

**NOTES**

It is the responsibility of the appropriate contractor to verify all dimensions on site and report all errors and omissions to the Architect.  
 All contractors must comply with all pertinent codes and by-laws.  
 Do not scale drawings.  
 This drawing may not be used for construction until signed by the Architect.  
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**LOCATION MAP**



**LEGAL DESCRIPTION**

**PART OF LOTS 17 AND 18  
 REGISTERED PLAN 23  
 CITY OF OTTAWA**  
**SITE PLAN BASED ON AOV SURVEY  
 AND TOPOGRAPHIC SKETCH DATED  
 FEBRUARY 2021.**

**DRAWING NOTES**

- ① PROPERTY LINE.
- ② NEW ILLUMINATED GROUND SIGN.
- ③ OUTLINE OF EXISTING BUILDING FOOTPRINT.
- ④ BUILDING SHOWROOM ENTRANCE.
- ⑤ EXISTING CHANLINK FENCE TO REMAIN.
- ⑥ TWO WAY PRIVATE APPROACH.
- ⑦ TYPICAL PARKING SPACE 2600m x 5200m
- ⑧ ACCESSIBLE PARKING SPACE: 3660m x 5200m c/w PAINTED SYMBOL OF ACCESS & POST-MOUNTED SIGN TO COMPLY WITH O.T.M. BOOKS. REFER TO SPEC. FOR PAINTING.
- ⑨ PAINT LINE, TYPICAL
- ⑩ EXISTING CONCRETE SIDEWALK, TO REMAIN.
- ⑪ EXISTING CONCRETE CURB, TO REMAIN.
- ⑫ EXISTING CONCRETE DEPRESSED CURB, TO REMAIN.
- ⑬ EXISTING ASPHALT PAVING, TO REMAIN.
- ⑭ EXISTING LANDSCAPE ISLAND, TO REMAIN.
- ⑮ EXISTING LANDSCAPE BUFFER, TO REMAIN.
- ⑯ EXISTING LANDSCAPED AREA, TO REMAIN.
- ⑰ EXISTING EXTERIOR LIGHT STANDARD, TO REMAIN.
- ⑱ EXISTING CUSTOMER PARKING, TO REMAIN.
- ⑲ EXIST. MOUNTABLE GUTTER CURB TO REMAIN.
- ⑳ EXIST. HYDRO ELECTRICAL POLE
- ㉑ EXIST. HYDRO ELECTRICAL LINES
- ㉒ NEW BOLLARDS
- ㉓ CONCRETE ISLANDS FLUSH W/ ASPHALT, NO CURB
- ㉔ LOADING SPACE REQUIRED PARKING
- ㉕ CUSTOMER AND STAFF.
- ㉖ INVENTORY & DISPLAY
- ㉗ BIKE RINGS.
- ㉘ PARKING ISLANDS PAINTED ON ASPHALT

