LIST OF DRAWINGS

COVER SHEET COVER SHEET

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ARCHITEC	
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ASP-3	SITE PLAN - BLDG 1 - ROOF LEVEL
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A205	BLD 1 - SIXTH FLOOR PLAN (6th)
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WATERIDGE APARTMENT BUILDING

ADDRESS: 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR CLC_REPLY -JUNE 30, 2022



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ONING	GM31		
	GENERAL A	aixed use zone	-
COVERAGE CALCULATIONS	M ²	F ²	ACRES
TOTAL SITE AREA BUILDING AREA	5193.6 24113.0	55903.4 259549.9	1.283
RESIDENTIAL AREA	23701.3	255117.9	
COMMERCIAL AREA	411.7	4432.0	
		1	T
GLAZING CALCULATIONS TOTAL GORUND FLOOR ELEVATION AREA - TO CEILING (3.6m)	SM 294.8	SF	%
TOTAL WINDOW AREA	223.4		75.780%
	1	DD OVED TO	
SETBACKS	REQ'D (m)	PROVIDED (m)	
MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	2.0	2.00	
neivilogr road Minimum rear yard setback a building with a residential land use at grade	7.5	20.41	
OR WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	7.5	20.41	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.175	
WHERE THE BUILDING CONTAINS MORE THAN FOUR STOREYS BUT LESS THAN 13			
STOREYS, AT AND ABOVE THE FOURTH STOREY A BUILDING MUST BE FURTHER SETBACK (M)	2.0	2.00	
1,179			
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ARLITING A STREET	3m	5 175	
(i) ABUTTING A STREET	3m	5.175	
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii)OTHER CASES	NO MIN.	1	
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING L			
CONTAINING MORE THAN 10 BUT FEWER THAN 100 SPACES			
(a) ABUTTING A STREET			
(b) NOT ABUTTING A STREET	1.5	3.0	
(b) Not About the Atomic Property of the Control of	1.0	0.0	
GROSS FLOOR AREA (GFA)	2	2	
WITHOUT BALCONIES	M ²	F ²	
GROUND FLOOR 2ND,3RD,4TH FLOOR	2,183.0 6,519.0	23,498 70,170	
5TH,6TH FLOOR	3,934.0	42,345	
7TH, 8TH,9TH FLOOR	4,410.0	47,469	1
PARKING LEVEL 1	3,533.0	38,029	
PARKING LEVEL 2	3,534.0	38,040	
TOTAL GFA	24,113.0	259,550	
PARKING REQUIREMENTS	REQ'D	PROVIDED	
Residential use 0.5 PARKING/UNIT	108	169	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	100	41	
TYPICAL PARCKING STALLS PROVIDED		123	
ACC TYPICAL PARCKING STALLS PROVIDED		2	
VISITOR PARKING-0.1 PARKING /UNIT TYPICAL VISITORS PARKING	20.4	19	
ACC VISITORS PARKING		2	
RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA	10.59	11	
TYPICAL STORE PARKING		10	
ACC STORE PARKING	120.00	1	
TOTAL NO. OF SPACES BIKE RACKS	138.99	201	
0.5 PARKING/UNIT	108	116	
COMMERCIAL AREA M ² / 250 M ²	1.65	2	
TOTAL NO. OF SPACES	110	118	1
Aminities REQUIREMENTS	REQ'D M ²	PROVIDED M ²	
Residential use			
6 sq m/UNIT MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	1,296.0 648.0	1,505.2 735.3	
AMENITY SPACE ON GROUND FLOOR		280.8	
AMENITY SPACE OUTDOOR ON GRADE		135.0	
AMENITY SPACE OUTDOOR ON ROOF TOP		319.6	
ACCESSIBLE DADVING (CITY OF OTTAWA ACCESSIBILITY DESIGNATANDADDO)	PEOID	PPOVIDED	
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	REQ'D	PROVIDED	
101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D	5	5	
TYPE A (VAN), MIN WIDTH=3400	3	3	
TYPE A (VAN), MIN WIDTH=3400 TYPE B, MIN WIDTH=2400	REQ'D	PROVIDED	
		6.0	
TYPE B, MIN WIDTH=2400	(MIN)		1
TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS	6.0	0.0	.1
TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND	6.0		
TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M) LOADING REQUIREMENTS	6.0 REQ'D	PROVIDED	
TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	6.0 REQ'D		
TYPE B, MIN WIDTH=2400 DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M) LOADING REQUIREMENTS IN THE GMZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GEA	6.0 REQ'D	PROVIDED	

	BUILDING 1 - ROOM MIX																			
	1ST	2ND	3rd	4th	5th	6th	7th	8th	9th	NAIV	NAIV	MIX	TOTAL							
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	MIX	MIX	Total	TOTAL							
STUDIO	2	0	0	0	0	0	0	0	0	1%	1%	2	2							
1 BDRM	4	19	19	19	15	15	6	4	4	49%	71%		105							
1 BDRM+DEN	2	5	5	5	2	2	0	0	0	10%		71%	71%	71%	71%	71%	71%	71%	154	21
1 BDRM-ACC	2	5	5	5	4	4	1	1	1	13%			28							
2 BDRM	0	3	3	3	7	7	9	11	11	25%	200/	60	54							
2BDRM - ACC	0	0	0	0	0	0	2	2	2	3%	28%	60	6							
SUBTOTAL	10	32	32	32	28	28	18	18	18	100%	100%	216	216							
ACC TOTALS	2	5	5	5	4	4	3	3	3	15.74%			34							

ASP-1 N.T.S.

	ROOM MIX							
	BLDG 1	BLDG 2	BLDG 3	TOTAL ALL BLDGS	MIX Total	MIX	MIX	
STUDIO	2	0	0	2	2	0.41%	0.4%	
1 BDRM	105	70	69	244	349	349	50.62%	
1 BDRM+DEN	21	11	13	45			9.34%	72.4%
1 BDRM-ACC	28	16	16	60		12.45%		
2 BDRM	54	30	33	117	121	24.27%	27.2%	
2BDRM - ACC	6	4	4	14	131	2.90%	21.2%	
SUBTOTAL	216	131	135	482	482	100.00%	100%	

1 BDKM+DEN	2	5	5	
1 BDRM-ACC	2	5	5	
2 BDRM	0	3	3	
2BDRM - ACC	0	0	0	
SUBTOTAL	10	32	32	
ACC TOTALS	2	5	5	
4 ROO	M MIX -	BUILING	<u> </u>	

SITE STATISTICS - Building 2			
ZONING	GM31		
	GENERAL M	NIXED USEZON	E
COVERAGE CALCULATIONS	M ²	F ²	ACRES
TOTAL SITE AREA	3737.6	40231.2	0.924
BUILDING AREA	15362.0	165355.0	
residential area	15165.8	163243.0	
COMMERCIAL AREA	196.2	2112.0	
GLAZING CALCULATIONS	sm	SF	%
TOTAL GORUND FLOOR ELEVATION AREA - TO CEILING (3.6m) EXCLUDING RESIDENTIAL	147.4		
TOTAL WINDOW AREA	115.7		78.494%
SETBACKS	REQ'D (m)	PROVIDED (m)	
MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	2.0	2.00	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR	7.5	19.55	

SETBACKS	KEG.D (m)	(m)	
MAXIMUMS ETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	2.0	2.00	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	7.5	19.55	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.86	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGH	3.0	3.00	
MINIMUM WIDTH OF LANDS CAPED AREA			
(i) ABUTTING A STREET	3m		

IMINIMUM WIDTH OF LANDS CAFED AREA				
(i) ABUTTING A STREET	3m			
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0		
(iii)OTHER CASES	NO MIN.			
MINIMUM WIDTH OF LANDS CAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10				
(a) ABUTTING A STREET	3.0			
(b) NOT ABILITING A STREET	NONE	3.0		

GROSS FLOOR AREA (GFA)	M ²	F ²	
NITHOUT BALCONIES	M	r	
GROUND FLOOR	1,427.0	15,360.1	
2ND,3RD,4TH FLOOR	4,134.0	44,498.0	
5TH,6TH FLOOR	2,464.0	26,522.2	
7TH, 8TH,9TH FLOOR	2,250.0	24,218.8	
PARKING LEVEL 1	2,561.0	27,566.3	
PARKING LEVEL 2	2,526.0	27,189.6	
TOTAL GFA	15,362.0	165,355.0	
DARVING DECHIDEMENTS			

TOTAL GFA	15,362.0	165,355.0	
PARKING REQUIREMENTS	REQ'D	PROVIDED	
Residential use	INE G D	I NO VIDED	
0.5 PARKING/UNIT	65.5	120	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES		26	
TYPICAL PARCKING STALLS PROVIDED		92	
ACC TYPICAL PARCKING STALLS PROVIDED		2	
VISITOR PARKING-0.1 PARKING /UNIT	11.9	12	
TYPICAL VISITORS PARKING		10	
ACC VISITORS PARKING		2	
RETAIL STORE 5 PER 100 M ² OVER 200 M ² OF GROSS FLOOR AREA	N/A	N/A	
TYPICAL STORE PARKING			
ACC STORE PARKING			
TOTAL NO. OF SPACES	77.40	132	
BIKE RACKS			
0.5 PARKING/UNIT	65.5	67	

0.5 PARKING/UNIT	65.5	67	
COMMERCIAL AREA M ² / 250 M ²	0.78	1	
TOTAL NO. OF SPACES	66	68	
Aminities REQUIREMENTS	REQ'D M ²	PROVIDED M ²	
Residential use	KEQ D M²	P KO VIDED IM ²	
6 sq m /UNIT	786.0	798.5	
MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	393.0	394.4	
AMENITY SPACE ON GROUND FLOOR		219.4	
AMENITY SPACE OUTDOOR ON GRADE		175.0	
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	REQ'D	PROVIDED	
79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4	
TYPE A (VAN), MIN WIDTH=3400	2	2	
TYPE B, MIN WIDTH=2400	2	2	
DRIVEWAYS AND AISLE REQUIREMENTS	REQ'D (MIN)	PROVIDED	
107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90	6.0	6.0	

	(MIN)		
107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	6.0	6.0	
LOADING REQUIREMENTS	REQ'D	PROVIDED	
IN THE TM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 S ${\bf Q}$ M OR MORE	1	1	
2 SITE STATISTICS - BUILDING 2 ASP-1 N.T.S.			

					BUILDI	NG 2 - R	оом мі	X				
	1ST	2ND	3rd	4th	5th	6th	7th	8th	9th	NAIV	MIV	MIX
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	MIX	MIX	TOTAL
STUDIO	0	0	0	0	0	0	0	0	0	0%	0%	0
1 BDRM	3	12	12	12	12	12	3	2	2	53%		
1 BDRM+DEN	0	3	3	3	1	1	0	0	0	8%	74%	97
1 BDRM-ACC	3	2	2	2	2	2	1	1	1	12%		

20 18 18 9 9 9 100% 100% 131 131

5	ROOM MIX - BUILING 2
ASP-1	N.T.S.

8 20 20

DECIDENTIAL AREA	15312.0	164016.0	
RESIDENTIAL AREA	15312.0	164816.8	
COMMERCIAL AREA	0.0	0.0	
GLAZING CALCULATIONS	SM	SF	%
TOTAL GORUND FLOOR ELEVATION AREA			
TOTAL WINDOW AREA			
	DECID ()	PROVIDED	
SETBACKS	REQ'D (m)	(m)	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A PARK	5.0	5.00	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.00/11.95	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGH	3.0	3.00	
MINIMUM WIDTH OF LANDS CAPED AREA			
(i) ABUTTING A STREET	3m	5.0	
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii)OTHER CASES	NO MIN.		
MINIMUM WIDTH OF LANDS CAPED AREA AROUND A PARKING LOT - FOR A PARKIN CONTAINING FEWER THAN 10	G LOT	<u> </u>	
(a) ABUTTING A STREET	3.0		
(b) NOT ABUTTING A STREET	NONE		
GROSS FLOOR AREA (GFA)	M ²	F ²	
WITHOUT BALCONIES			
GROUND FLOOR	1,404.0	15,112.5	
2ND,3RD,4TH FLOOR	4,167.0	44,853.2	
5TH,6TH FLOOR	2,470.0	26,586.8	
7TH, 8TH,9TH FLOOR	2,250.0	24,218.8	
PARKING LEVEL 1	2,529.0	27,221.9	
PARKING LEVEL 2	2,492.0	26,823.6	
TOTAL GFA	15,312.0	164,816.8	
101/12 01/1	10,012.0	104,010.0	
DARVING REQUIREMENTS			
PARKING REQUIREMENTS Residential use	REQ'D	PROVIDED	
0.5 PARKING/UNIT	67	117	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES		22	
TYPICAL PARCKING STALLS PROVIDED		93	
ACC TYPICAL PARCKING STALLS PROVIDED		2	
VISITOR PARKING-0.1 PARKING / UNIT	12.3	13	
TYPICAL VISITORS PARKING		11	
ACC VISITORS PARKING		2	
	70		
TOTAL NO. OF SPACES	79	130	
BIKE RACKS	1,7.5	1,0	1
0.5 PARKING/UNIT	67.5	69	
Aminities REQUIREMENTS	REQ'D M ²	PROVIDED M ²	
Residential use 6 sq m /UNIT	810.0	1,101.7	
MIN OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	405.0	410.0	
	405.0		
AMENITY SPACE ON GROUND FLOOR		170.0	
AMENITY SPACE OUTDOOR ON GRADE		90.0	
AMENITY SPACE OUTDOOR ON ROOF TOP		150.0	
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)	REQ'D	PROVIDED	
79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4	
TYPE A (VAN), MIN WIDTH=3400	2	2	
TYPE B, MIN WIDTH=2400	2	2	
	REQ'D		
DRIVEWAYS AND AISLE REQUIREMENTS 107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56	(MIN)	PROVIDED 6.0	
AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)			
LOADING REQUIREMENTS	REQ'D	PROVIDED	
IN THE TM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ M OR MORE	1	1	
3 SITE STATISTICS - BUILDING 3 ASP-1 N.T.S.			ING 3 - P

GENERAL MIXED USE ZONE

SITE STATISTICS - Building 3

COVERAGE CALCULATIONS

TOTAL SITE AREA

					BUILD	ING 3 - R	OOM MI	X					
	1ST	2ND	3rd	4th	5th	6th	7th	8th	9th	NAIV	NAIV	MIX	TOTAL
	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	MIX	MIX	TOTAL TOTA	
STUDIO	0	0	0	0	0	0	0	0	0	0%	0%	0	0
1 BDRM	5	12	12	12	11	11	2	2	2	51%			69
1 BDRM+DEN	2	3	3	3	1	1	0	0	0	10%	73%	98	13
1 BDRM-ACC	3	2	2	2	2	2	1	1	1	12%			16
2 BDRM	1	2	2	2	4	4	6	6	6	24%	27%	37	33
2BDRM - ACC	1	1	1	1	0	0	0	0	0	3%	2/%	3/	4
SUBTOTAL	12	20	20	20	18	18	9	9	9	100%	100%	135	135
ACC TOTALS	4	3	3	3	2	2	1	1	1	15%			20

6 ROOM MIX - BUILING 3



Key Plan:

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

Issued for CLC

Issue/Revision

2 22/06/30 Issued for CLC- Reply

22/05/20

Date:

Drawing Issues/Revisions:

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING
CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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MATA J ARCHITECTS INC

WATERIDGE APARTMENT BUILDING
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

SITE STATS & ROOM MIX ALL BUILDINGS

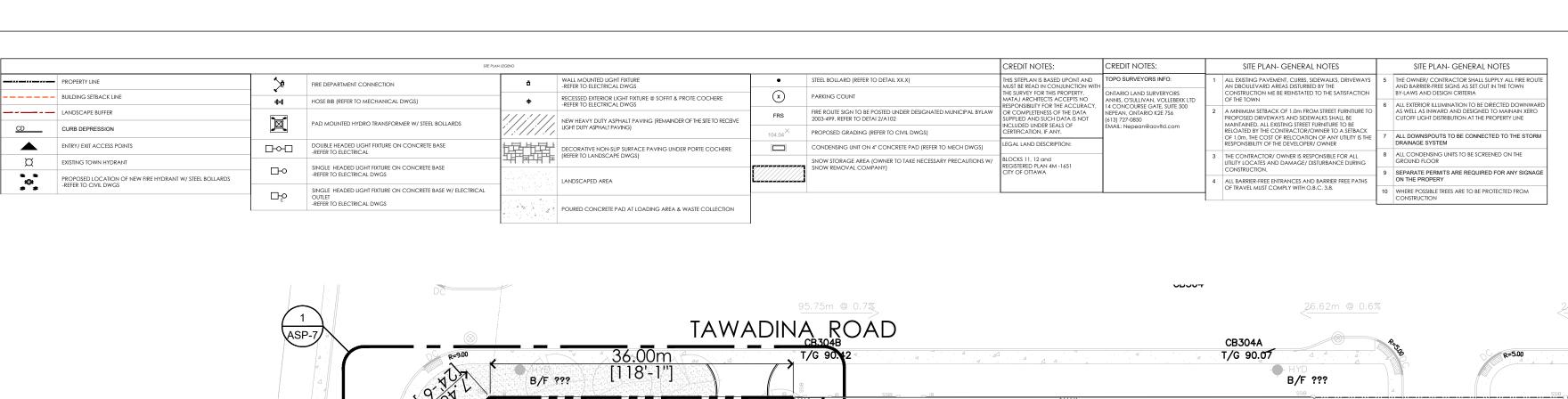
Design By:	Drawn By: SF	Approved By: EM
Scale: 1:200	Date: 22-06-29	Project No.: 22-004

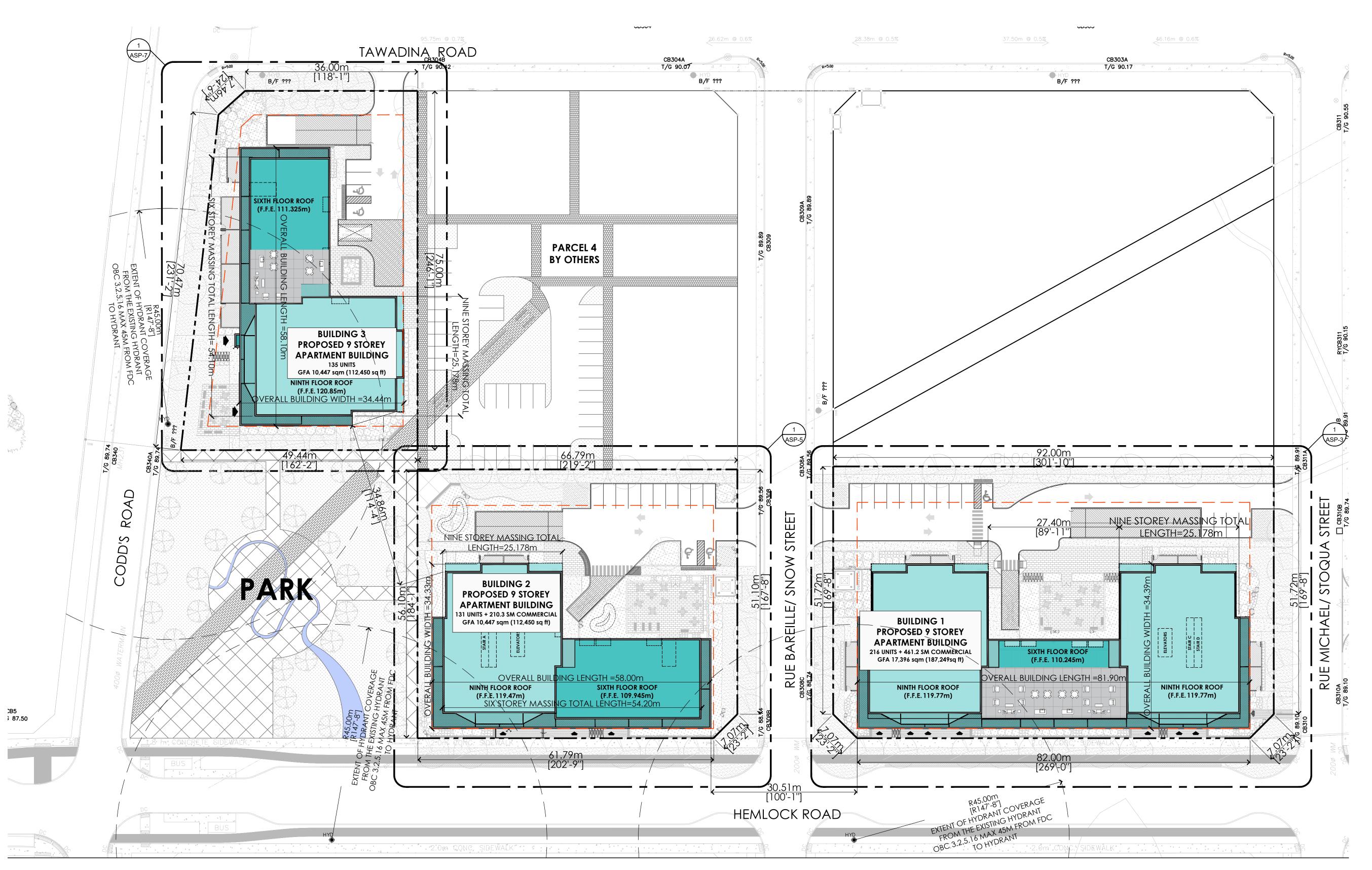
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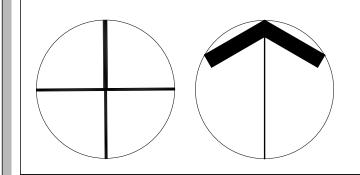
ASP-1

