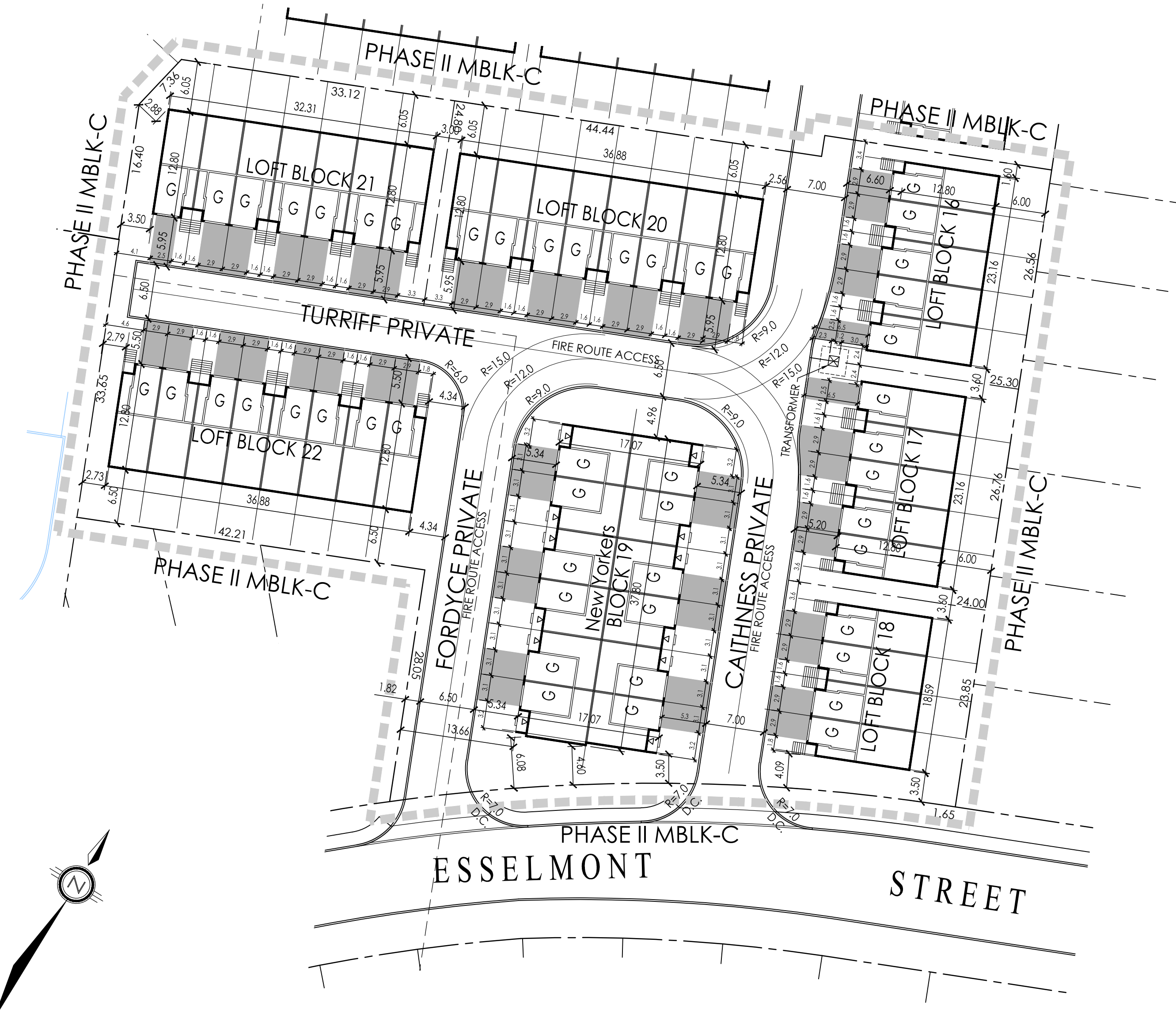


KEY MAP  
NOT TO SCALE



**SITE INFORMATION :**

MULTI-UNIT SITES: PH2 - MBLK-C  
 ZONE : R3Z[1725]  
 MBLK-C SITE AREA= 7,634m<sup>2</sup>  
 DENSITY = 49 d.u. / .76 ha = 64.4 (Units/ha.)

