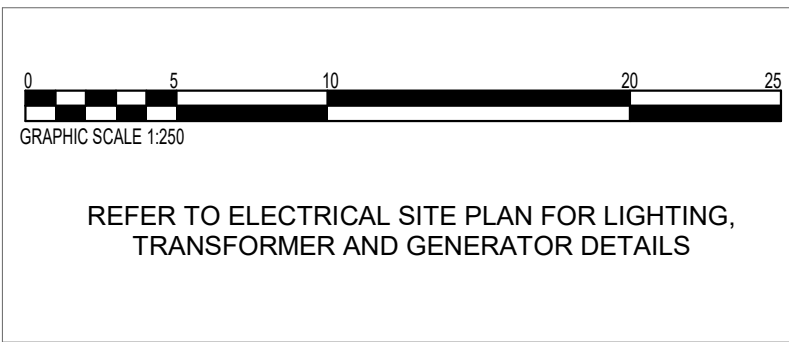


1 SITE PLAN
A100
SCALE: 1:250



LEGEND			
	PROPOSED BUILDING LOCATION		SIAMESE CONNECTION
	LANDSCAPED AREA		ENTRANCE/ EXIT LOCATION
	CONCRETE/ SIDEWALK		PRINCIPAL ENTRANCE
	FIRE ROUTE		FIRE HYDRANT
	BARRIER-FREE PARKING CLEARANCE		BOLLARD
	TACTILE WALKING SURFACE INDICATOR		EXISTING UTILITY POLE / LIGHT STANDARD
	SOFT LANDSCAPING		VEGETATION. REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION
	BARRIER-FREE PARKING		NEW TREE. (VEGETATION FOR REFERENCE ONLY). REFER TO LANDSCAPE PLAN
	INTERIOR PARKING		CURB
			DEPRESSED CURB
			TRANSFORMER
			CATCHBASIN / MANHOLE
			CATCHBASIN
			1.8m HIGH WOOD PRIVACY FENCE. REFER TO CIVIL

SITE NOTES:

TOPOGRAPHICAL INFORMATION:
PART OF LOT 5
CONCESSION 6 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA
SURVEYED BY STANTEC GEOMATICS LIMITED ONTARIO
LAND SURVEYORS ON NOVEMBER 27, 2019.

SITE STATISTICS:

IL ZONING - PROVISIONS:	
ZONING PROVISIONS	REQUIRED / PROPOSED
MIN. LOT AREA (m²):	2,000 m² / 8,132 m²
MIN. LOT FRONTAGE (m):	NO MIN. / 154m
MAX. LOT COVERAGE (%):	65% / 50%
MIN. FRONT YARD YARD SETBACK:	0.6 m / 4.6 m (MARQUEE TO PROPERTY LINE)
MIN. INTERIOR SIDE YARD SETBACK:	7.5 m / 4.0 m (CANOPY TO PROPERTY LINE)
MIN. REAR YARD SETBACK:	7.5 m / 7.5 m
MAX. BUILDING HEIGHT:	18 m / 17.9 (AVG. GRADING TO HIGH POINT OF ROOF)
MIN. WIDTH OF LANDSCAPE AREA ADJUTING STREET:	0 m / FRONT: 7.5 m
MAX. FLOOR SPACE INDEX:	2 / 1.98
MINIMUM PARKING FOR WAREHOUSE (SELF-STORAGE FACILITY):	14 SPACES / 9 EXTERIOR 5 INTERIOR

IL [272] ZONING - PROVISIONS:

ZONING PROVISIONS	REQUIRED	PROPOSED
MINIMUM DRIVE ABLE WIDTH	6.7 m	7.3
MINIMUM BICYCLE PARKING FOR WAREHOUSE (STORAGE FACILITY) (1.5m x 2m)	1 PER 200m² OF GFA	8 SPACES
LOADING SPACES (3.5m x 7m)	1	1 EXTERIOR
OVERSIZED LOADING SPACES (4.3m x 12m)	1	1 EXTERIOR
ACCESSIBLE PARKING SPACE:	1 TYPE A	2 EXTERIOR 1 INTERIOR

SITE AREAS:

LOT AREA:	8,132.5 m² (100%)
PAVED AREA:	3,126 m² (38.4%)
LANDSCAPED AREA:	1,144 m² (14.1%) INCLUDES CONC. SIDEWALKS
BUILDING FOOTPRINT:	3,866 m² (47.2%)

BUILDING AREAS:

BASEMENT FLOOR:	2,690 m²	28,961 m²	15.0 %
GROUND FLOOR:	3,866 m²	41,610 m²	22.5 %
ELECTRICAL MEZZANINE:	61 m²	657 m²	0.5 %
SECOND TO FOURTH FLOOR:	11,020 m²	118,618 m²	62.0 %
TOTAL BASEMENT TO FOURTH FLOOR (****)	17,637 m²	189,843 m²	100 %
(****) SECOND: 45.075 m² (A, 1187 m²), THIRD: 42,467 m² (3,948 m²), FOURTH: 31,053 m² (2885 m²)			

GROSS FLOOR AREA (GFA):

BUILDING FOOTPRINT (INCLUDES INT. LOADING & PARKING AND LOADING DOCK)	3,866 m²	41,609 m²
ELECTRICAL SERVICE MEZZANINE	61 m²	657 m²
ELEVATOR SHAFT AND STAIRS (BASEMENT TO 4TH FLOOR)	472 m²	5,085 m²
ELEVATOR LOBBY 1 & 2 AND ANCILLARY SPACES GROUND FLOOR	175 m²	1,889 m²
INTERIOR LOADING & PARKING AND LOADING DOCK (****)	1,072 m²	11,544 m²
DYMON RECEPTION (****)	700 m²	7,534 m²
TOTAL SELF-STORAGE BASEMENT TO 4TH (****)	15,081 m²	162,341 m²
TOTAL GFA 4-STORY BUILDING (****)	17,089 m²	183,944 m²
TOTAL GFA	16,017 m²	172,405 m²

(****) EXCLUDES STAIR AND ELECTRICAL MEZZANINE
(****) EXCLUDES ELEVATORS AND STAIRS (BASEMENT TO 4TH FLOOR)

GENERAL NOTES

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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ISSUE RECORD

NO.	DESCRIPTION	DATE
1	ISSUED FOR SPA APPROVAL	2022-06-21
2	90% REVIEW	2022-07-22
3	ISSUED FOR SPA APPROVAL	2022-08-05

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PROJECT TITLE

DYMON 3455 HAWTHORNE

DRAWING TITLE

SITE PLAN

DATE JUNE 2022	DRAWN CL	JOB NO. 3467	DRAWING NO. A100
SCALE As indicated	REVIEWED TD		

ARCHITECTURAL

D07-12-20-0191

PLAN #18361