SITE PLAN APPLICATION

7 ROOM MIX - ALL BUILDINGS
ASP-1 N.T.S.







Key Plan:

	22/06/30	Issued for CLC- Reply	EM
	22/05/20	Issued for CLC	EM
٥.	Date:	Issue/Revision	Ву:
rav	ving Issues/Rev	visions:	

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Architect's Stamp



WATERIDGE **APARTMENT BUILDING** 1000/1050 TAWADINA ROAD -

WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

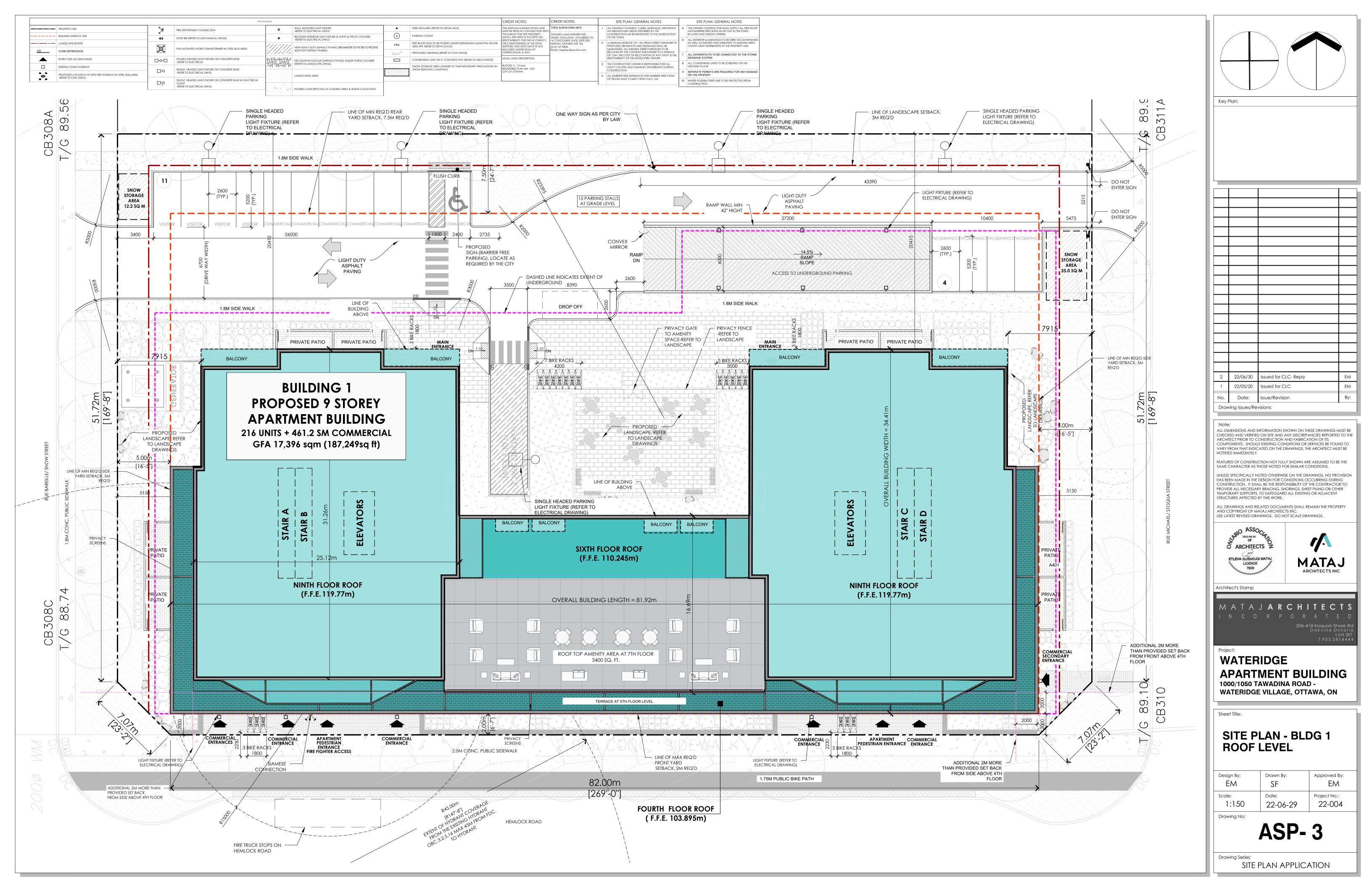
SITE PLAN -OVERALL SITE PLAN

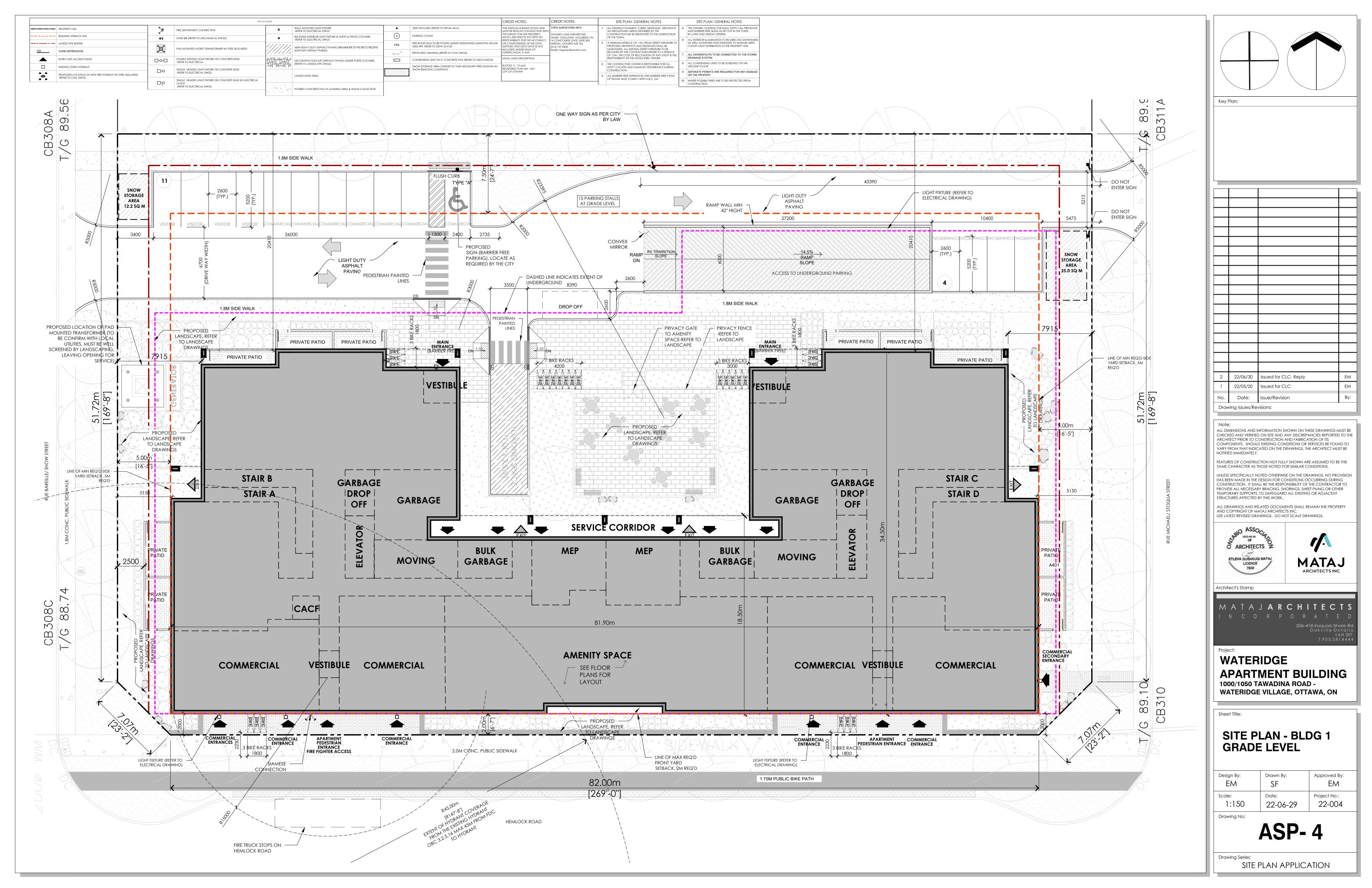
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	EM	SF	EM
	Scale:	Date:	Project No.:
	1:400	22-06-29	22-004

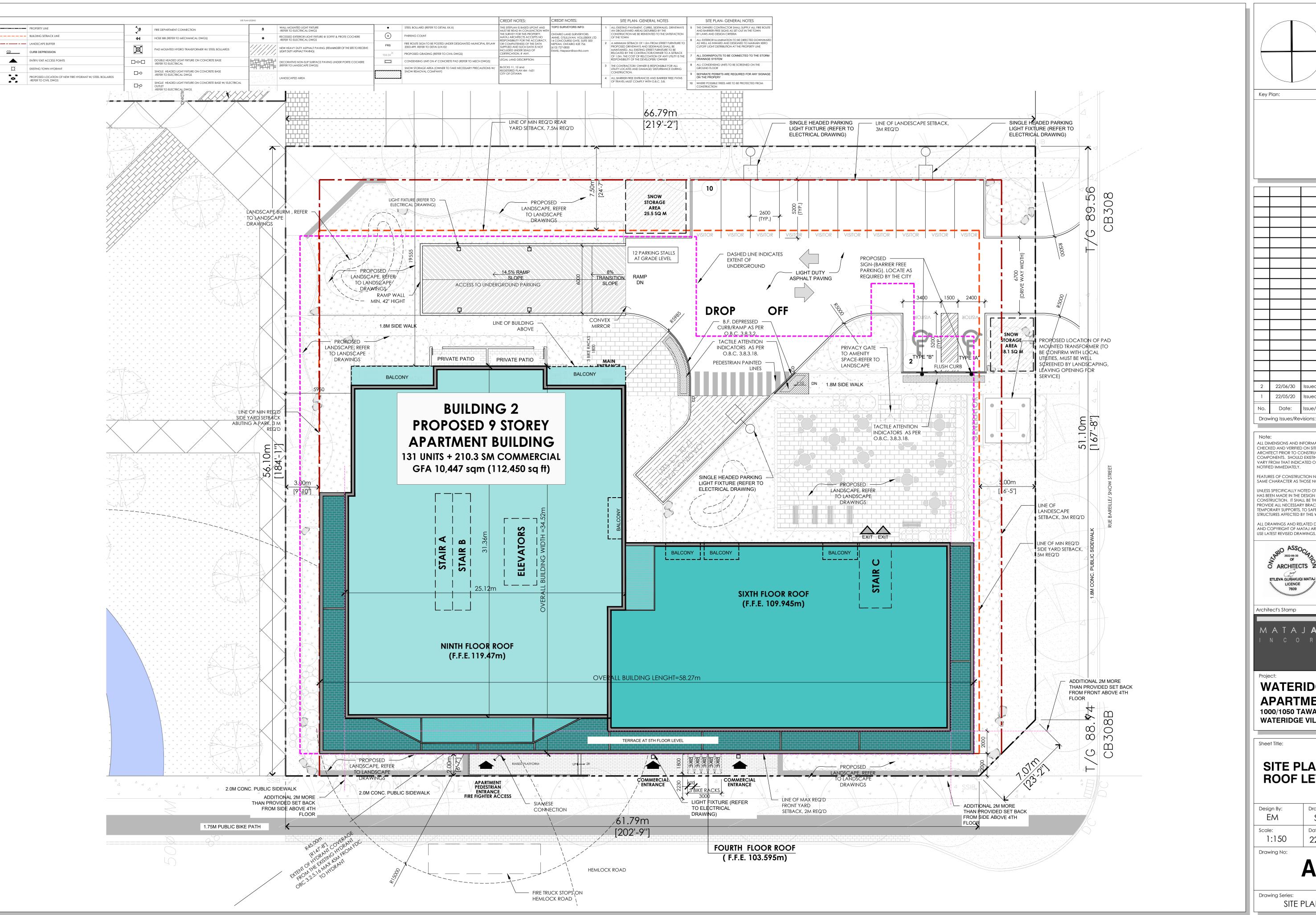
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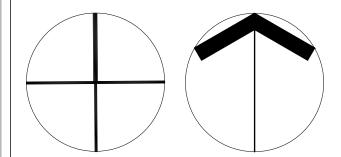
ASP-1

SITE PLAN APPLICATION









22/06/30 22/05/20 Issued for CLC Date:

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WATERIDGE **APARTMENT BUILDING**

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

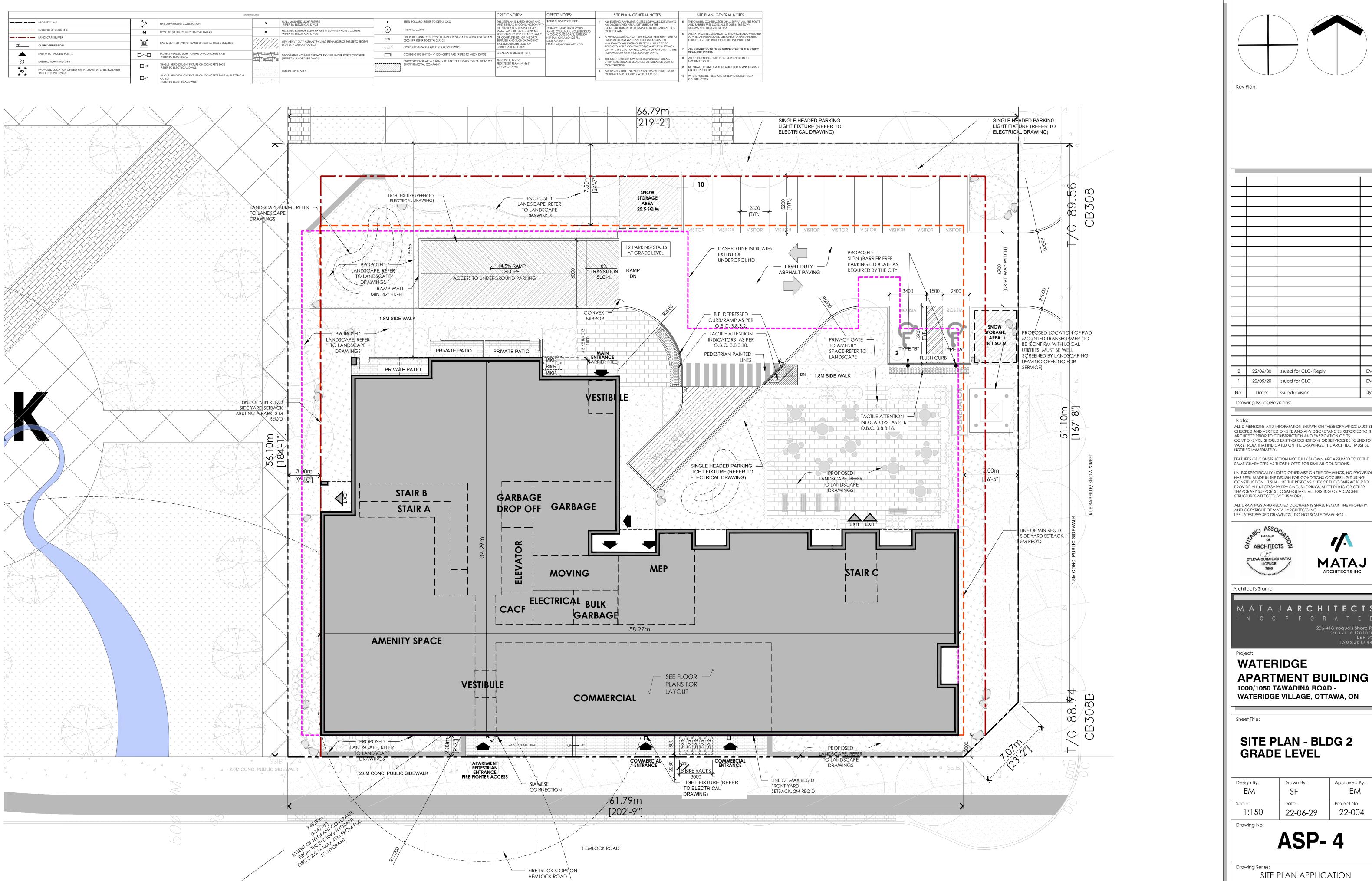
SITE PLAN - BLDG 2 **ROOF LEVEL**

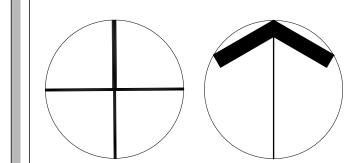
Design By:	Drawn By: SF	Approved By:
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No:

ASP-4

SITE PLAN APPLICATION





Issued for CLC-Reply

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APARTMENT BUILDING

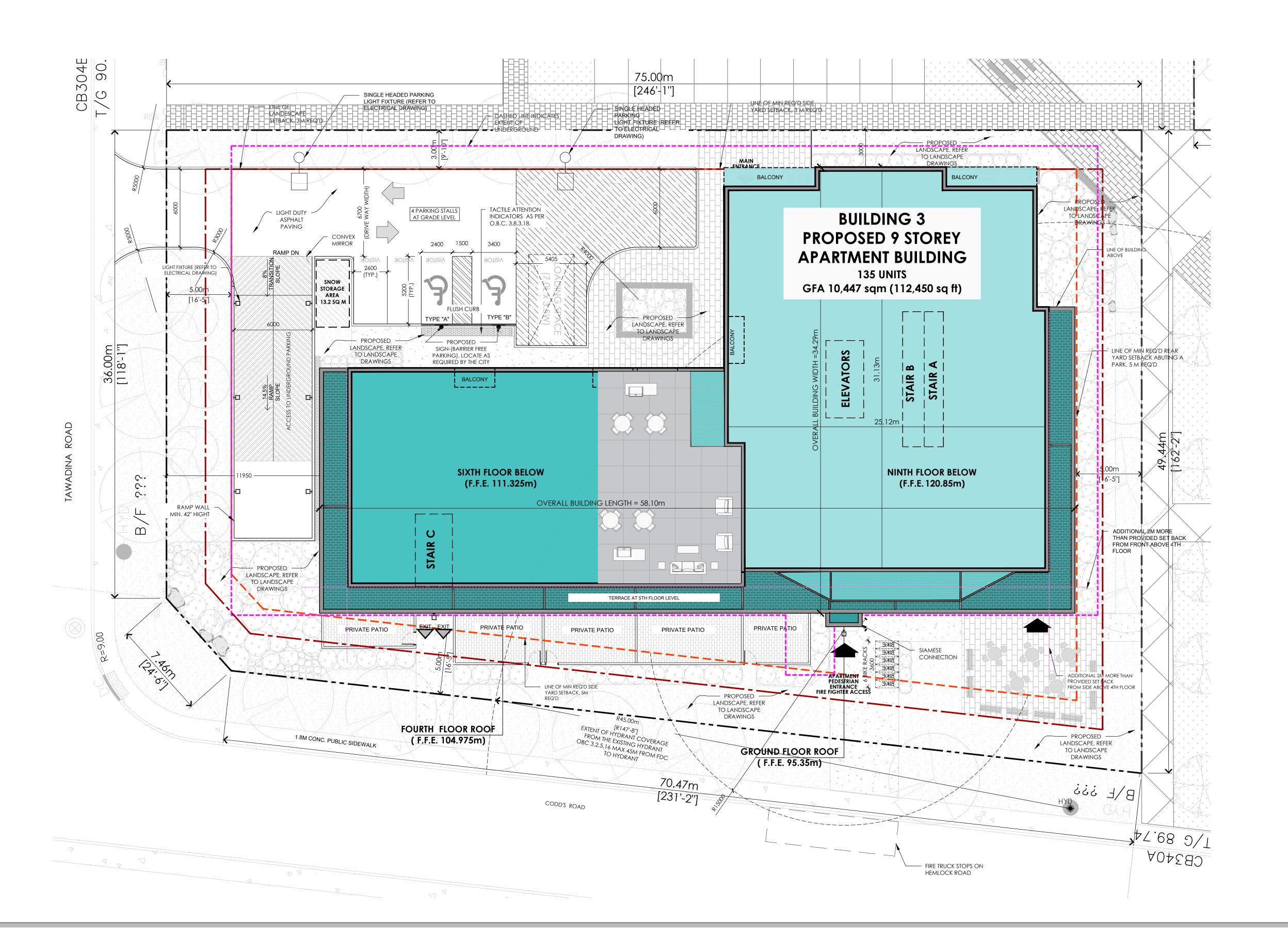
WATERIDGE VILLAGE, OTTAWA, ON

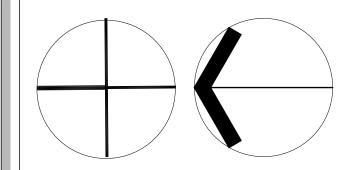
SITE PLAN - BLDG 2

Design By:	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

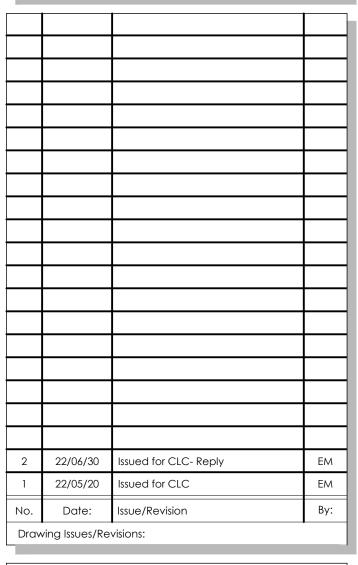
ASP-4

		·	SITE PLA	N LEGEND		·		CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES	
	PROPERTY LINE		FIRE DEPARTMENT CONNECTION	ň	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)	THIS SITEPLAN IS BASED UPONT AND MUST BE READ IN CONJUNCTION WITH	TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN	
	BUILDING SETBACK LINE	- ✓			RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE	(x)	PARKING COUNT	THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO	ONTARIO LAND SURVERYORS	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION	BY-LAWS AND DESIGN CRITERIA	
		4⋈	HOSE BIB (REFER TO MECHANICAL DWGS)	+	-REFER TO ELECTRICAL DWGS			RESPONSIBILITY FOR THE ACCURACY,			OF THE TOWN	6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD
	LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	11/:1/	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	SUPPLIED AND SUCH DATA IS NOT	NEPEAN, ONTARIO K2E 7S6 (613) 727-0850	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNTIURE TO BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE	
CD	CURB DEPRESSION		FAD MOUNTED HIDRO IRANSPORMER W/ STEEL BOLLARDS	1.11/1	LIGHT DUTY ASPHALT PAVING)	104.04×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.	EMAIL: Nepean@aovltd.com	RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELCOATION OF ANY UTILITY IS TH	7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM	
	ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LEGAL LAND DESCRIPTION:		RESPONSIBILITY OF THE DEVELOPER/ OWNER	DRAINAGE SYSTEM 8 ALL CONDENSING UNITS TO BE SCREENED ON THE	
¤	EXISTING TOWN HYDRANT		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE	111,14,11,	(REFER TO LANDSCAPE DWGS)		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	BLOCKS 11, 12 and REGISTERED PLAN 4M -1651		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING	GROUND FLOOR	
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS	\Box - \circ	-REFER TO ELECTRICAL DWGS	100 300 300				CITY OF OTTAWA		CONSTRUCTION.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERY	
#©# # #	-REFER TO CIVIL DWGS		ANNOLE HE PER HOLL ENTINE OF CONTROL OF THE PART OF TH		LANDSCAPED AREA	Here have have then the sale sade and and sand sand and	4			4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.		
			SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET -REFER TO ELECTRICAL DWGS	***	10 (10 miles 10 miles					- 0. 10.12.100.000.000	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION	
			-REPER TO ELECTRICAL DWG3	4 44 4	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					_		





