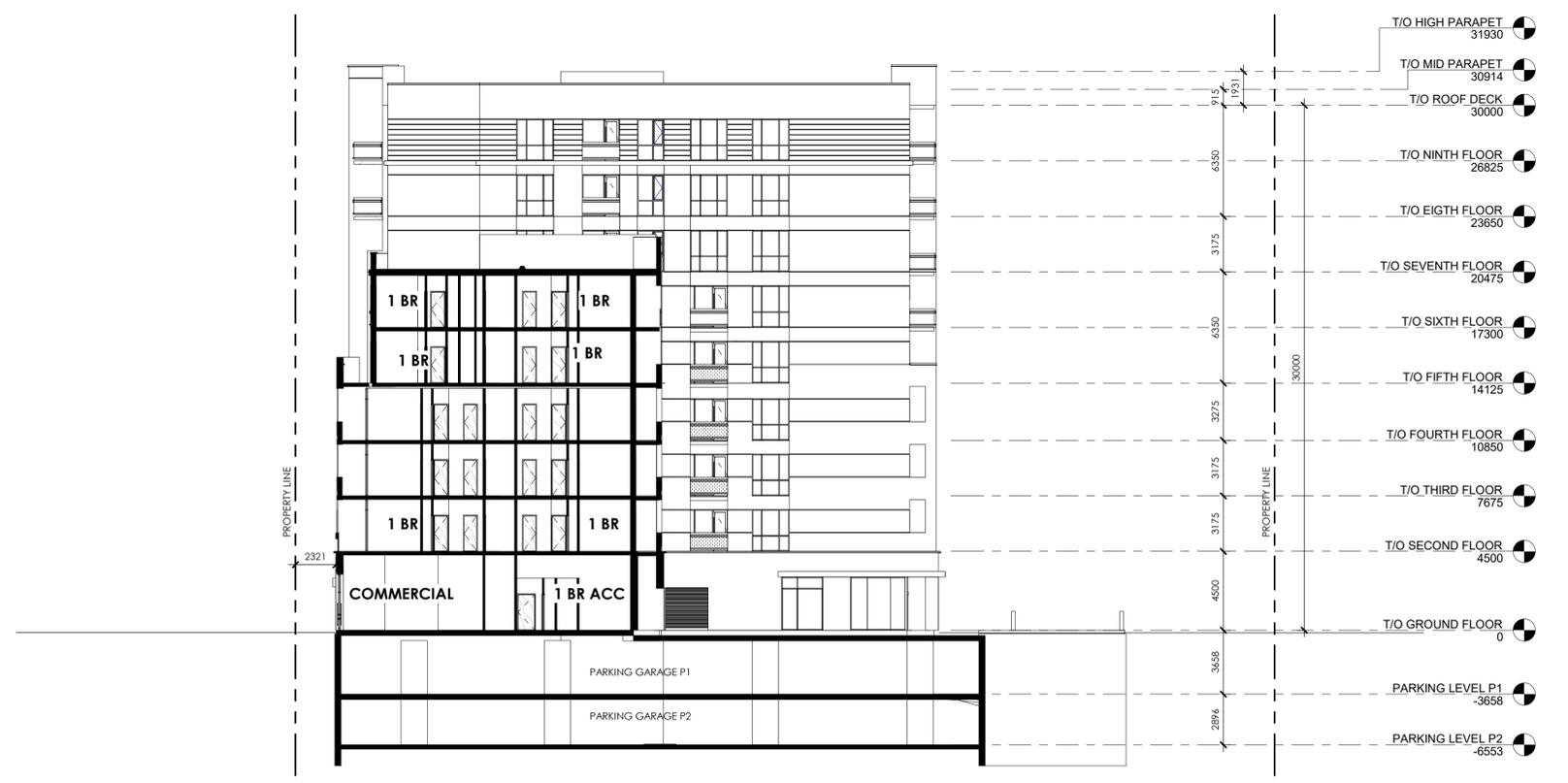
Sheet Title:
BUILDING 1 SITE SECTIONS

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 200	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A401
Of:
SITE PLAN APPLICATION