	REQUIRED	PROVIDED
MIN. LOT WIDTH -	4.50m[1725]	4.57m
MIN. LOT AREA -	150.00m <sup>2</sup>	87.34m <sup>2</sup> (Back/Back)
MAX. BUILDING HEIGHT -	11.00m	x.xx
MIN. FRONT YARD -	3.00m	3.50m
MIN. REAR YARD -	6.00m * [1725] & 1.2m	6.05m & 1.60m
MIN. INTERIOR SIDE YARD -	1.20m	1.60m

\* WHERE A BUILDING END WALL ABUTS A REAR YARD, THE MINIMUM REAR YARD IS 1.20m.

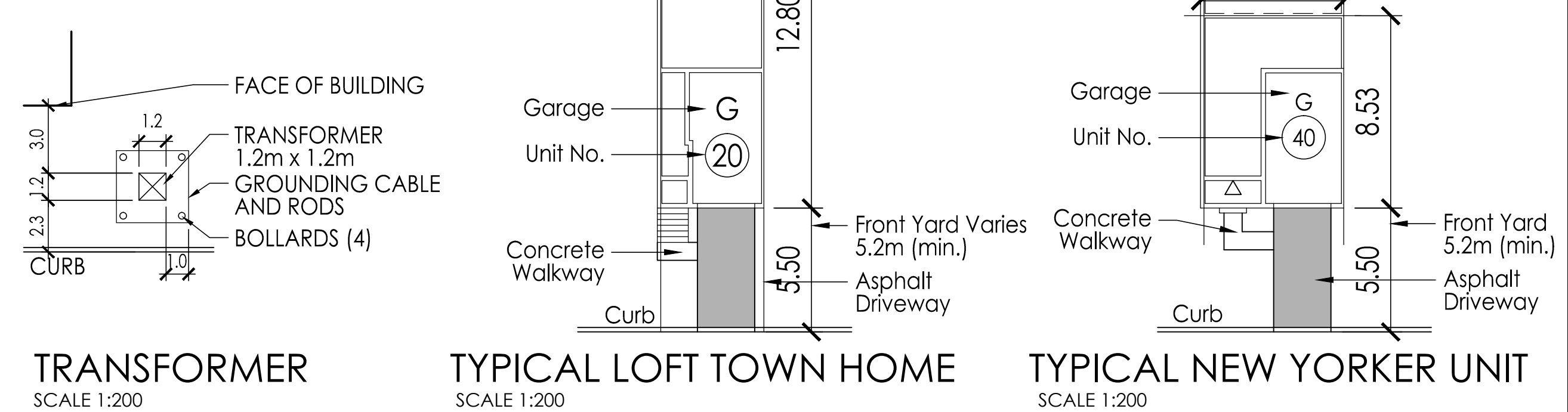
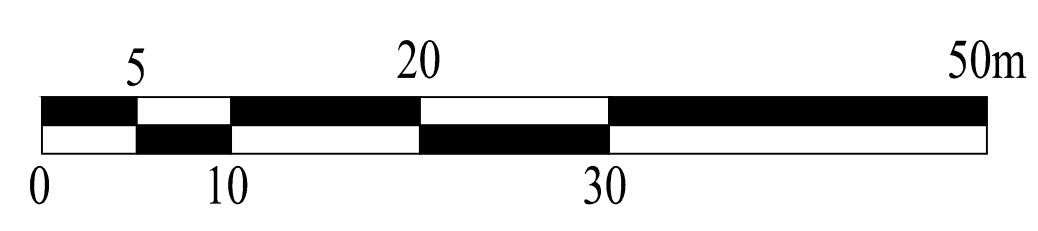
COVERAGE : 37.0%