Kev Plan



Note:

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Project:

WATERIDGE APARTMENT BUILDING 1000/1050 TAWADINA ROAD -

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

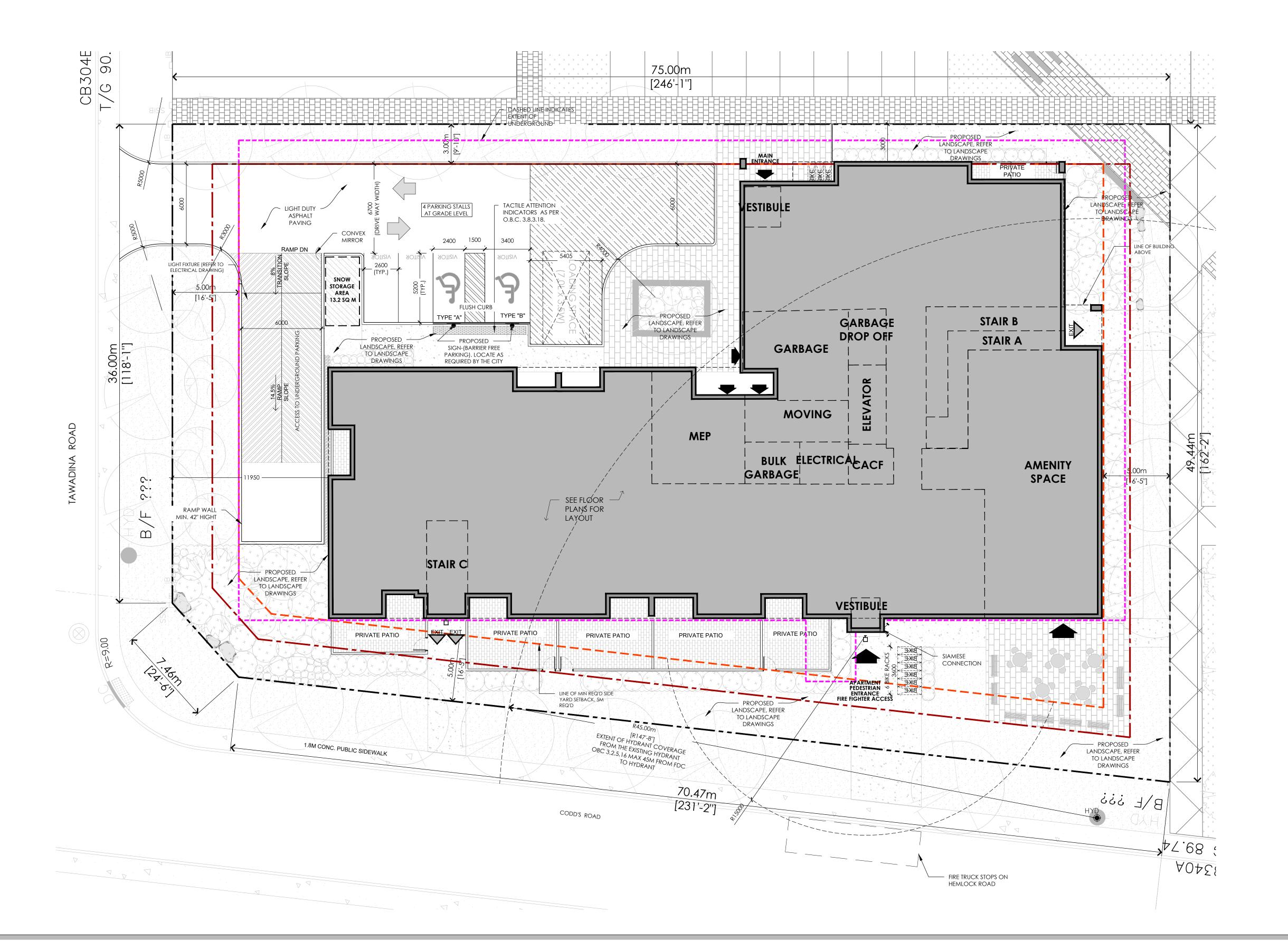
SITE PLAN - BLDG 3 ROOF LEVEL

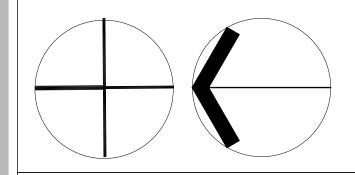
Design By:	Drawn By:	Approved By:
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No:

ASP-7

			SITE PL	IN LEGEND			CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES	
	PROPERTY LINE	\^±	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE -REFER TO ELECTRICAL DWGS	•	STEEL BOLLARD (REFER TO DETAIL XX.X)		TOPO SURVEYORS INFO:	ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AN DBOULEVARD AREAS DISTURBED BY THE	5 THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER-FREE SIGNS AS SET OUT IN THE TOWN	
	- BUILDING SETBACK LINE	-		RECESSED EXTERIOR LIGHT FIXTURE @ SOFFIT & PROTE COCHERE	\rightarrow	PARKING COUNT		THE SURVEY FOR THIS PROPERTY.	THE SURVEY FOR THIS PROPERTY.	RVEY FOR THIS PROPERTY. ONTARIO LAND SURVERYORS	CONSTRUCTION ME BE REINSTATED TO THE SATISFACTION OF THE TOWN
		44	HOSE BIB (REFER TO MECHANICAL DWGS)	-REFER TO ELECTRICAL DWGS			RESPONSIBILITY FOR THE ACCURACY,	7. 14 CONCOURSE GATE, SUITE 500		6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD	
	LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF THE SITE TO RECEIVE	FRS	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-499. REFER TO DETAI 2/A102	OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT	ATA IS NOT (613) 727-0850	A MINIMUM SETBACK OF 1.0m FROM STREET FURNTIURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNTIURE TO BE	AS WELL AS INWARD AND DESIGNED TO MAINAIN XERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE	
CD	CURB DEPRESSION			LIGHT DUTY ASPHALT PAVING)	104.04×	PROPOSED GRADING (REFER TO CIVIL DWGS)	INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.	EMAIL: Nepean@aovitd.com	RELOATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m, THE COST OF RELCOATION OF ANY UTILITY IS THE	7 ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM	
	ENTRY/ EXIT ACCESS POINTS		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE		CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)	LECALLAND DESCRIPTION:	RESPONSIBILITY OF THE DEVELOPER/ OWNER	DRAINAGE SYSTEM		
<u></u>	EXISTING TOWN HYDRANT			DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/	// BLOCKS 11, 12 and		3 THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE/ DISTURBANCE DURING	ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR		
		□⊷	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE -REFER TO ELECTRICAL DWGS	to the state of		SNOW REMOVAL COMPANY)	REGISTERED PLAN 4M -1651 CITY OF OTTAWA		CONSTRUCTION.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE	
#Q#	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS -REFER TO CIVIL DWGS		NEI EN TO EEEO MOVE BYTOO	LANDSCAPED AREA		i i∣			4 ALL BARRIER-FREE ENTRANCES AND BARRIER FREE PATHS	ON THE PROPERY	
* *	-KEI EK TO CIVIE DWG3	□→	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL	The Prof. of the					OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM	
		ا ا	-REFER TO ELECTRICAL DWGS	POUDED CONCRETE DAD AT LOADING ADEA & WASTE COLLECTION						CONSTRUCTION	
		L		POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION							





Key Plai

2	22/06/30	Issued for CLC- Reply	EM	
1	22/05/20	Issued for CLC	EM	
No.	Date:	Issue/Revision	By:	
Drawing Issues/Revisions:				

Note

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Project:

WATERIDGE APARTMENT BUILDING 1000/1050 TAWADINA ROAD -

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

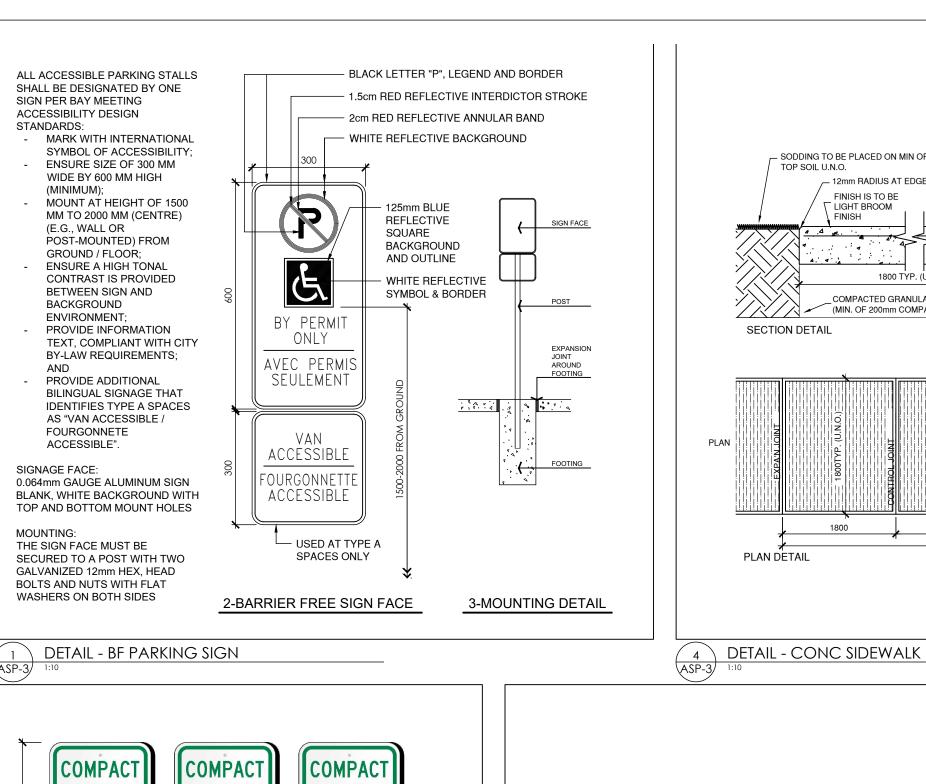
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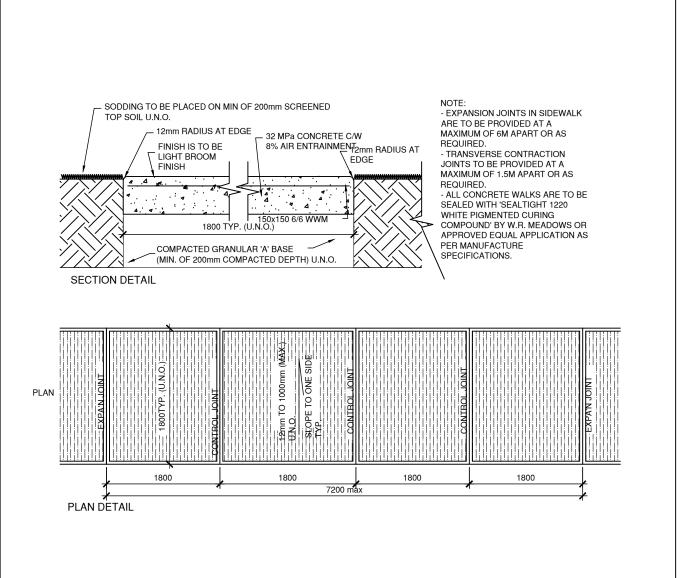
SITE PLAN - BLDG 3 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004
	EM Scale:	Scale: Date:

Drawing No

ASP-8





- SLIP RESISTANT CURB & WALK FINISH

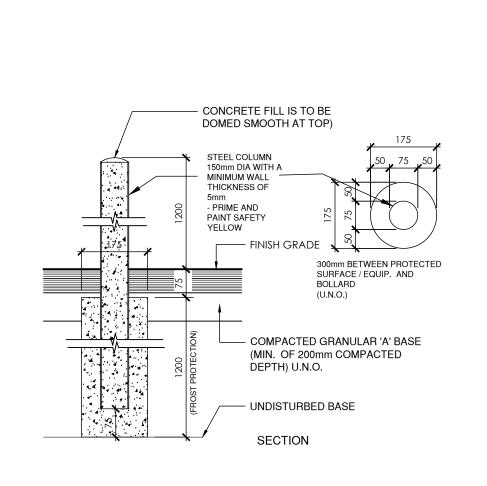
- CURB & SIDEWALK BEYOND AS PER

TO BE LIGHT BROOM FINISH

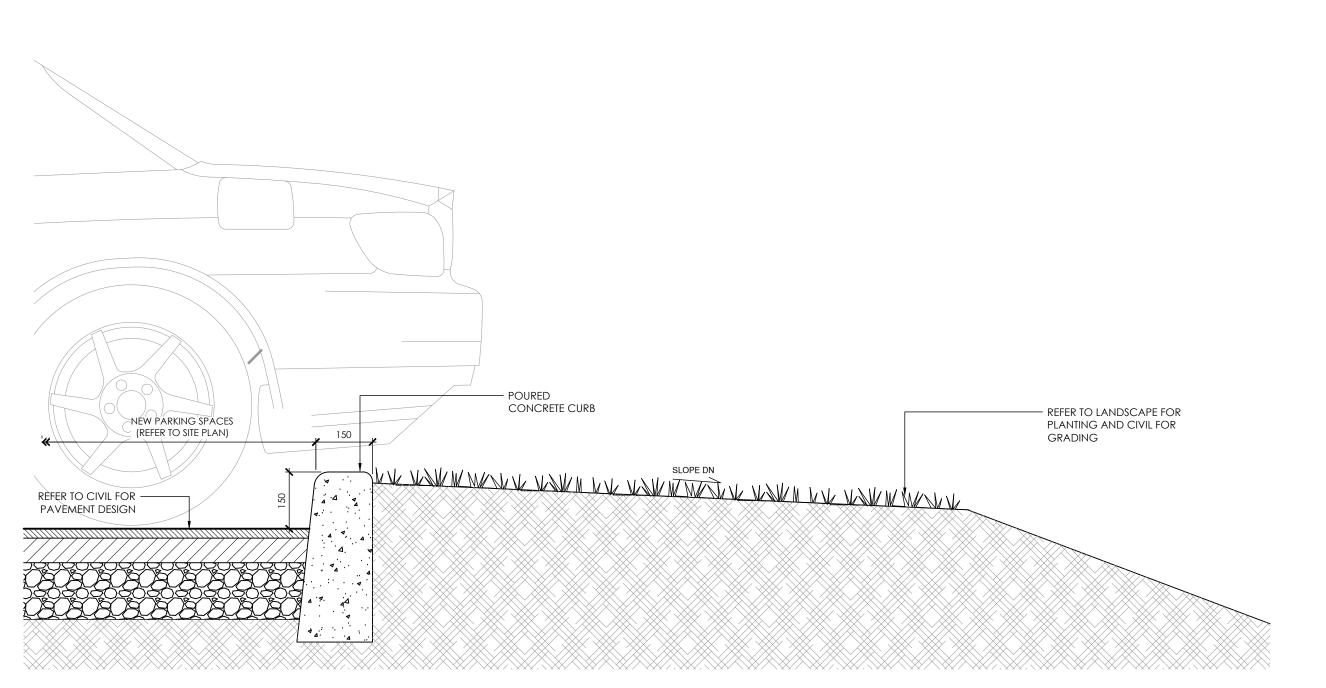
300 min COMPACT CAR PARKING (RIGHT PARKING PARKING (LEFT

DETAIL 8/A.102 FLUSH CURB -PROVIDE 25mm RADIUS AT -32 MPa CONCRETE C/W 8% AIR ENTRAINMENT (BIDIRECTIONAL ARROW) ARROW) ARROW) — FINISH GRADE COMPACT CAR PARKING SIGNS LOCATED AS PER SITE PLAN - 15m CONT. REBAR REFLECTIVE ALUMINUM, WHITE BACKGROUND WITH TOP AND BOTTOM MOUNTING HOLES THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX, HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES COMPACTED GRANULAR 'B' BASE (MIN OF 300MM COMPACTED DEPTH U.N.O) 2 DETAIL - COMPACT CAR PARKING SIGN 5 SECTION DETAIL - FLUSH CURB @ SIDEWALK

- BUILDING FACE WHERE APPLICABLE AS PER SITE PLAN - 12mm RADIUS AT EDGE – POURED CONCRETE SIDEWALK ON GRANULAR 'A' BASE (MIN 200 MM COMPACTED DEPTH U.N.O.) - 32MPA CONCRETE C/W 8% AIR ENTRAINMENT - BROOM FINISH 12mm CONT. ASPHALT -- POURED CONCRETE CURB IMPREGNATED FELT -PROVIDE 25mm RADIUS AT FRONT EXPANSION JOINT ALONG EDGE & 12mm RADIUS AT BACK CURB & BLDG FACE WHERE APPLICABLE SODDING TO BE --32 MPa CONCRETE C/W 8% AIR PLACED ON MIN ENTRAINMENT OF 200mm -BROOM FINISH SCREENED TOP SOIL U.N.O. — FINISH GRADE VARIES SEE SITE PLAIN — 15m CONT. REBAR 150x150 6/6 WWM --COMPACTED GRANULAR 'B' BASE (MIN OF 300MM COMPACTED DEPTH U.N.O)

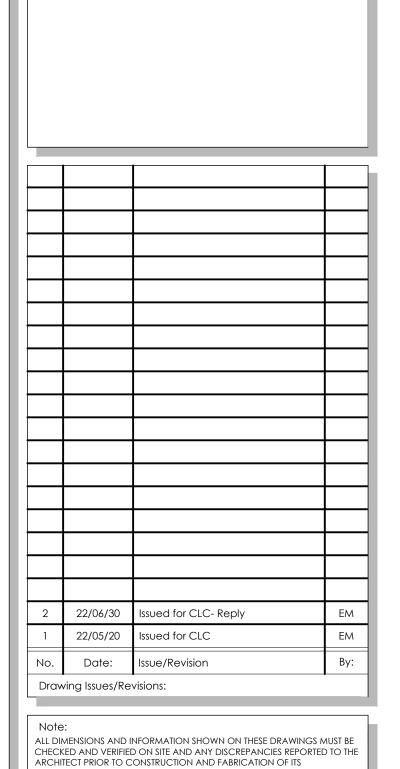


6 SECTION DETAIL - CONC CURB @ SIDEWALK



3 DETAIL - TYP BOLLARD

7 DETAIL - CURB AT PARKING
ASP-3 1:10



Key Plan:

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WATERIDGE **APARTMENT BUILDING**

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

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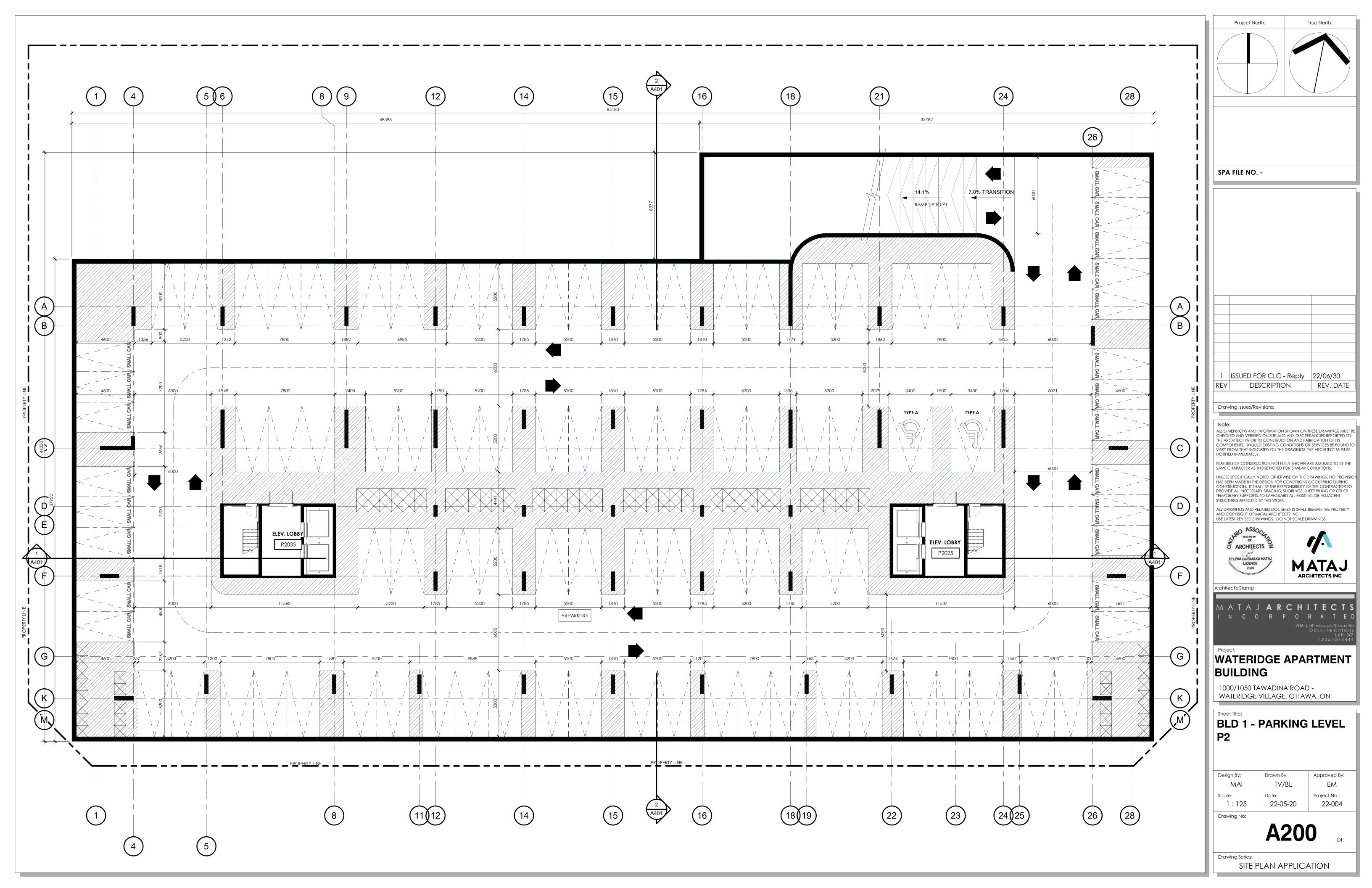
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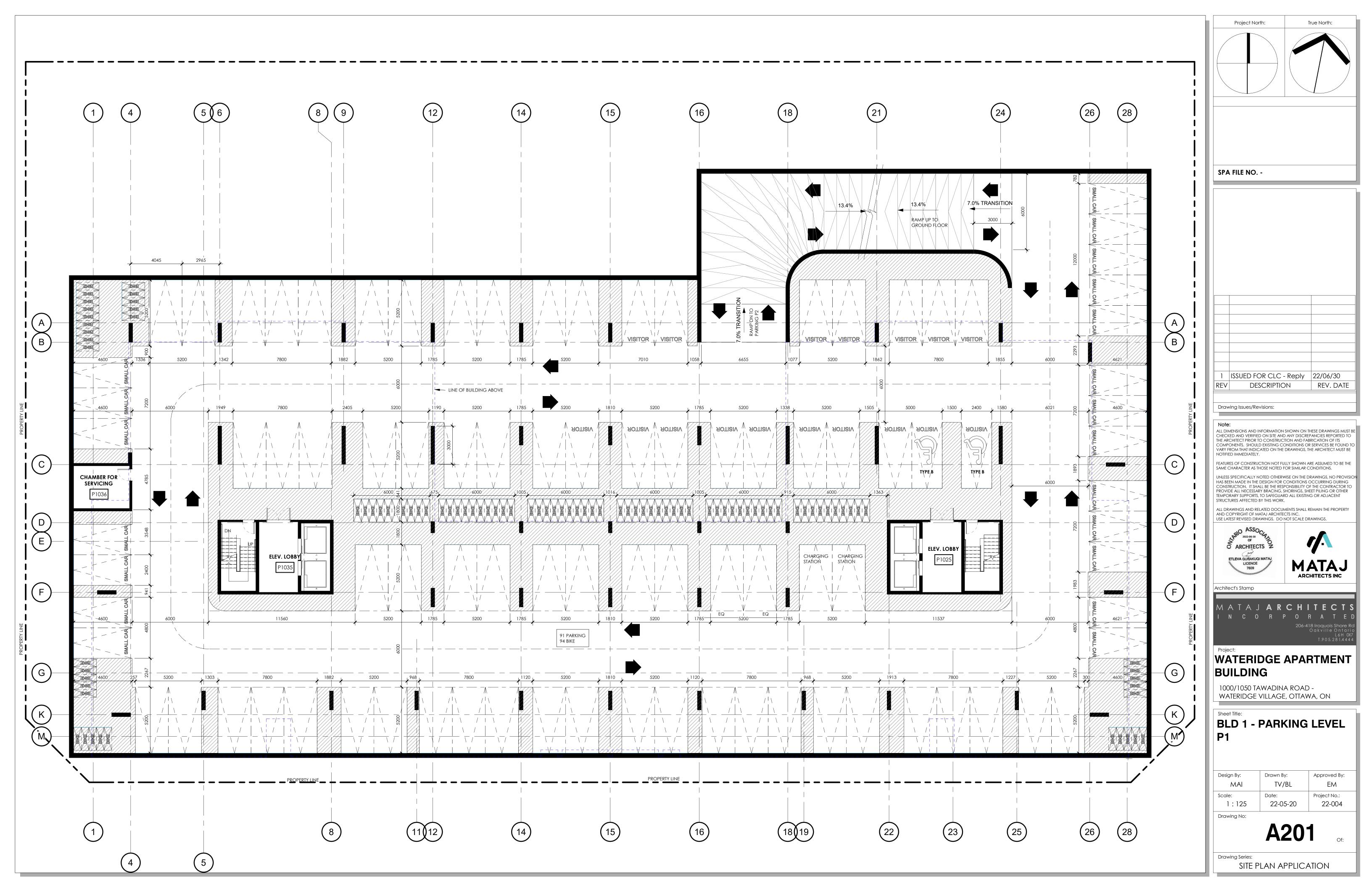
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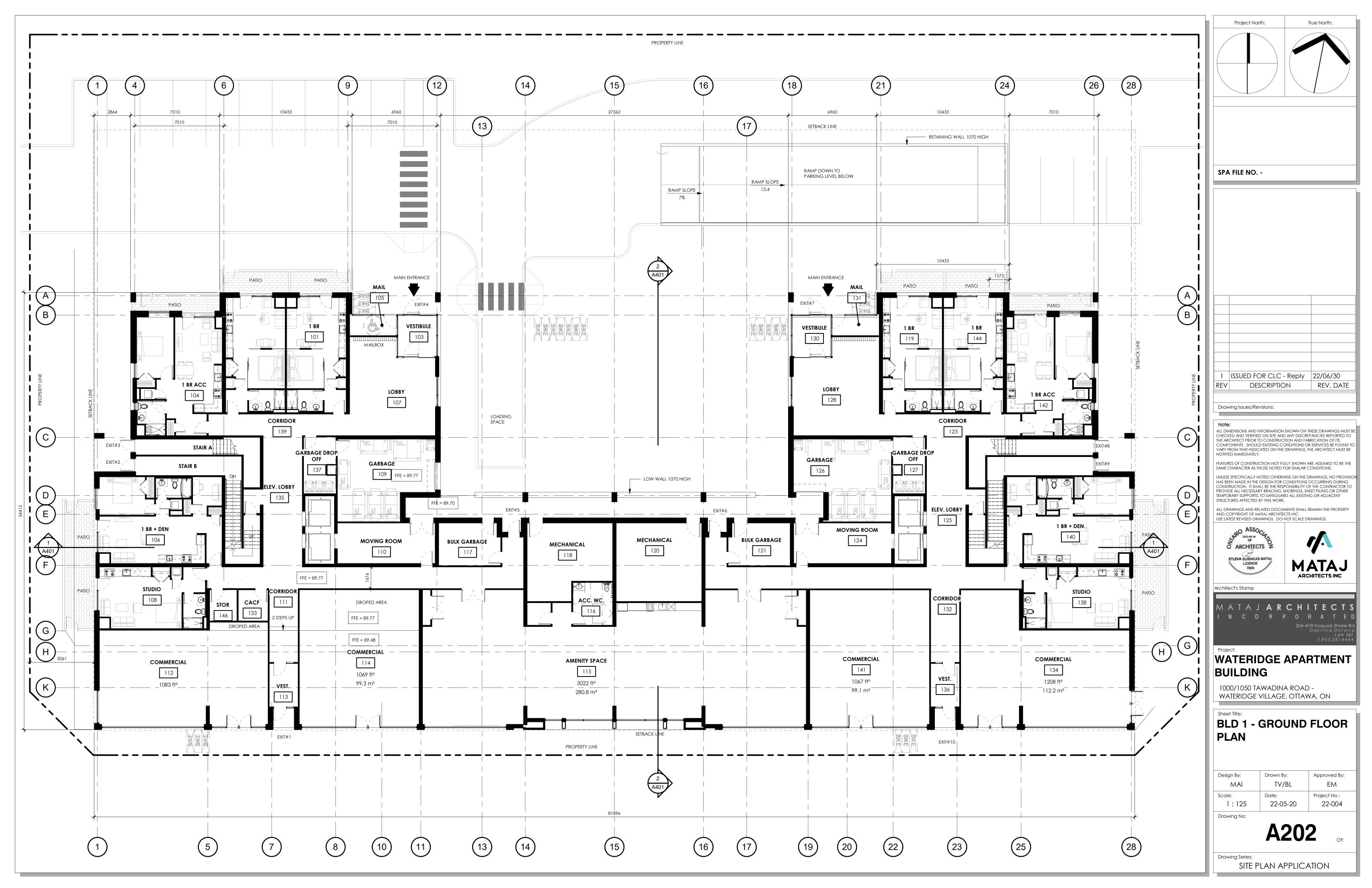
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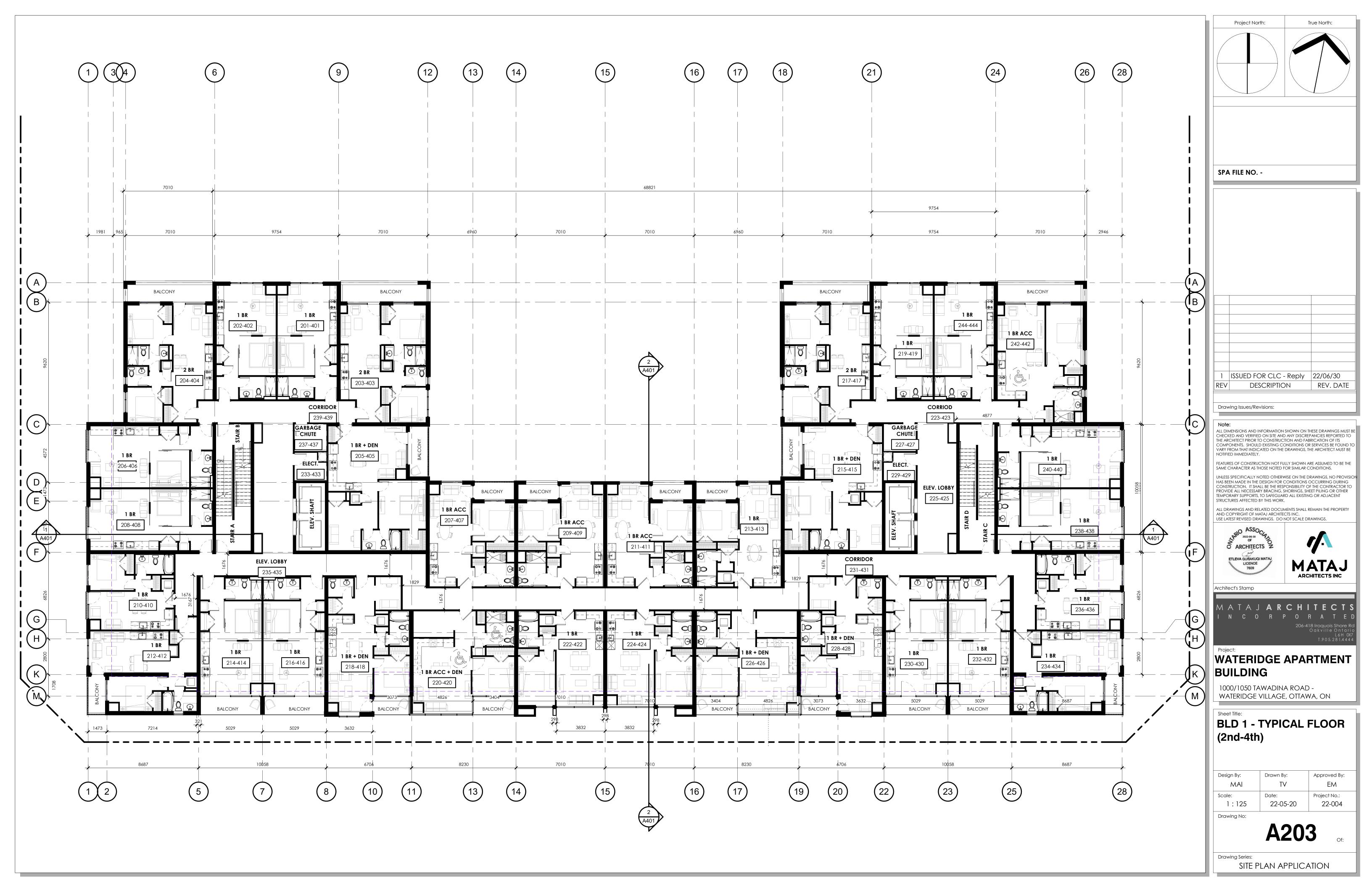
ASP-9