2 BUILDING 2 SITE SECTION I
A402 1 : 200



1 BUILDING 2 SITE SECTION II
A402 1 : 200

Project North:	True North:
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SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

Note:
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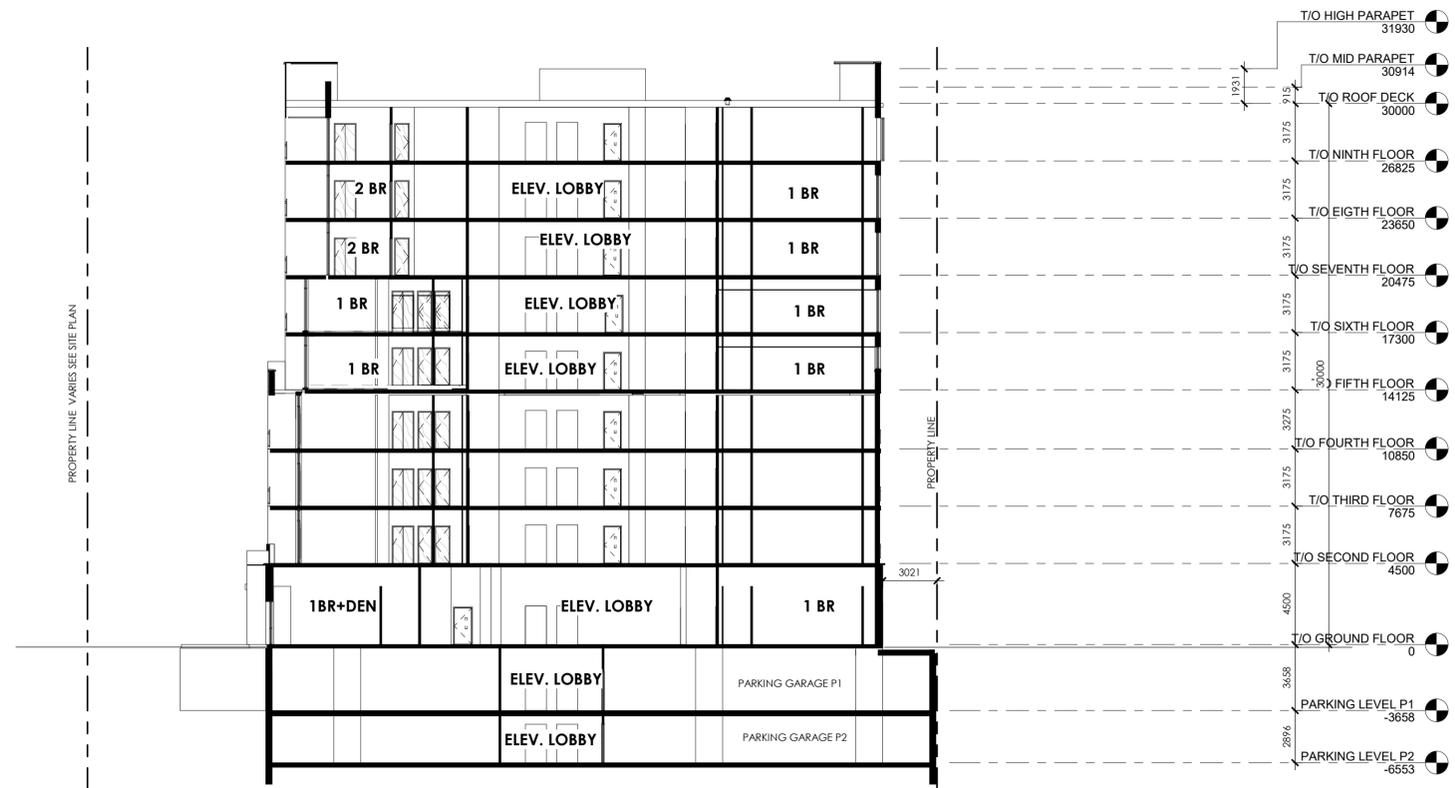
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L6H 0X7
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Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -
WATERIDGE VILLAGE, OTTAWA, ON