BLOCK No.	BUILDING TYPE	BUILDING AREA	FLOOR AREA	No. UNITS
BLOCK 16 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	296m <sup>2</sup> (3,186 sq.ft.)	732m <sup>2</sup> (7,880 sq.ft.)	5 UNITS
BLOCK 17 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	296m <sup>2</sup> (3,186 sq.ft.)	732m <sup>2</sup> (7,880 sq.ft.)	5 UNITS
BLOCK 18 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	238m <sup>2</sup> (2,562 sq.ft.)	586m <sup>2</sup> (6,307 sq.ft.)	4 UNITS
BLOCK 19 -	NEW YORKERS - 1st, 2nd & 3rd FL. RES. -	640m <sup>2</sup> (6,889 sq.ft.)	1,543m <sup>2</sup> (16,608 sq.ft.)	12 UNITS
BLOCK 20 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	472m <sup>2</sup> (5,080 sq.ft.)	1,171m <sup>2</sup> (12,604 sq.ft.)	8 UNITS
BLOCK 21 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	414m <sup>2</sup> (4,456 sq.ft.)	1,025m <sup>2</sup> (11,033 sq.ft.)	7 UNITS
BLOCK 22 -	LOFT TOWNHOMES - 1st, 2nd & 3rd FL. RES. -	472m <sup>2</sup> (5,080 sq.ft.)	1,171m <sup>2</sup> (12,604 sq.ft.)	8 UNITS
TOTALS =		2,828m <sup>2</sup> (30,440 sq.ft.)	6,960m <sup>2</sup> (74,916 sq.ft.)	49 UNITS

PARKING REQUIRED :  
 1.2 SPACE / DWELLING UNIT (49)= 49.0 SPACES  
 0.20 SPACES / DWELLING UNIT VISITOR = 9.8 SPACES  
 TOTAL PARKING REQUIRED : 58.8 SPACES

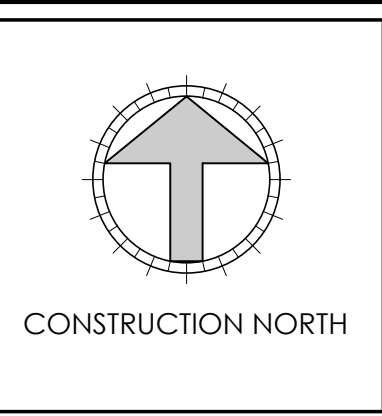
PARKING PROVIDED : SURFACE - 49.0 SPACES  
 PARKING PROVIDED : GARAGE - 49.0 SPACES  
 TOTAL PARKING PROVIDED : 98.0 SPACES

SITE PLAN TO BE READ IN CONJUNCTION WITH SP-1, Rev. 29, Nov.11, 2013.  
 SITE BOUNDARIES TO BE CONFIRMED BY SURVEYOR.



**M. David Blakely Architect Inc.**  
 210 Colonnade Rd. Suite 2 Nepean, Ontario  
 Phone (613) 226-8811 Fax (613) 226-7942

**GENERAL NOTES:**  
 1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.  
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS AND BY-LAWS.  
 3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.  
 4. DO NOT SCALE DRAWINGS.  
 5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.  
 6. THIS REPRODUCTION SHALL NOT BE ALTERED.



No.	DATE	DESCRIPTION	INIT.
1.	11/03/14	REVISED AREA INFORMATION	SM
2.	06/02/14	FOR ASHCROFT REVIEW	SM
3.	31/12/13	FOR ASHCROFT REVIEW	SM
4.	13/12/13	FOR REVIEW	SM

**A**  
**B** **C**  
 A - DETAIL NUMBER  
 B - SHEET NUMBER (DETAIL REQUIRED)  
 C - SHEET NUMBER (DETAIL LOCATION)

PROJECT  
**EASTBORO PHASE TWO**  
**NAVAN ROAD**  
**OTTAWA, ONTARIO**

CLIENT

DRAWING TITLE  
**PRELIMINARY SITE PLAN**  
**PHASE TWO, MBLK - 'C'**

DATE  
 DEC. 2013

SCALE  
 1:400

SHEET No.  
**SP-MBLK-C**

DRAWN BY: SBM  
 CHECKED: MDB