SITE PLAN APPLICATION

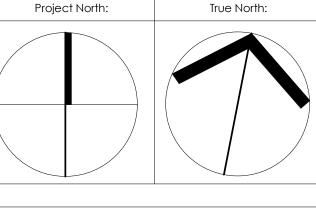


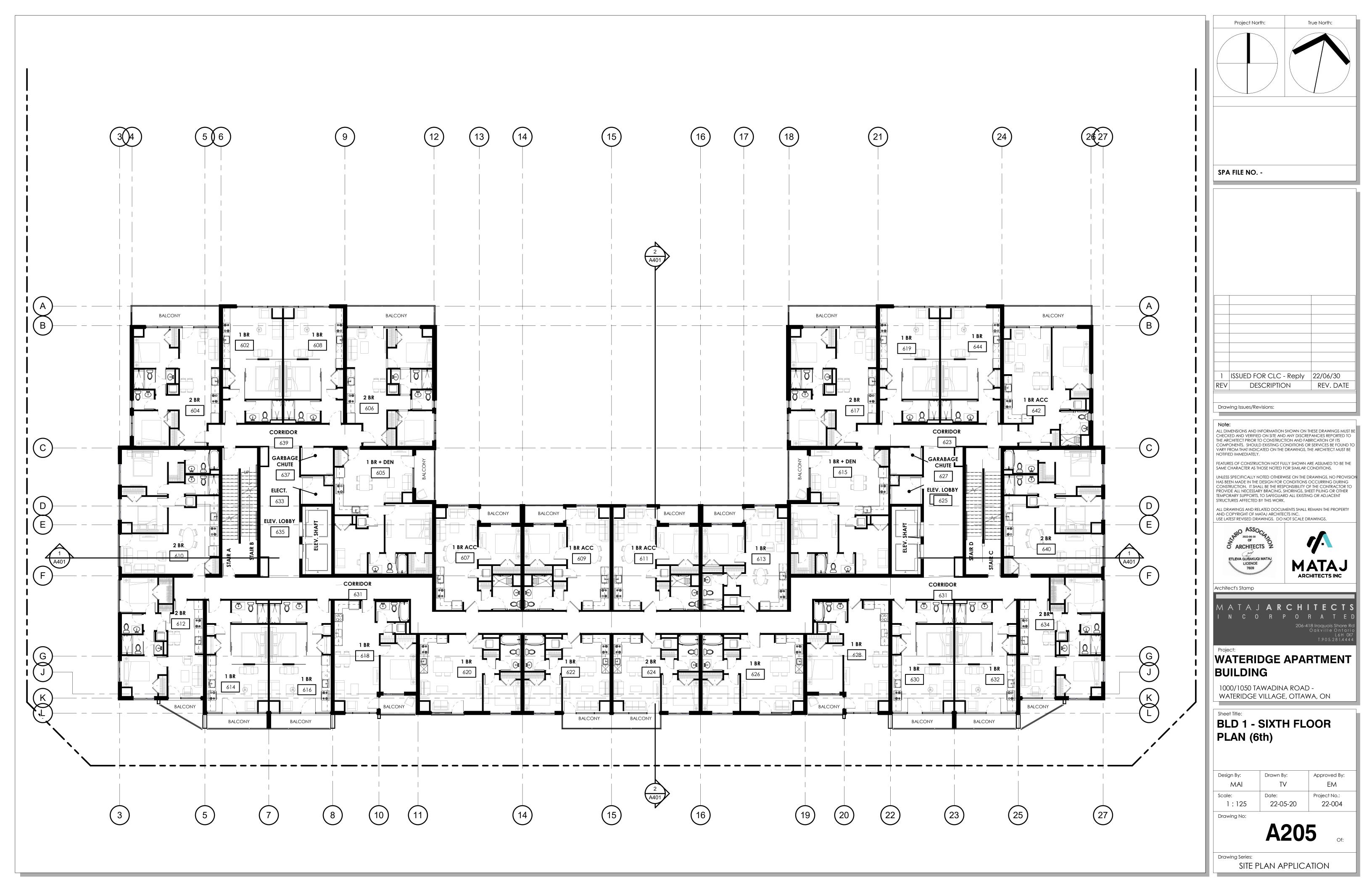


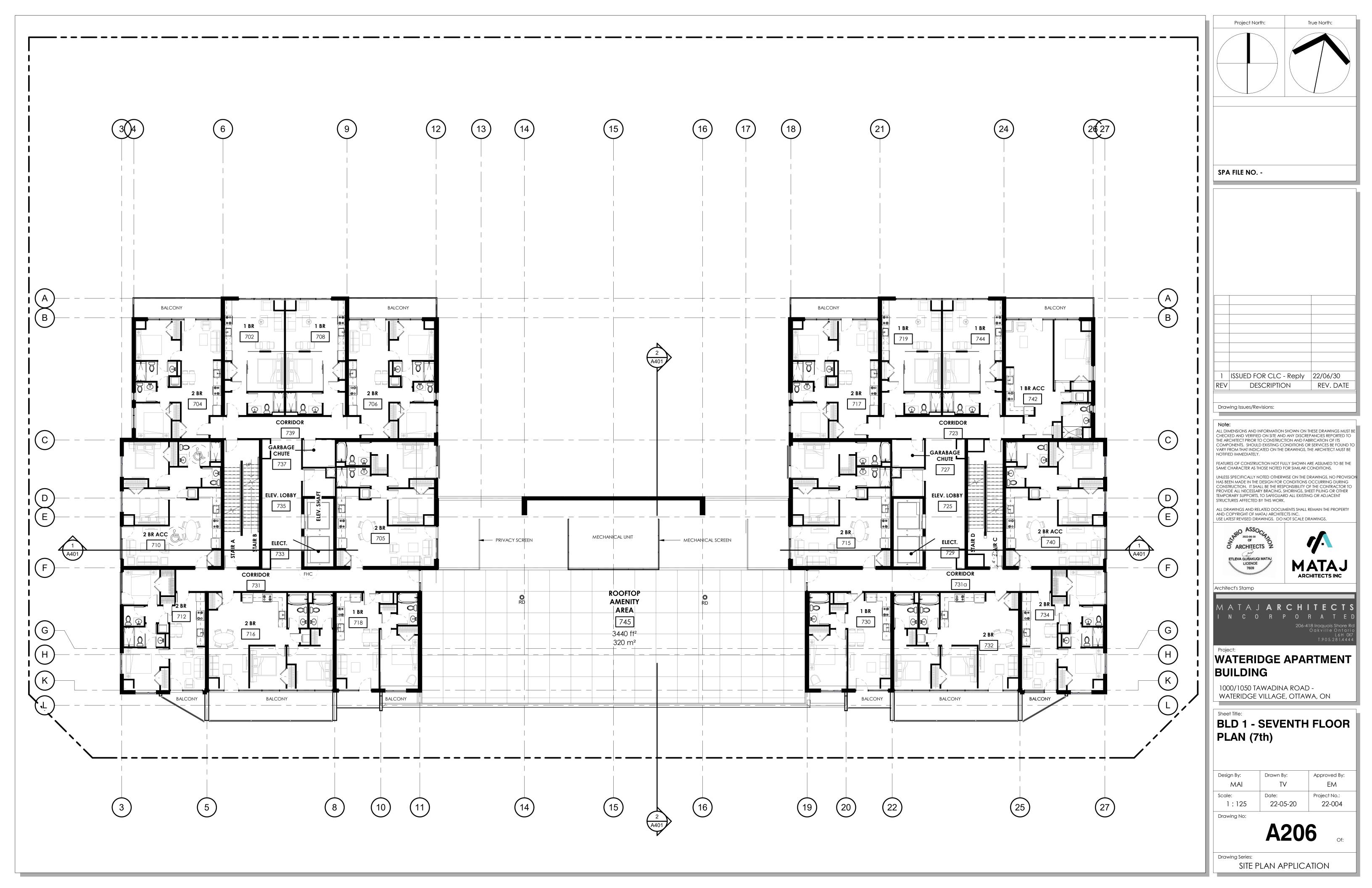


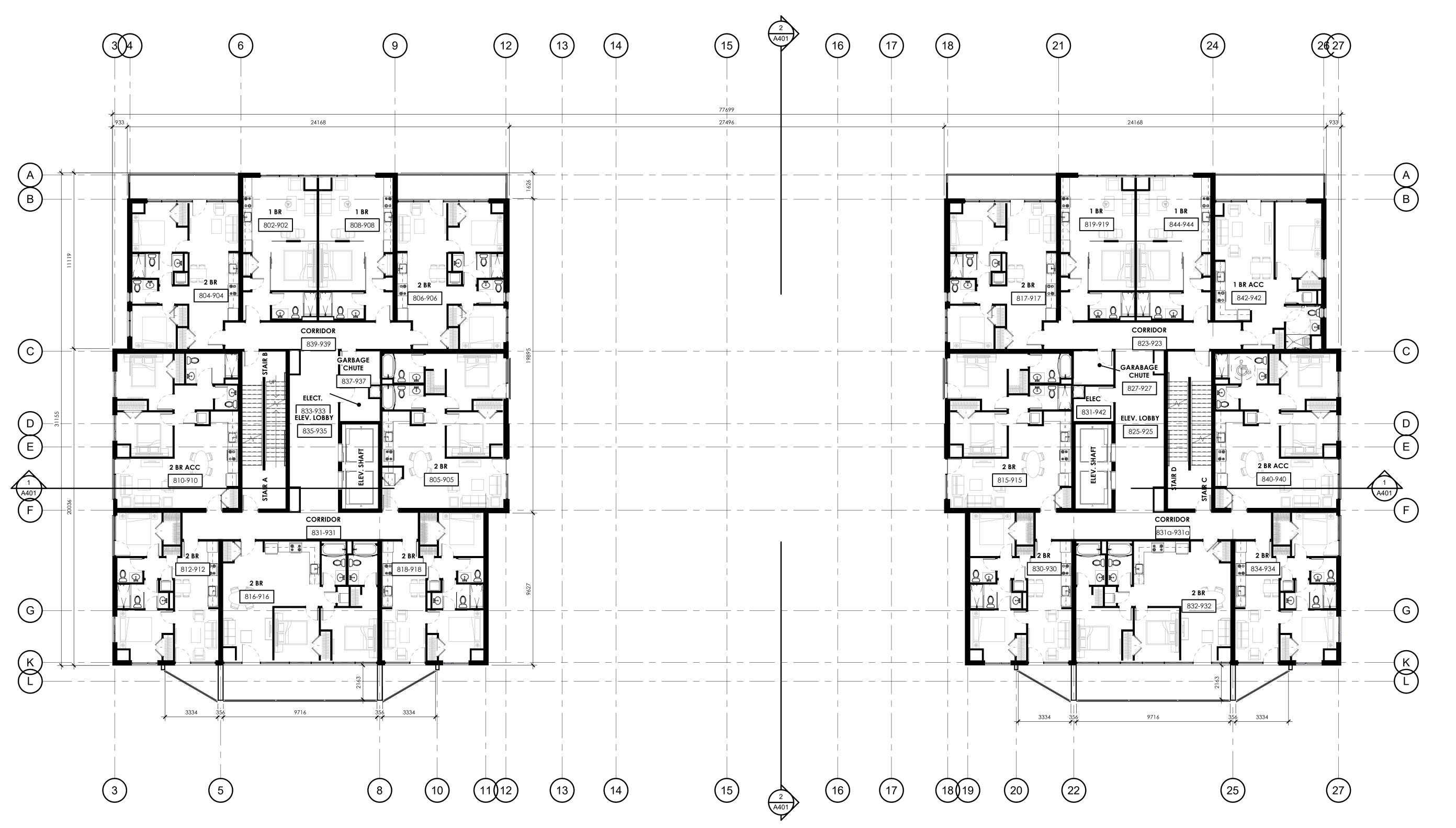


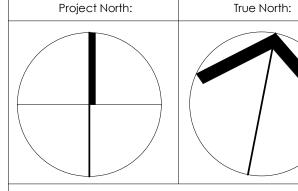












1 ISSUED FOR CLC - Reply 22/06/30

DESCRIPTION

Drawing Issues/Revisions:

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MATAJ ARCHITECTS INC

REV. DATE

Architect's Stamp

ATAJ**ARCHITECT**N C O R P O R A T E

206-418 Iroquois Shore
O akville O nto
L6H
T.905, 281.4

Project:

WATERIDGE APARTMENT BUILDING

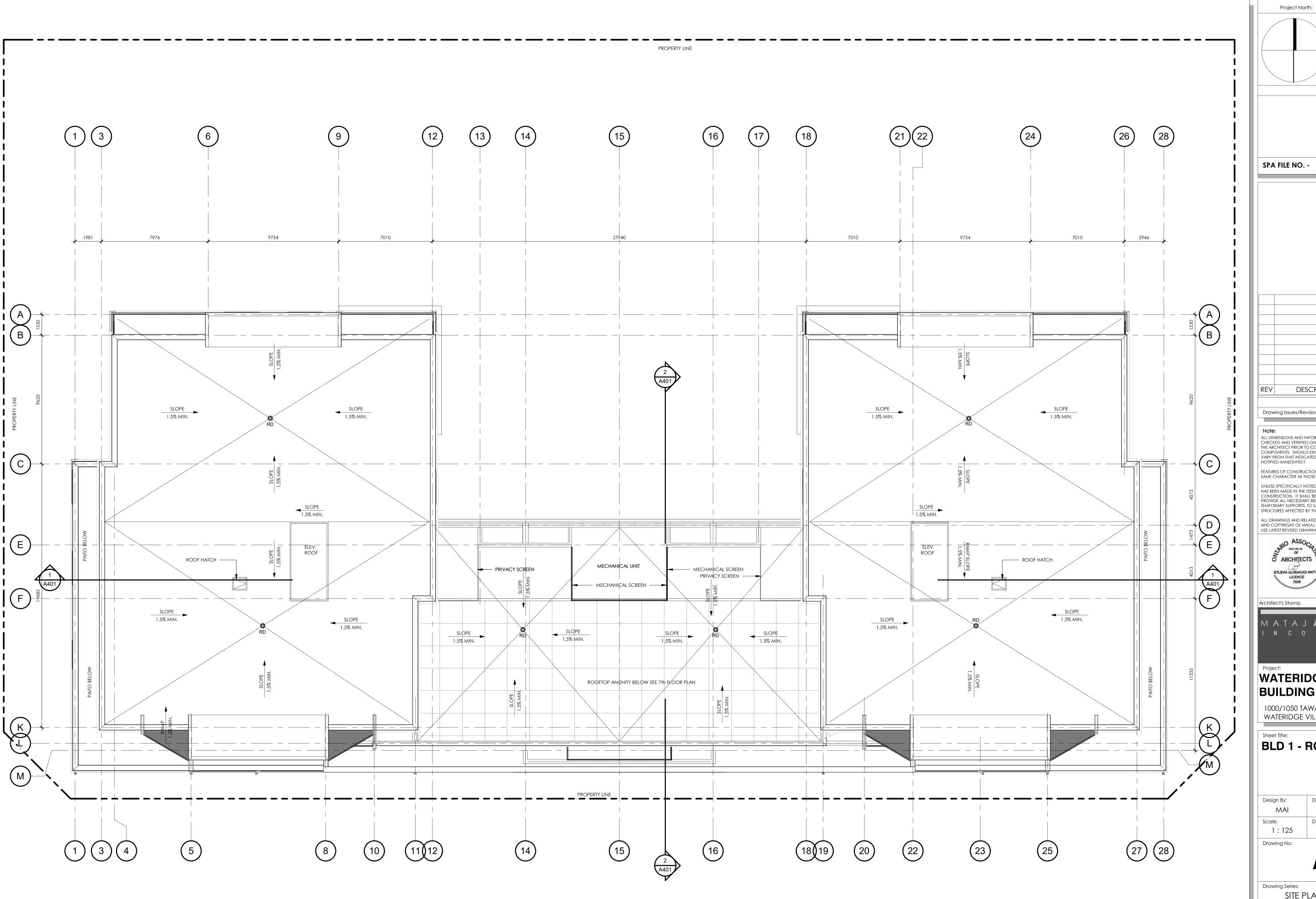
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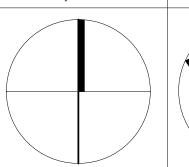
BLD 1 - EIGHT & NINE FLOOR PLAN (8th-9th)

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Drawing Issues/Revisions:

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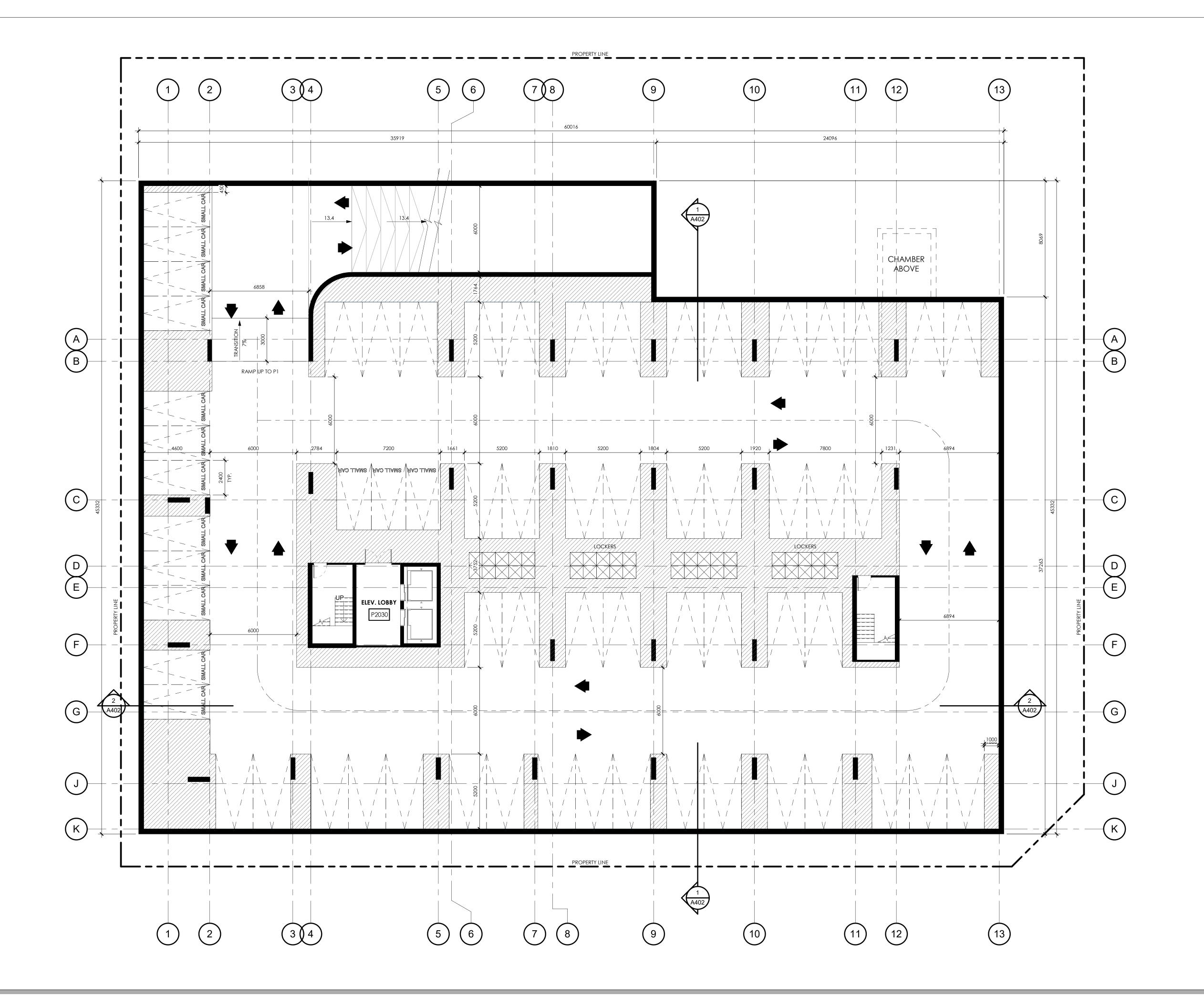
WATERIDGE APARTMENT **BUILDING**

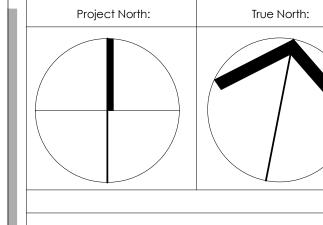
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BLD 1 - ROOF PLAN

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Project No.: 22-004 22-05-20 1:125





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DESCRIPTION

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ATAJARCHITECT
NCORPORATE

206-418 Iroquois Shore
Oakville Onto

Project

WATERIDGE APARTMENT BUILDING

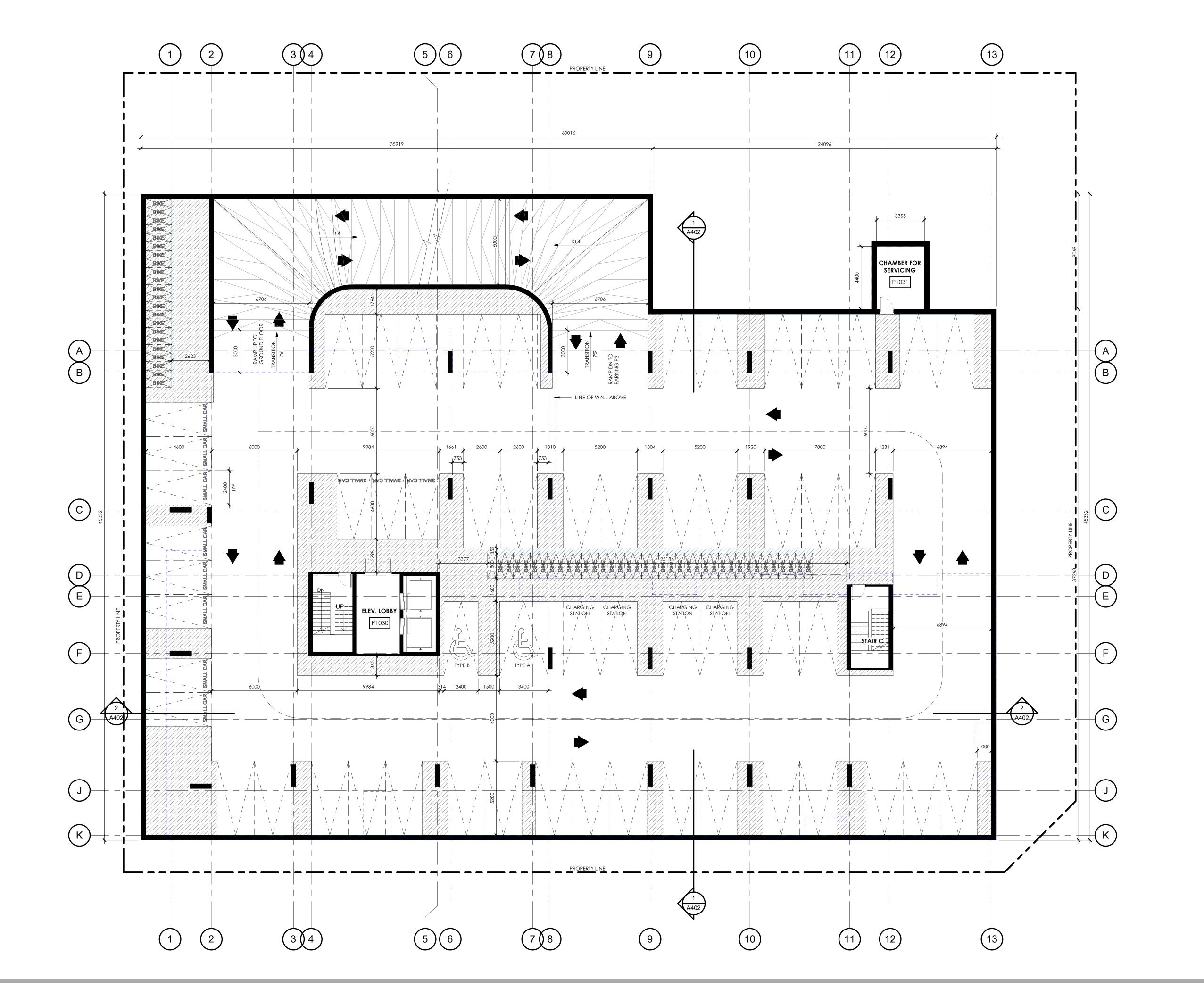
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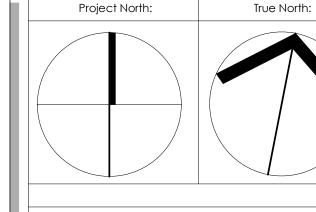
BLD 2 - PARKING LEVEL P2

	Design By:	Drawn By:	Approved By
	MAI	TV	EM
	Scale: 1:125	Date: 22-05-20	Project No.: 22-004

Drawing No:

A209





1	ISSUED FOR CLC - Reply	22/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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N C O R P O R A T E

206-418 Iroquois Shore
Oakville Onta
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T.905.281.44

Project:

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

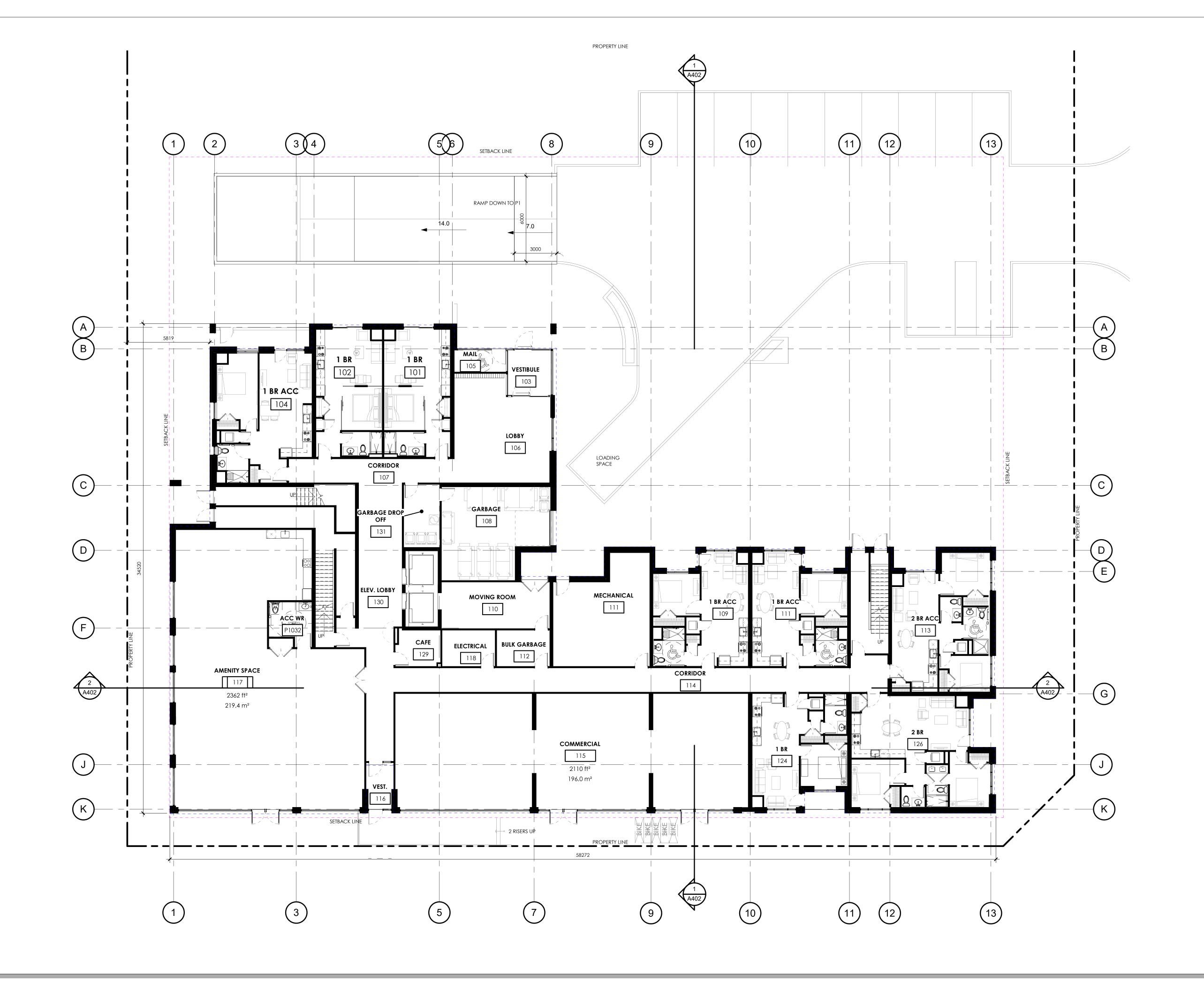
BLD 2 - PARKING LEVEL P1

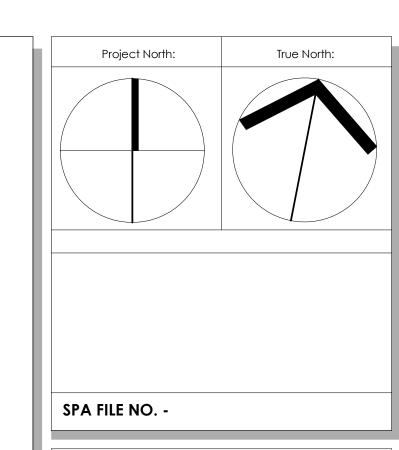
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WATERIDGE APARTMENT BUILDING

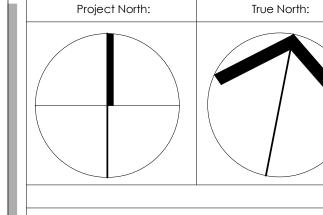
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 2 - GROUND FLOOR PLAN

Design By:	Drawn By:	Approved By
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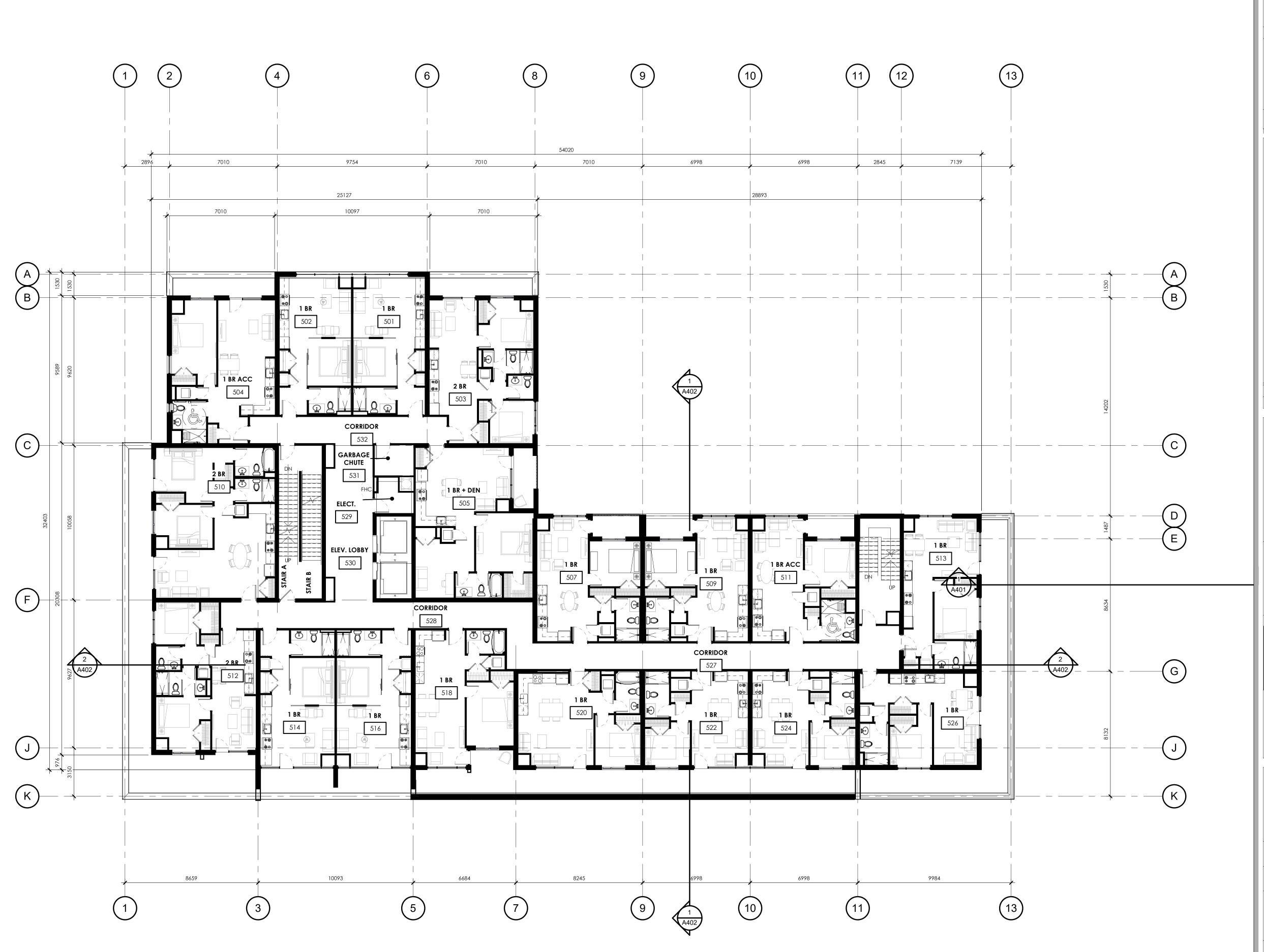
WATERIDGE APARTMENT BUILDING

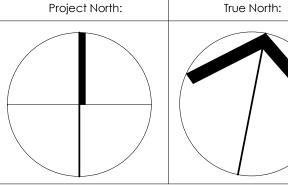
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 2 - TYPICAL FLOOR (2nd-4th)

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DESCRIPTION

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WATERIDGE APARTMENT BUILDING

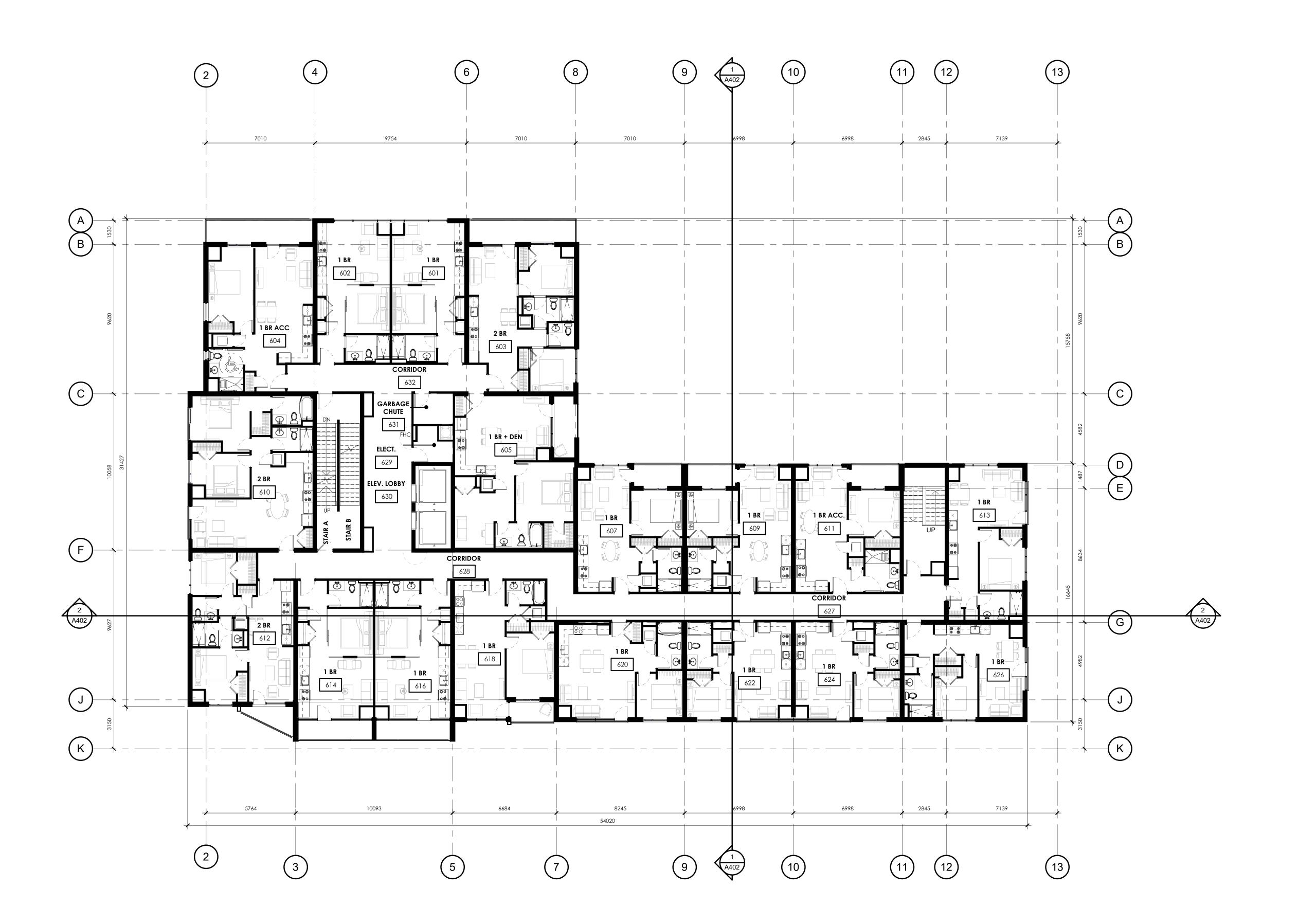
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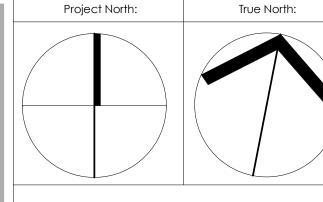
BLD 2 - FIFTH FLOOR PLAN (5th)

Design By:	Drawn By:	Approved By:
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Project No.: 1:125 22-05-20 22-004

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WATERIDGE APARTMENT BUILDING

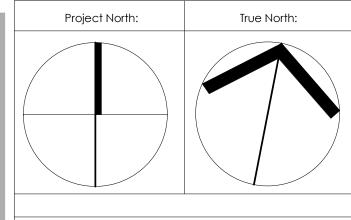
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 2 - SIXTH FLOOR (6th)

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Project

WATERIDGE APARTMENT BUILDING

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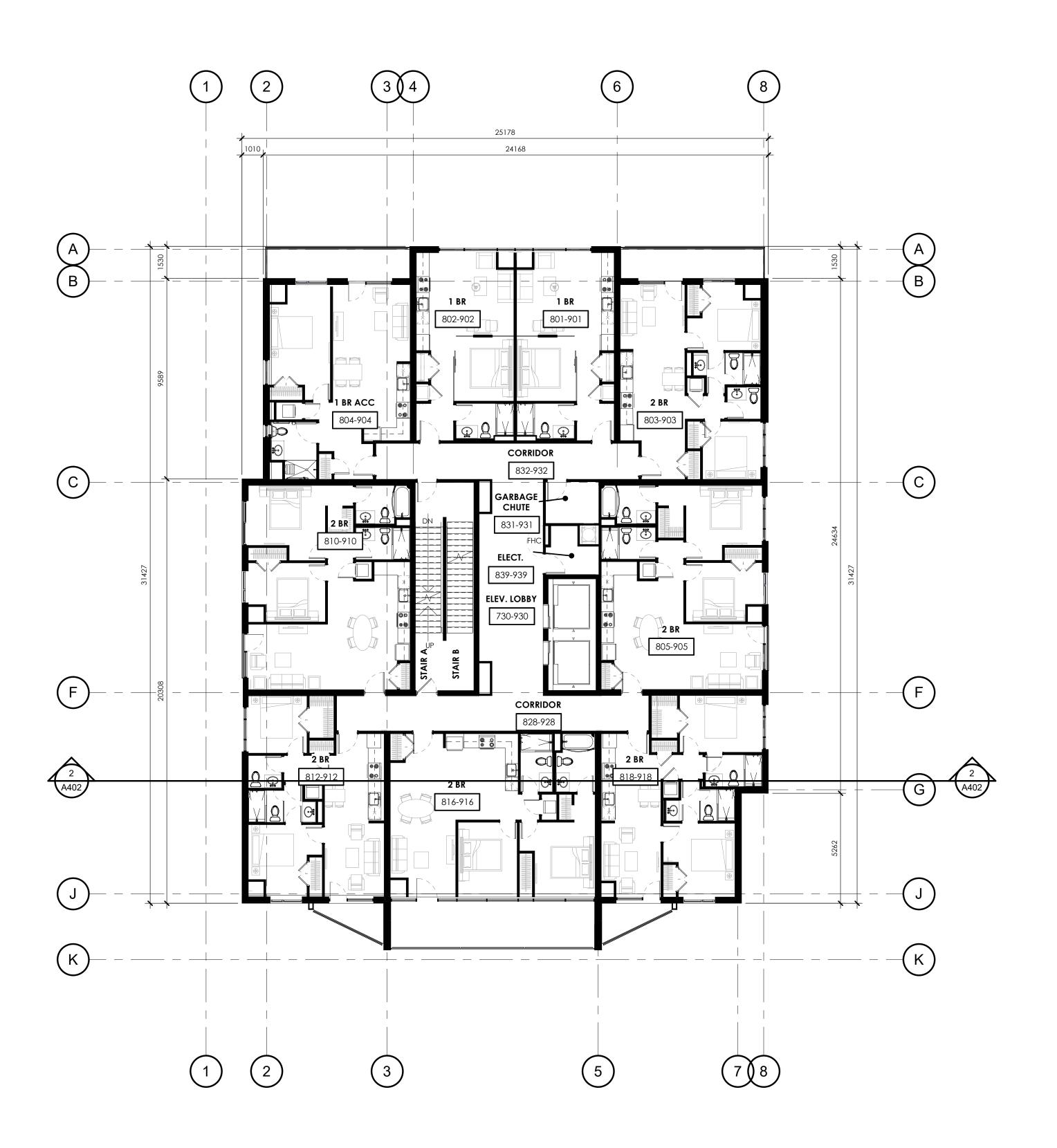
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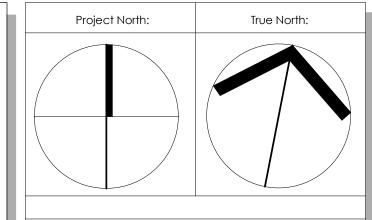
BLD 2 SEVENTH FLOOR (7th)

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Drawing No:

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Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

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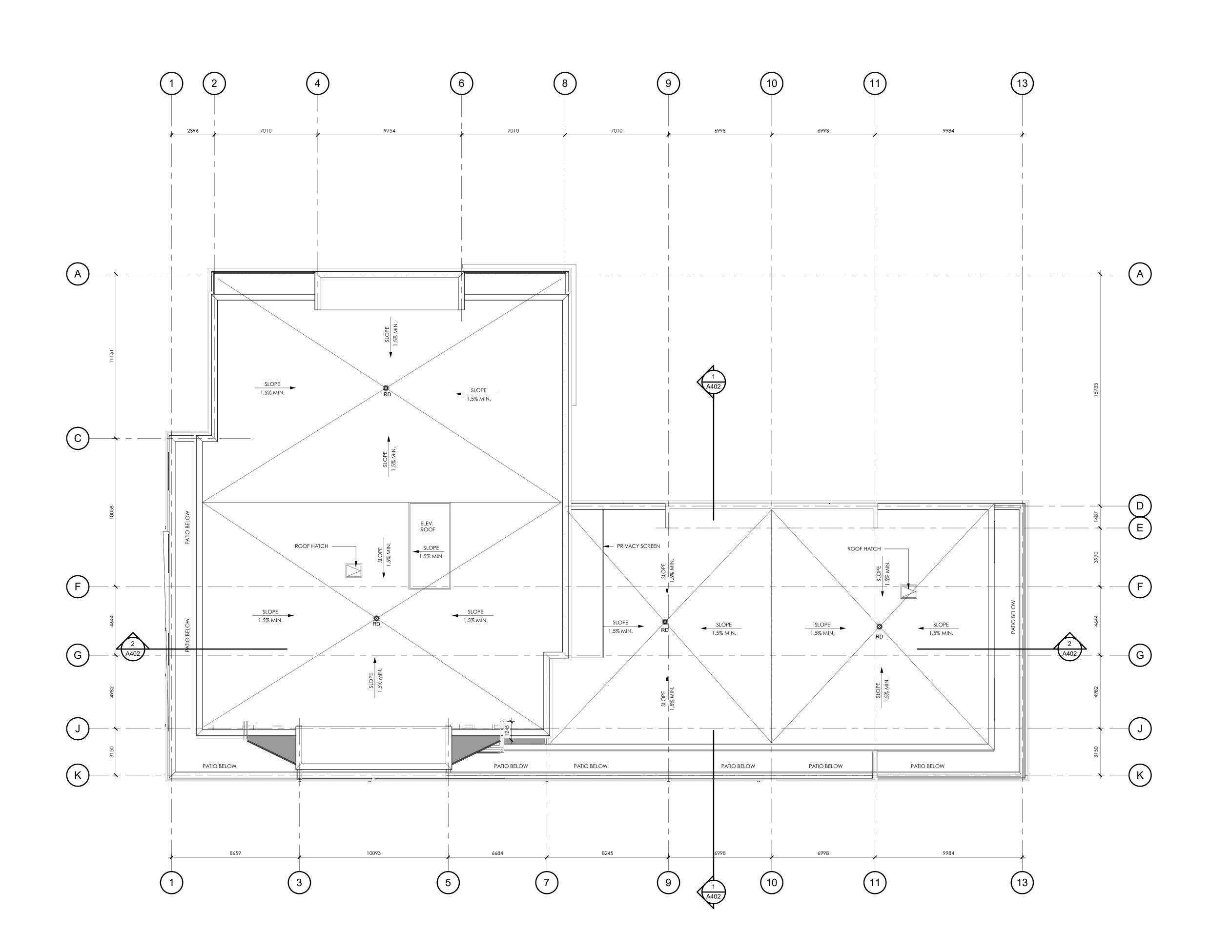
BLD 2 - EIGHT & NINTH FLOOR PLAN (8th-9th)

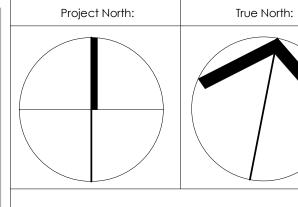
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Drawing No:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