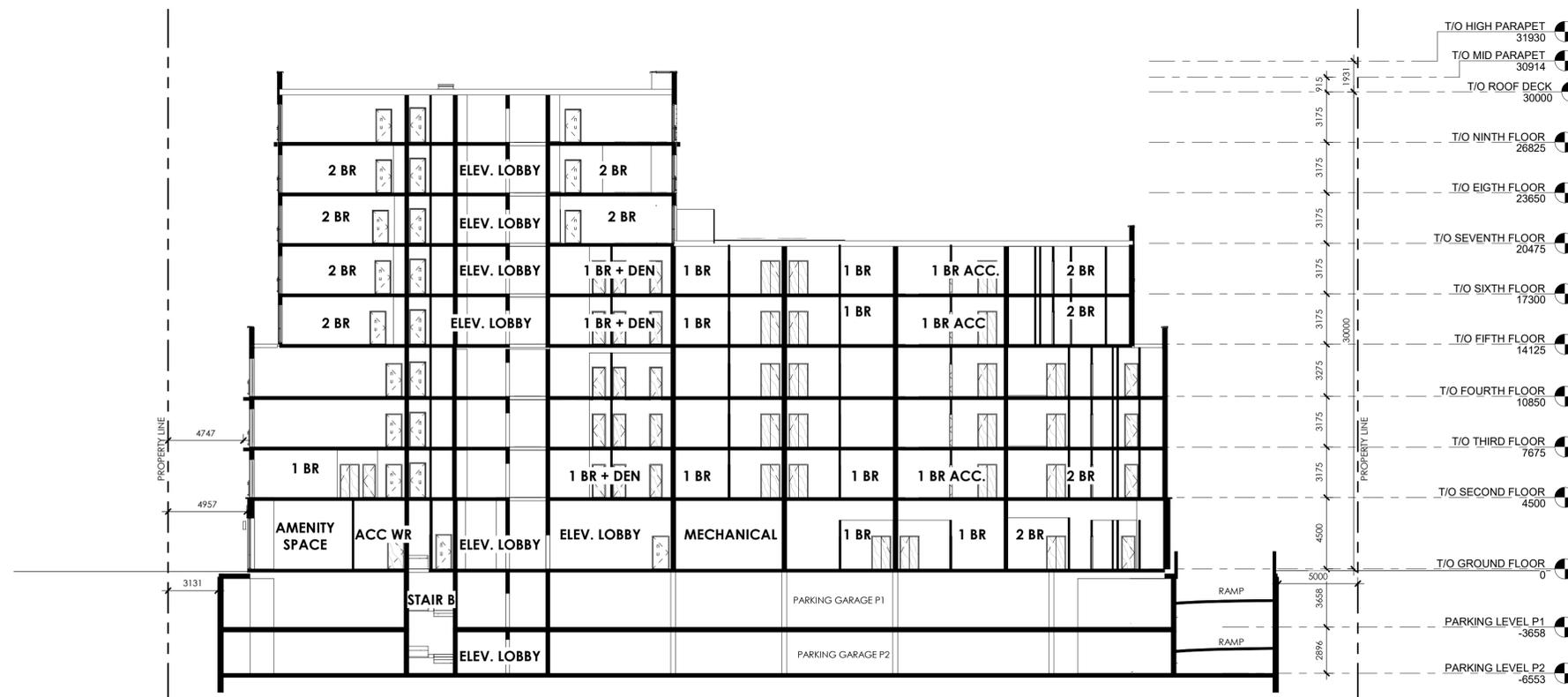
Sheet Title:
BUILDING 2 SITE SECTIONS

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 200	Date: 22-05-20	Project No.: 22-004

Drawing No.:
A402 Of:
SITE PLAN APPLICATION



2 BUILDING 3 SITE SECTION I
A403 1 : 200



1 BUILDING 3 SITE SECTION II
A403 1 : 200

Project North:	True North:
----------------	-------------

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

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FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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Architect's Stamp



Project:
WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BUILDING 3 SITE SECTIONS

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 200	Date: 22-05-20	Project No.: 22-004

Drawing No:
A403
Of:
SITE PLAN APPLICATION