**GENERAL NOTES**

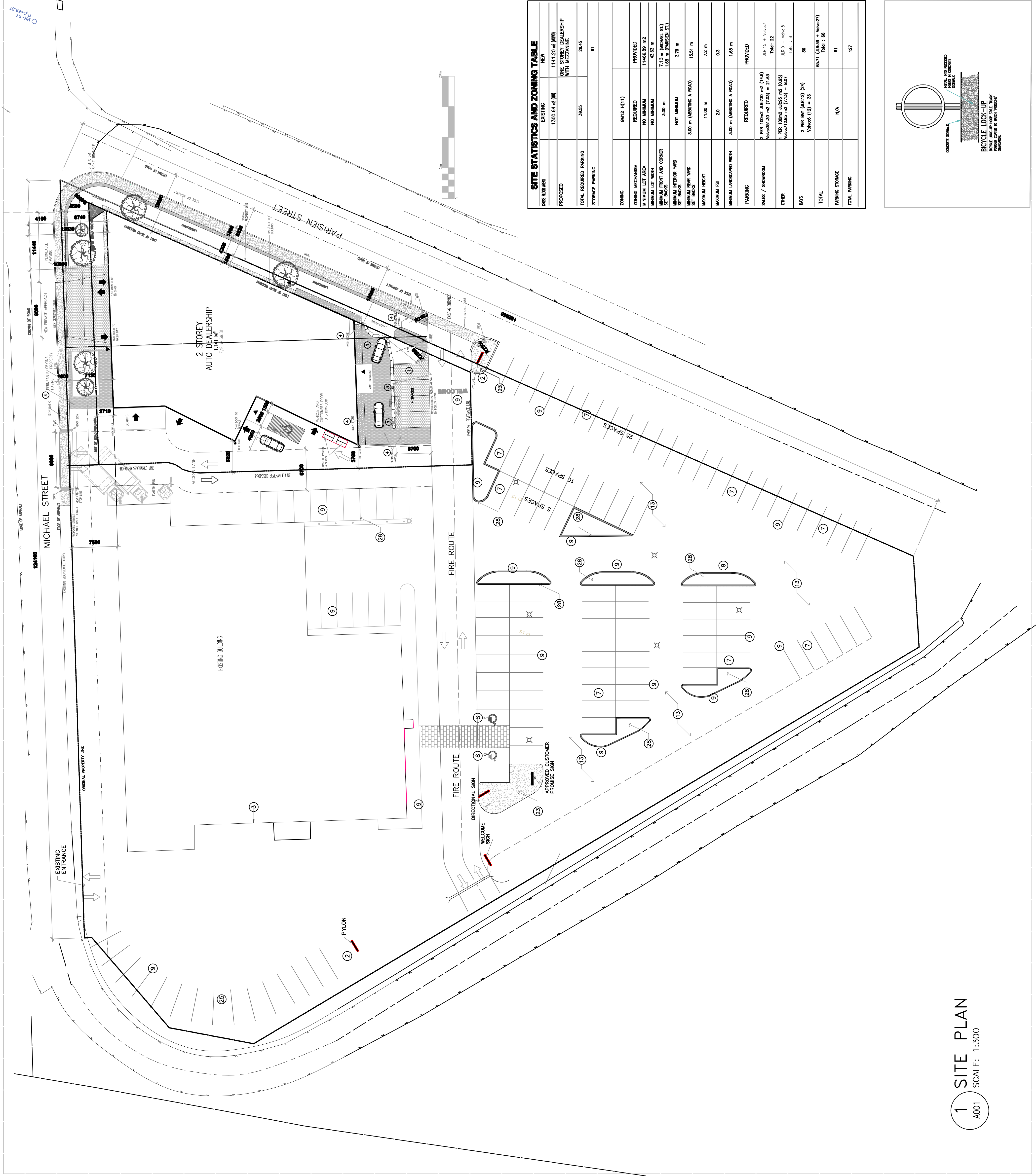
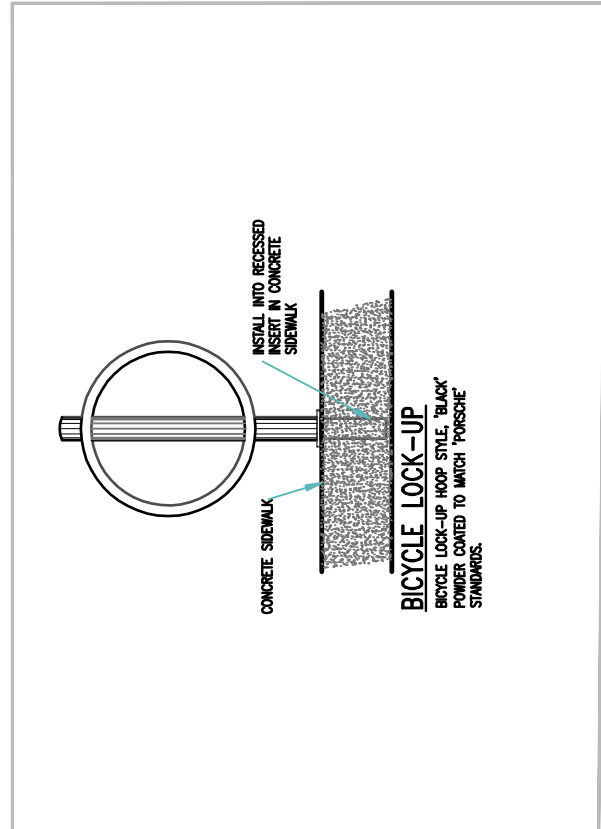
- ① REFER TO LANDSCAPE/CIVIL ENGINEERING FOR ADDITIONAL INFORMATION.
- ② TYPICAL PARKING STALL 2,600 X 5,200 MM

**LEGEND**

- ➔ CAR ACCESS
- ➡ 0/4 DOOR
- ▶ PUBLIC
- EXIT ▶
- EXIT DOOR
- PROPERTY LINE
- EXISTING & PROPOSED

**SITE STATISTICS AND ZONING TABLE**

REQ. DIM. ARE.	EXISTING	NEW
PROPOSED	1300.64 m <sup>2</sup> (40)	1141.20 m <sup>2</sup> (MM)
TOTAL REQUIRED PARKING	39.95	26.45
STORAGE PARKING		61
ZONING	GM12 M(1)	PROVIDED
ZONING MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	NO MINIMUM	11466.89 m <sup>2</sup>
MINIMUM LOT WIDTH	NO MINIMUM	43.63 m
MINIMUM FRONT AND CORNER SET BACKS	3.00 m	7.13 m (MICHAEL ST.) 1.68 m (PARISIEN ST.)
MINIMUM SIDEWALK SET BACKS	NOT MINIMUM	3.79 m
MINIMUM SEAF YARD SET BACKS	3.00 m (ABUTTING A ROAD)	15.51 m
MAXIMUM HEIGHT	11.00 m	7.2 m
MAXIMUM FS	2.0	0.3
MINIMUM LANDSCAPED WIDTH	3.00 m (ABUTTING A ROAD)	1.68 m
PARKING	REQUIRED	PROVIDED
SALES / SHOWROOM	2 PER 100sq. METERS (1:4)	48:15 + 100sq. METERS (1:4)
OTHER	1 PER 100sq. METERS (0.9)	48:22 + 100sq. METERS (0.9)
BAYS	2 PER BAY (48:12) (24)	36
TOTAL	16:71 (48:12 + 100sq. METERS)	61
PARKING STORAGE	N/A	61
TOTAL PARKING		127



**1 SITE PLAN**  
 SCALE: 1:300

4001

**SITE PLAN**

Project No. 1811  
 Drawn By: DC  
 Scale: AS SHOWN  
 Date: OCTOBER 2022  
 Drawing No. **SP 01**

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