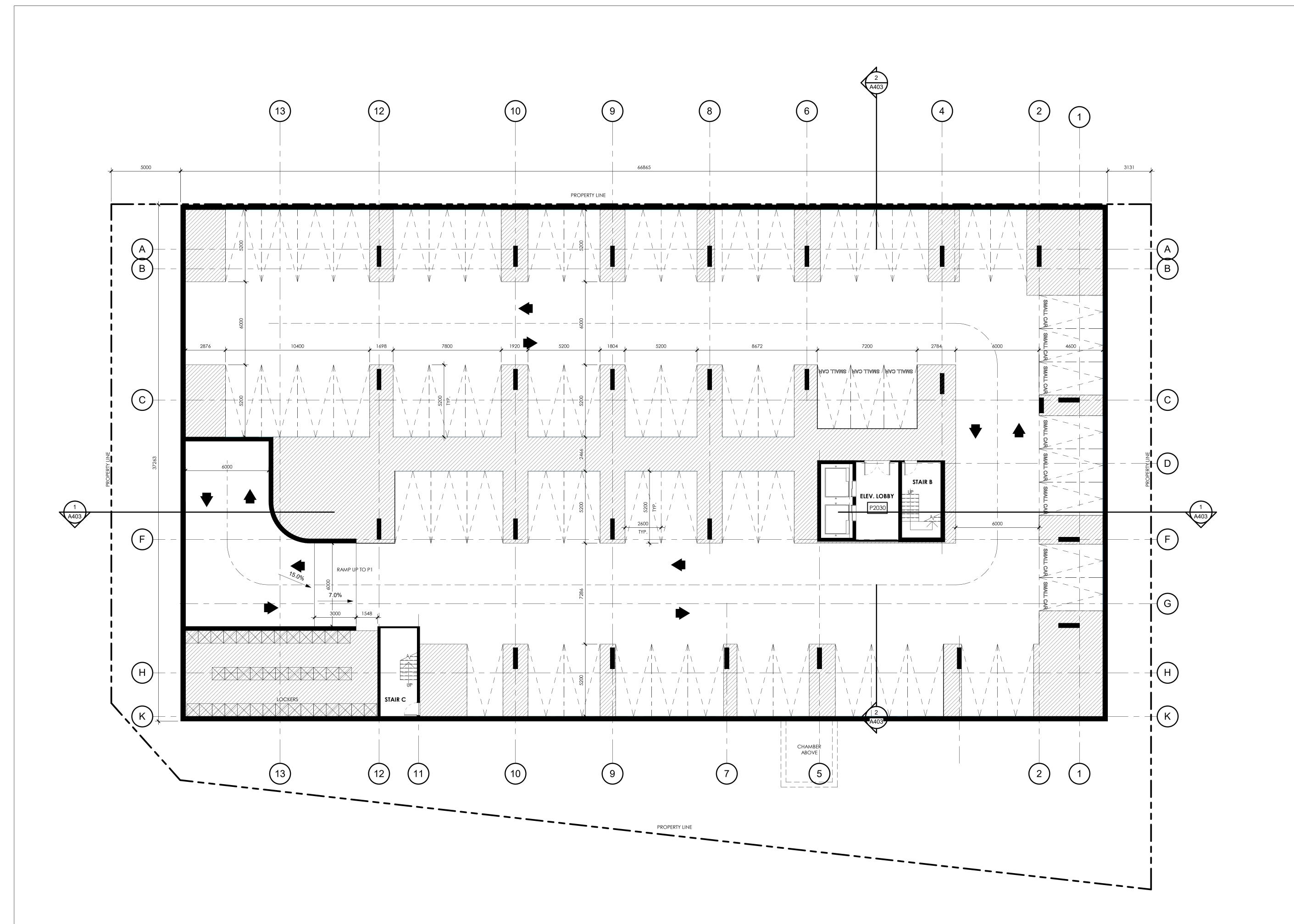
BLD 2 - ROOF PLAN

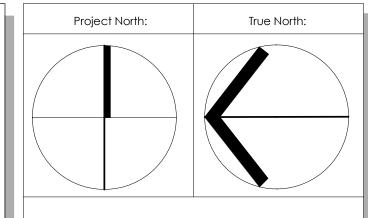
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A217

Drawing Series:

SITE PLAN APPLICATION





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	1	ISSUED FOR CLC - Reply	22/06/30

Drawing Issues/Revisions:

Note

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206-418 Iroquois Shore Rd
O akville Ontaria
L6H 0X7
T.905.281.4444

Project

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

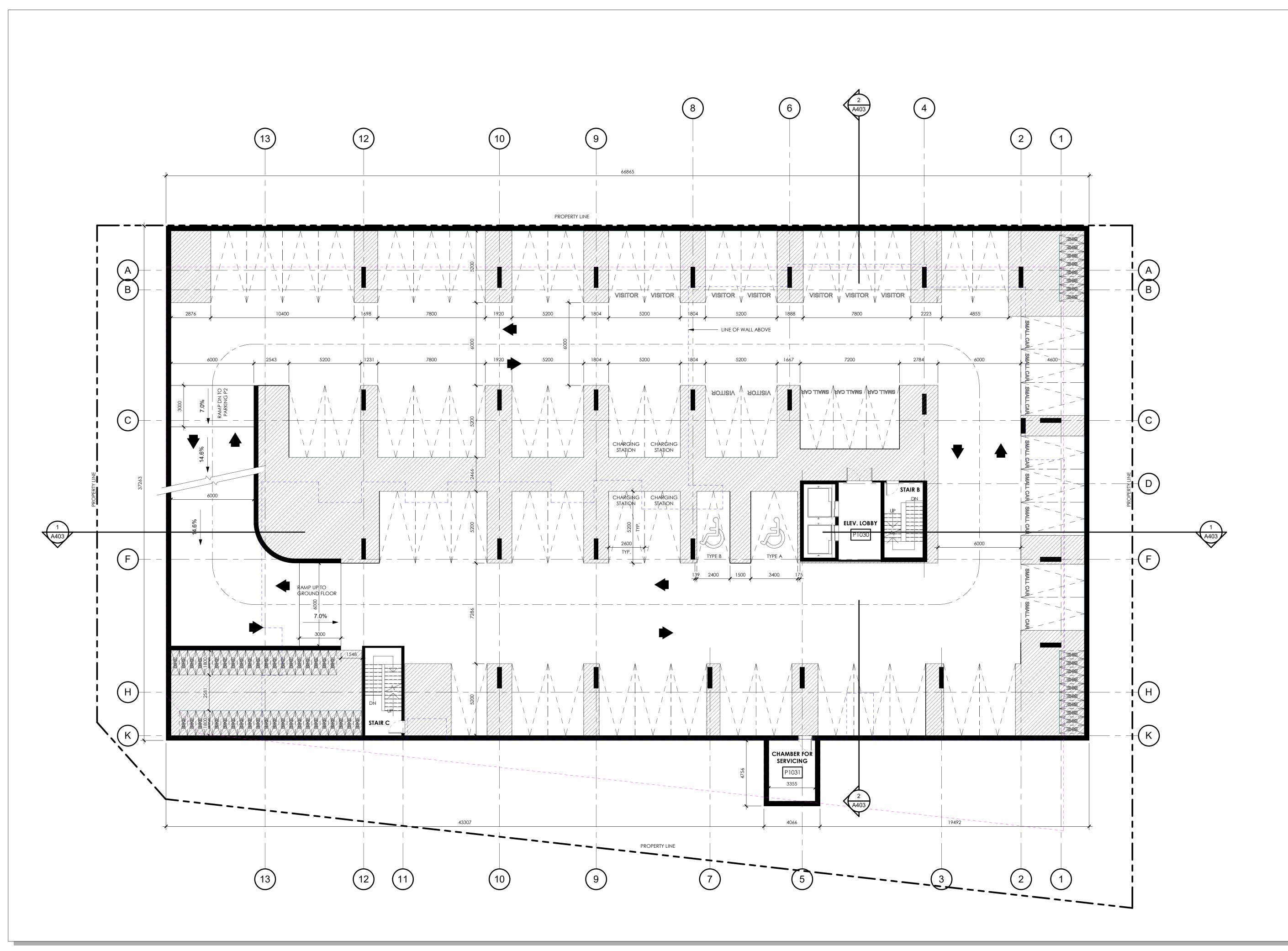
BLD 3 - PARKING LEVEL
P2

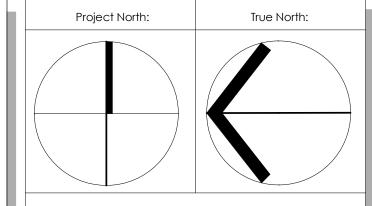
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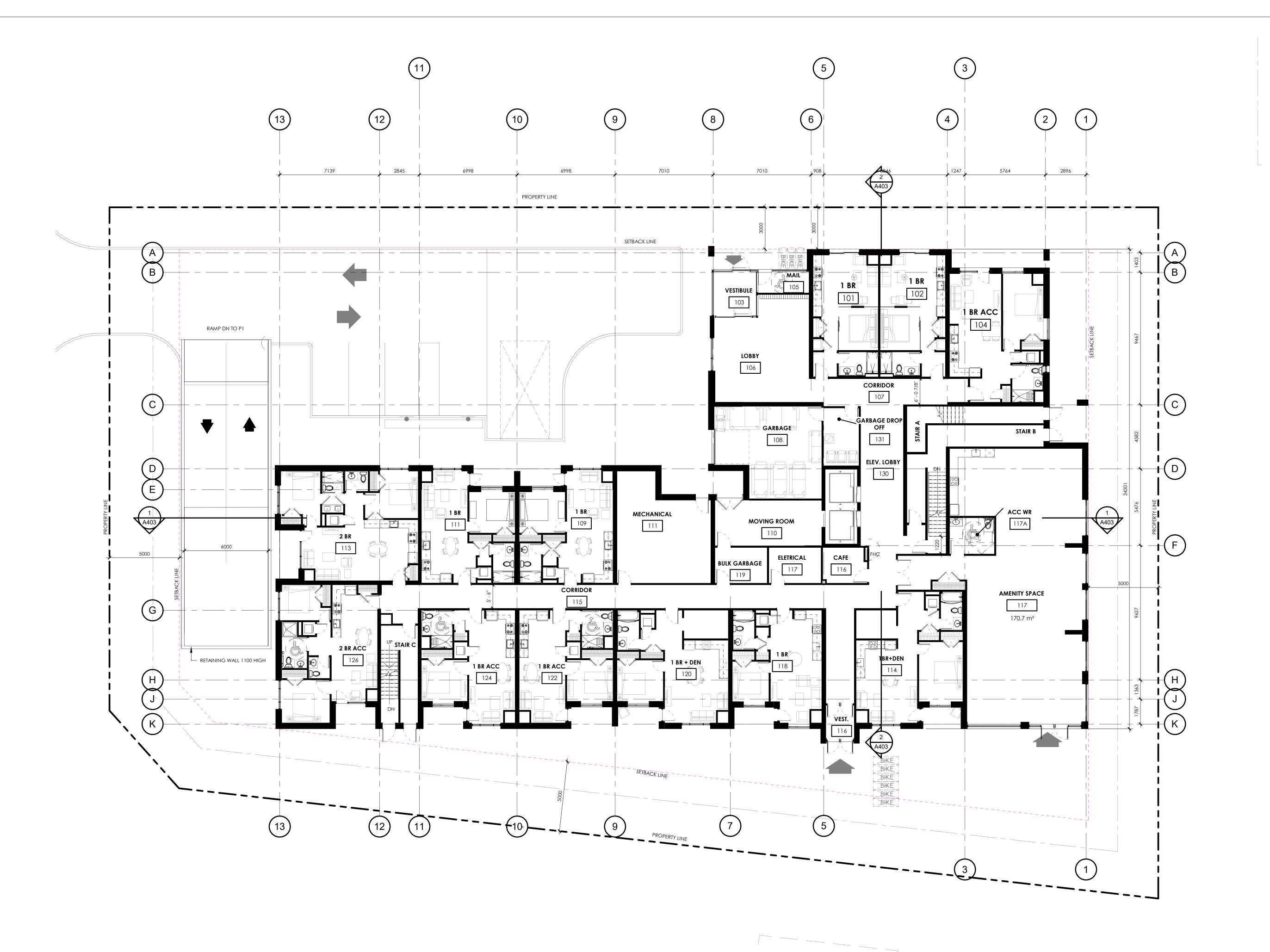
WATERIDGE APARTMENT BUILDING

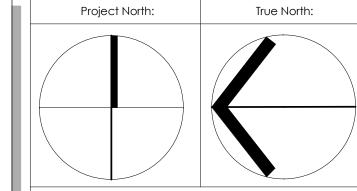
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - PARKING LEVEL P1

- 1	Design By:	Drawn By:	Approved By:
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Architect's Stamp

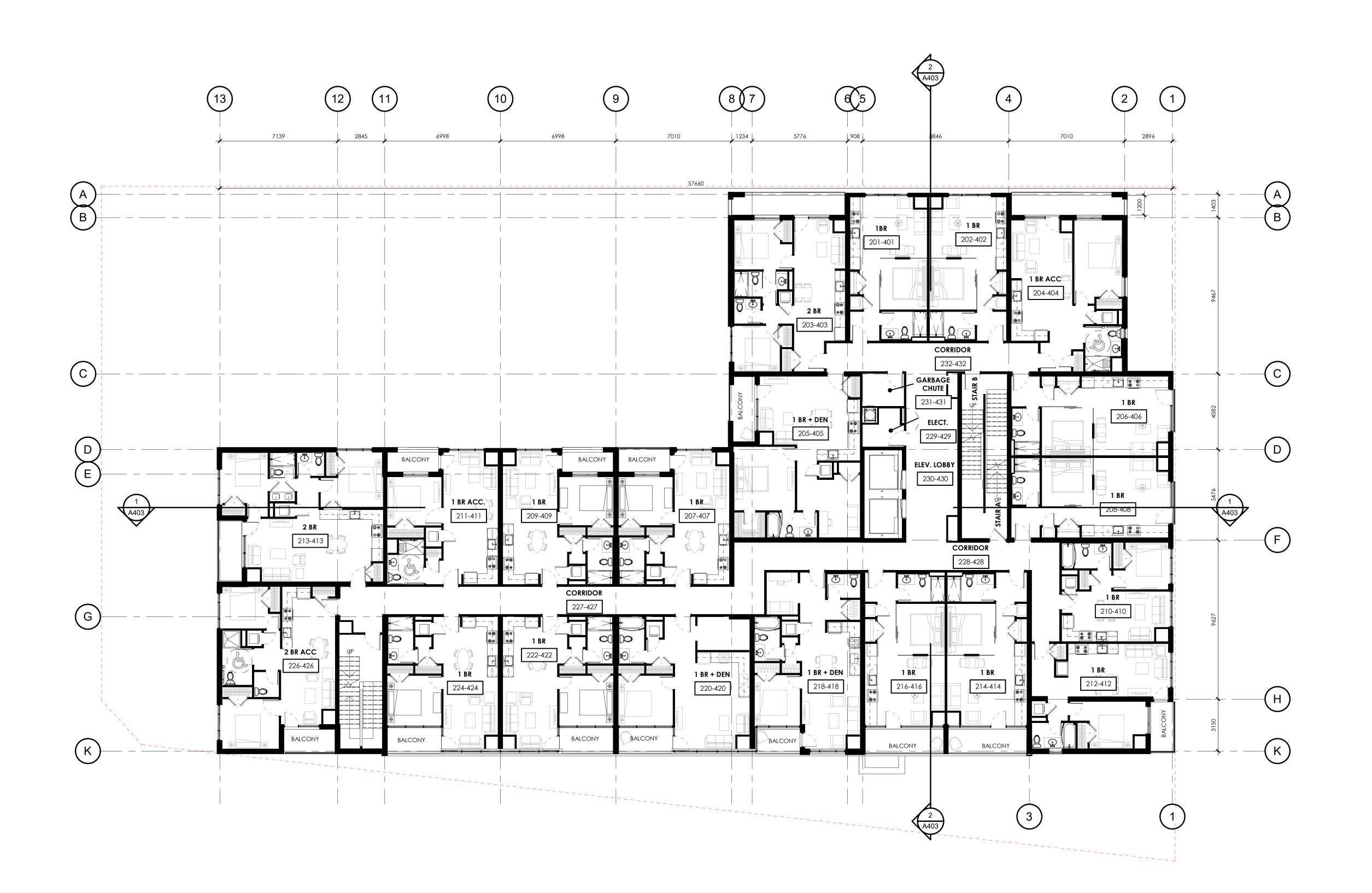
WATERIDGE APARTMENT BUILDING

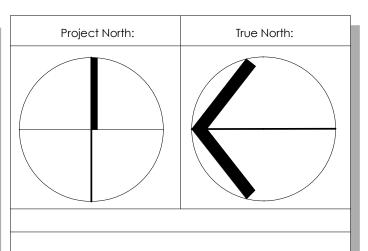
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - GROUND FLOOR PLAN

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale: 1:125	Date: 22-05-20	Project No.: 22-004
Drawing No:		

A220





1	ISSUED FOR CLC - Reply	22/06/30
REV	DESCRIPTION	REV. DATE
	<u>'</u>	

Drawing Issues/Revisions:

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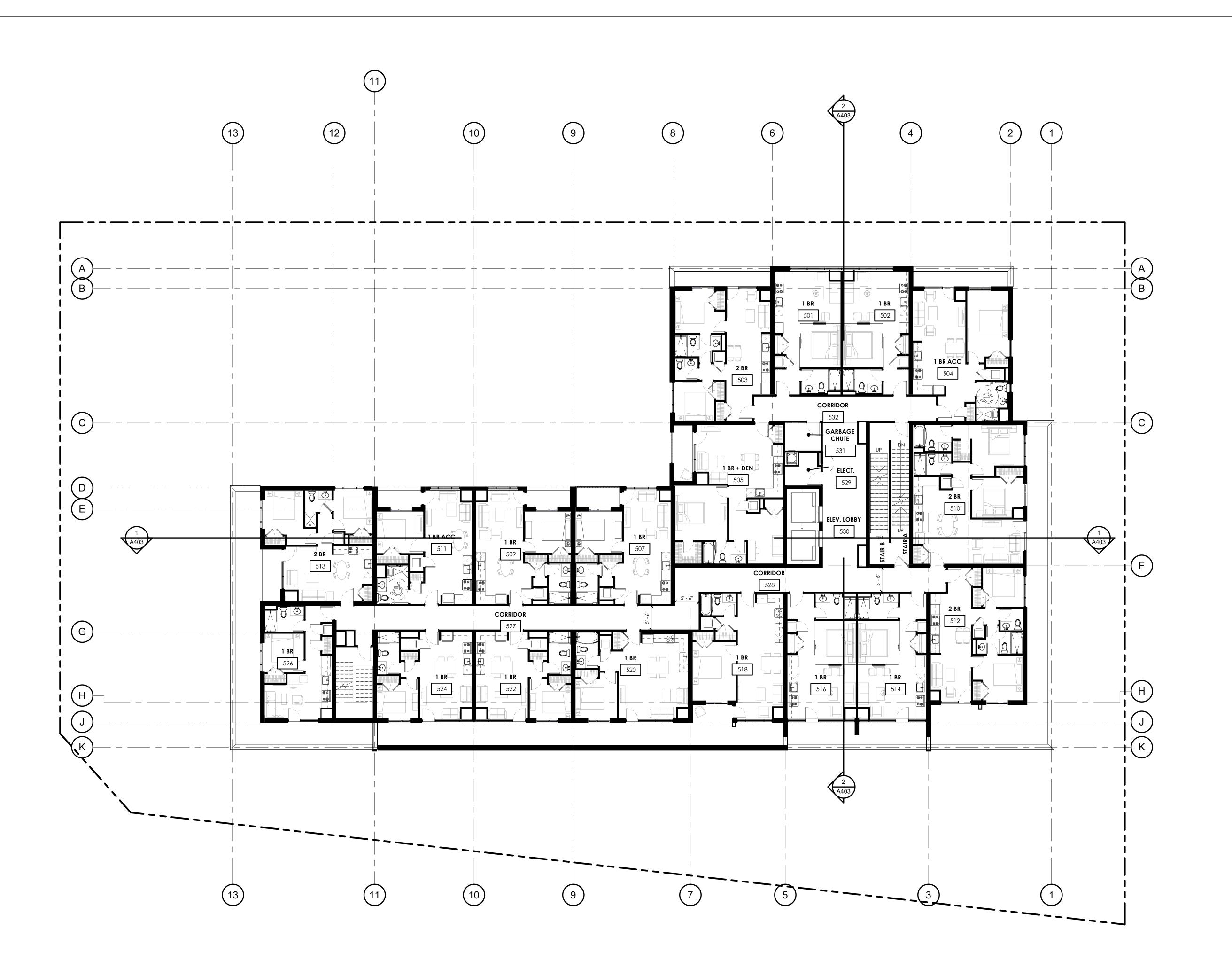
WATERIDGE APARTMENT BUILDING

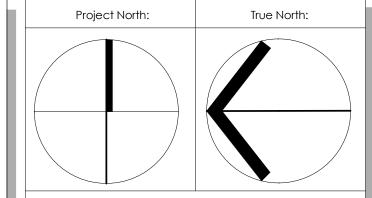
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - TYPICAL FLOOR (2nd-4th)

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale: 1:125	Date: 22-05-20	Project No.: 22-004
Drawing No:		

A221





1	ISSUED FOR CLC - Reply	22/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

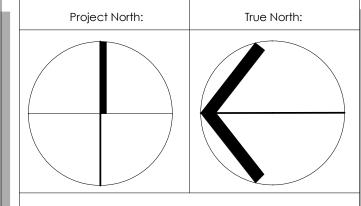
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - FIFTH FLOOR PLAN (5th)

Design By:	Drawn By:	Approved By:
MAI	TV	EM
Scale:	Date:	Project No.:
1:125	22-05-20	22-004
Drawing No:		<u> </u>

A222





	1	ISSUED FOR CLC - Reply	22/06/30
	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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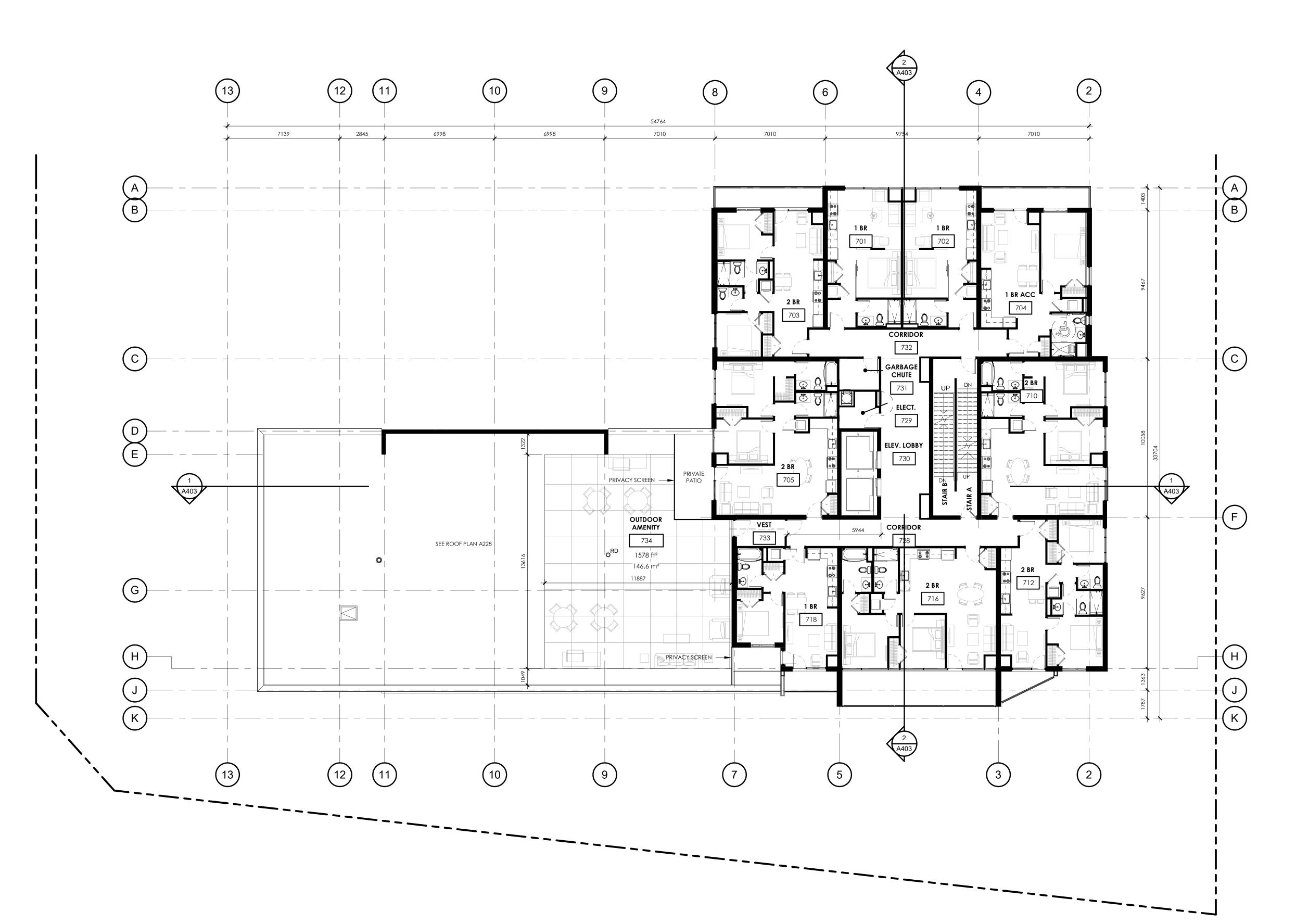
WATERIDGE APARTMENT BUILDING

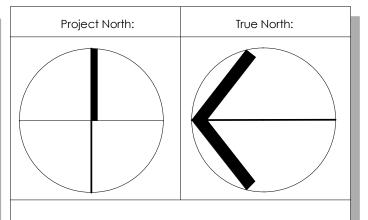
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - SIXTH FLOOR PLAN (6th)

	Design By:	Drawn By:	Approved By:
	MAI	TV	EM
	Scale:	Date:	Project No.:
- 1	1:125	22-05-20	22-004
	Drawing No:	•	

A223





1	ISSUED FOR CLC - Reply	22/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

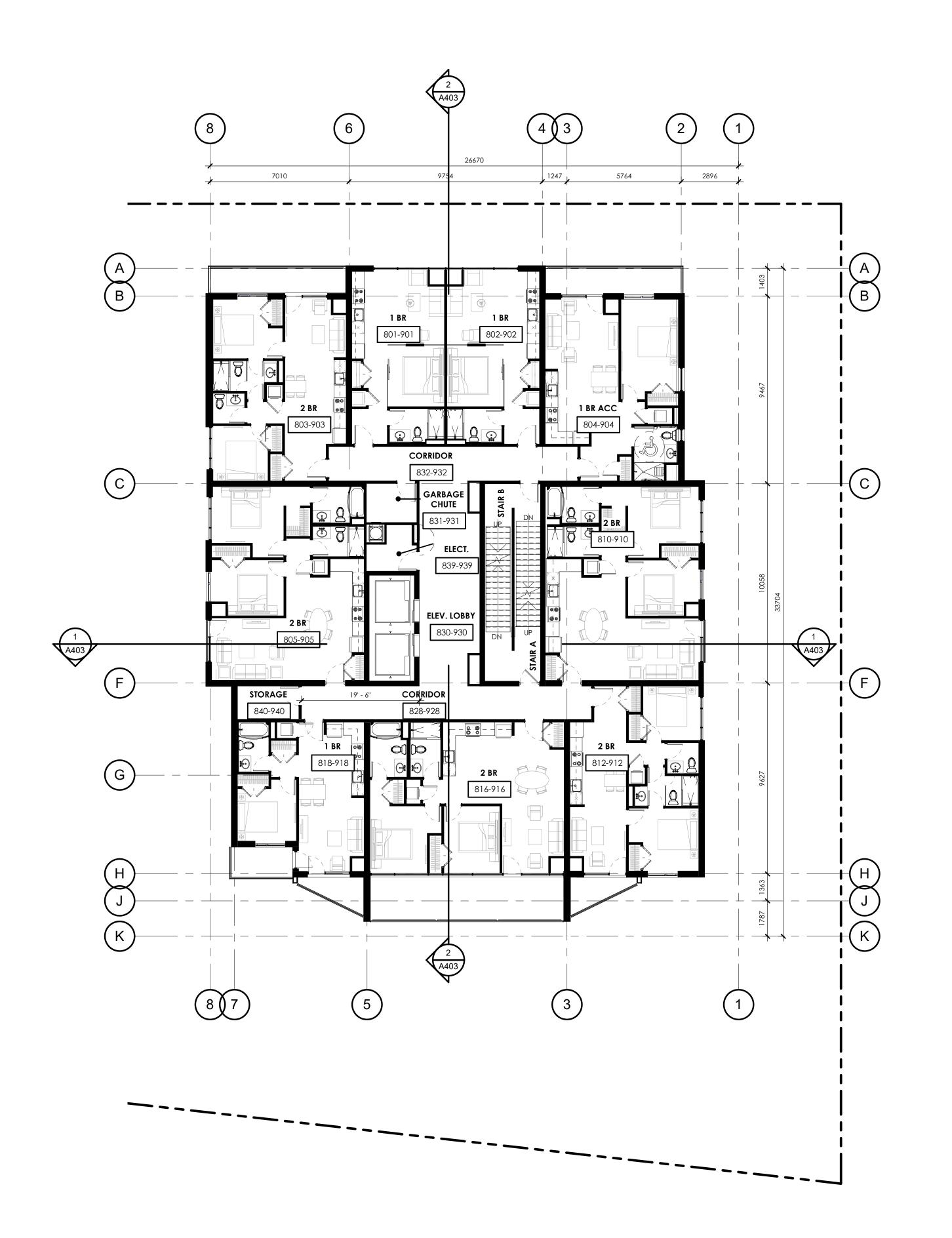
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

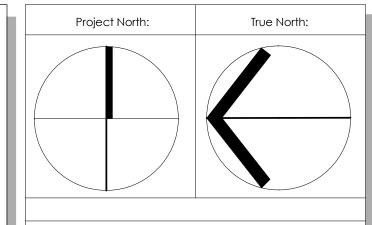
BLD 3 - SEVENTH FLOOR PLAN (7th)

Design By:	Drawn By:	Approved By:	
MAI	TV	EM	
Scale:	Date:	Project No.:	
1:125	22-05-20	22-004	

Drawing No:

A224





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	1	ISSUED FOR CLC - Reply	22/06/30
	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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Project

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title

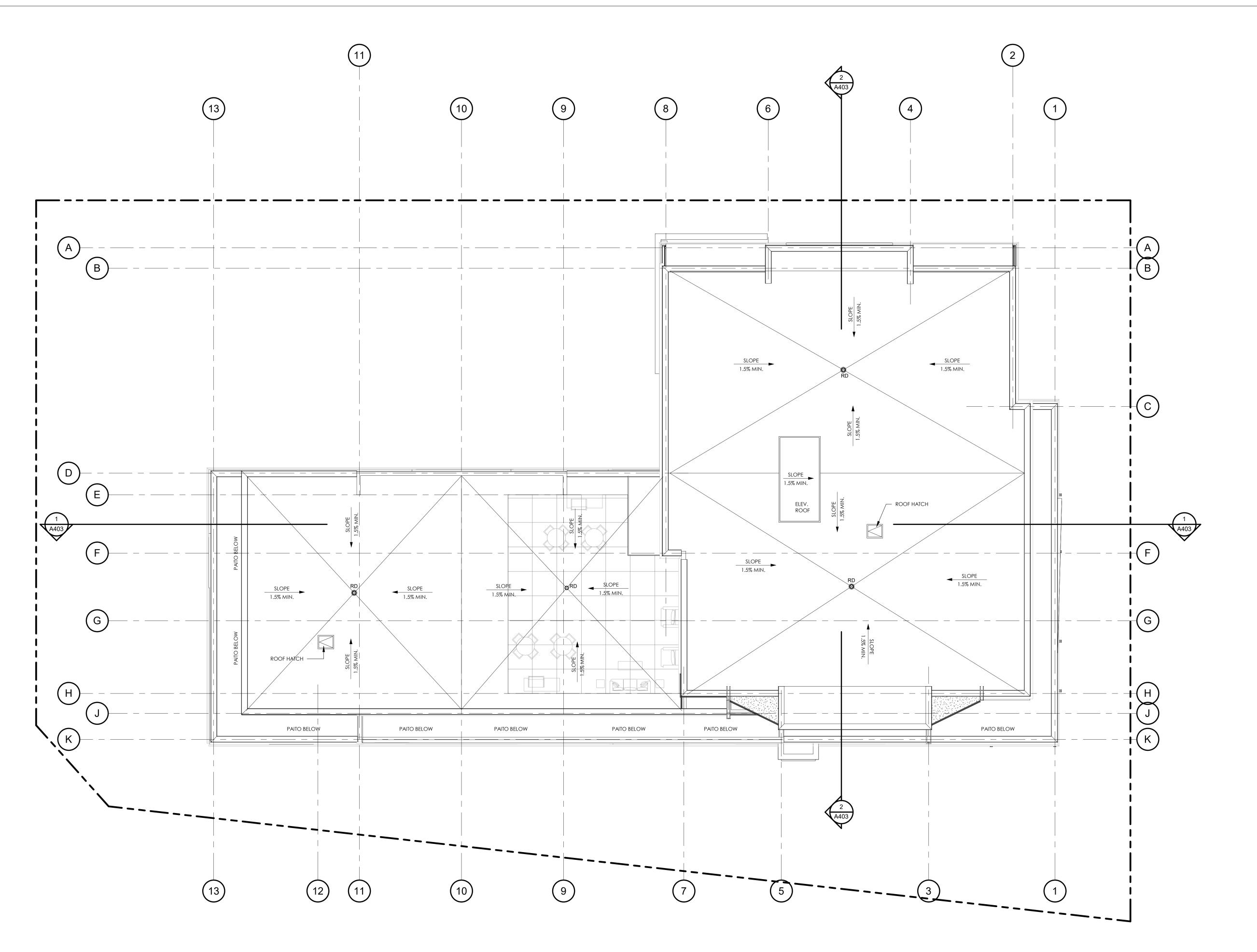
BLD 3 - EIGHT & NINTH FLOOR PLAN (8th-9th)

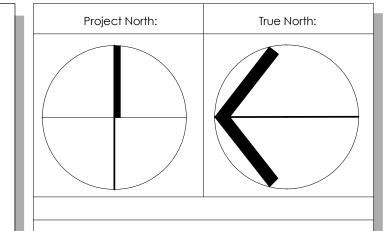
Design By: Drawn By: Approved MAI TV EM	
NAAL TV EAA	
Scale: Date: Project No 1:125 22-05-20 22-00	

Drawing No:

A225

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SPA FILE NO. -

1	ISSUED FOR CLC - Reply	22/06/30
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - ROOF PLAN

	Design By:	Drawn By:	Approved B
	MAI	TV	EM
	Scale:	Date:	Project No.:
	1:125	22-05-20	22-004
	- · · ·		•

Drawing No:

A226

Drawing Series: SITE PLAN APPLICATION



Key Plan:

2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM
No.	Date:	Issue/Revision	Ву:
Drav	ving Issues/Re	visions:	•

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WATERIDGE

APARTMENT BUILDING 1000/1050 TAWADINA ROAD WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

BLD 1 - RENDER

- 1			
	Design By:	Drawn By:	Approved By:
	EM	SF	EM
	Scale:	Date:	Project No.:
	1:10	22-06-29	22-004
- 1		•	

A-300



Project North: True North:

SPA FILE NO. -

EXTERIOR ELEVATION LEGEND

STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE

EIFS - BRICK PATTERN-KENDALL CHARCOAL

ACM - KENDAL CHARCOAL BM HC-166 ACM - WHITE DOVE, BM OC 17

EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17 EIFS - KENDAL CHARCOAL BM HC-166

EIFS - GREY

GLASS GUARD RAIL

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE

APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE

2 ISSUED FOR CLC - Reply | 22/06/30 ISSUED FOR CLC 20/05/20 DESCRIPTION REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 1 - SOUTH (FRONT) **ELEVATION**

	Design By:	Drawn By:	Approved By:
	MAI	TV/BL	EM
ı	Scale:	Date:	Project No.:
	As indicated	22-05-20	22-004
	Drawing No:		

A301

Drawing Series:

- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.



	EXTERIOR ELEVATION LEGEND
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND

RETAINING WALL

Project North: True North: SPA FILE NO. -



BLD 1 - EAST ELEVATION

A302 1: 125



2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 1 - EAST & WEST ELEVATIONS

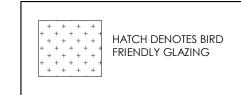
	Design By:	Drawn By:	Approved By:
ı	MAI	TV/BL	EM
	Scale:	Date:	Project No.:
ı	As indicated	22-05-20	22-004
	Drawing No:		

A302

Drawing Series:

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

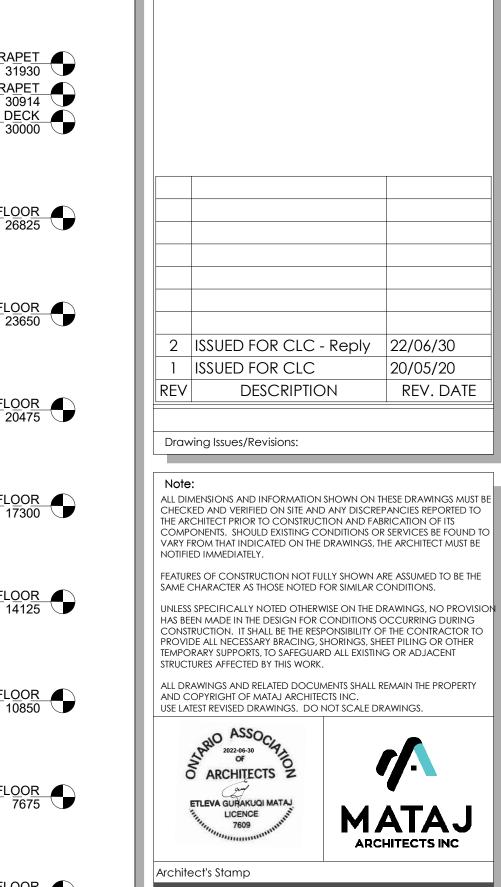
2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.



	EXTERIOR ELEVATION LEGEND
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND

E13 RETAINING WALL

Project North: True North: SPA FILE NO. -



WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 1 - NORTH (REAR) **ELEVATION**

		Design By:	Drawn By:	Approved By:
	ı	MAI	TV/BL	EM
	ı	Scale:	Date:	Project No.:
	ı	As indicated	22-05-20	22-004
-		Drawing No:		

A303

Drawing Series:



1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

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	EXTERIOR ELEVATION LEGEND
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND

E13 RETAINING WALL



Project North: True North: SPA FILE NO. -

2	ISSUED EOD CLC Booky	22/04/20
	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 2 - SOUTH (FRONT) **ELEVATION**

	Design By:	Drawn By:	Approved By:
	MAI	TV/BL	EM
	Scale:	Date:	Project No.:
	As indicated	22-05-20	22-004
	Drawing No:		

Drawing No:

A304

Drawing Series:

- 1 CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
- 2 CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.

EXTERIOR ELEVATION LEGEND E01 EIFS - BRICK PATTERN-KENDALL CHARCOAL E02 EIFS - GREY E03 EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17 E04 EIFS - KENDAL CHARCOAL BM HC-166 E04A ACM - KENDAL CHARCOAL BM HC-166 E05 ACM - WHITE DOVE, BM OC 17 E06 STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE E07 GLASS GUARD RAIL E09 REVEAL TYPICAL E10 MECHANICAL SCREEN E11 PRIVACY SCREEN

ELEVATOR WALL BEYOND

RETAINING WALL

TO WITCH FLOOR (*)

TO WITCH FLOOR (*)

TO WITCH FLOOR (*)

TO STORT FLOOR (*)

TO STO

Project North: True North:

SPA FILE NO. -

ISSUED FOR CLC - Reply	22/06/30
ISSUED FOR CLC	20/05/20
DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

Note:

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Project

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title

BLD 2 - NORTH (REAR) ELEVATION

- 1		Design By:	Drawn By:	Approved By:
1	ı	MAI	TV/BL	EM
	ı	Scale:	Date:	Project No.:
1	ı	As indicated	22-05-20	22-004
- 1		D N.		•

Drawing No:

A305

Drawing Series:

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINSIH IS OBTAINTED.



	EXTERIOR ELEVATION LEGEND		
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL		
E02	EIFS - GREY		
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17		
E04	EIFS - KENDAL CHARCOAL BM HC-166		
E04A	ACM - KENDAL CHARCOAL BM HC-166		
E05	ACM - WHITE DOVE, BM OC 17		
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE		
E07	GLASS GUARD RAIL		
E09	REVEAL TYPICAL		
E10	MECHANICAL SCREEN		

PRIVACY SCREEN
ELEVATOR WALL BEYOND

RETAINING WALL

Project North:

True North:

SPA FILE NO. -

2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE
		-

Note:

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Oakville Oni
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Project:

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title

BLD 2 - EAST & WEST ELEVATIONS

		Design By:	Drawn By:	Approved By:	
	ı	MAI	TV/BL	EM	
		Scale:	Date:	Project No.:	
	ı	As indicated	22-05-20	22-004	
		Drawing No:			

A306

Drawing Series:
SITE PLAN APPLICATION

	31220 PROOF DECK 30000	
	NINTH FLOOR 26825	E07 T/O NINTH FLOOR 26825
	EIGTH FLOOR 23650	T/O EIGTH FLOOR 23650
	ENTH FLOOR 20475	E02 T/O SEVENTH FLOOR 20475
	SIXTH FLOOR 17300	T/O SIXTH FLOOR 17300
30000	FIFTH FLOOR 14125	
	URTH FLOOR 10850	T/O FOURTH FLOOR 10850
	THIRD FLOOR 7675	T/O THIRD FLOOR 7675
E06	COND FLOOR 4500	T/O SECOND FLOOR 4500
	OUND FLOOR	E06 T/O GROUND FLOOR 0

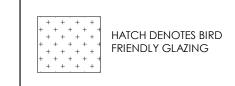
BLD 2 - EAST ELEVATION

A306 1: 125

BLD 2 - WEST ELEVATION
1: 125

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

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	EXTERIOR ELEVATION LEGEND		
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL		
E02	EIFS - GREY		
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17		
E04	EIFS - KENDAL CHARCOAL BM HC-166		
E04A	ACM - KENDAL CHARCOAL BM HC-166		
E05	ACM - WHITE DOVE, BM OC 17		
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE		
E07	GLASS GUARD RAIL		
E09	REVEAL TYPICAL		
E10	MECHANICAL SCREEN		
E11	PRIVACY SCREEN		
E12	ELEVATOR WALL BEYOND		
E13	RETAINING WALL		



Project North: True North:

SPA FILE NO. -

ı			
	2	ISSUED FOR CLC - Reply	22/06/30
	1	ISSUED FOR CLC	20/05/20
	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - WEST **ELEVATION**

		Design By:	Drawn By:	Approved By:
	ı	MAI	TV/BL	EM
		Scale:	Date:	Project No.:
	ı	As indicated	22-05-20	22-004
-		Drawing No:		•

A307

Drawing Series:

1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

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	EXTERIOR ELEVATION LEGEND		
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL		
E02	EIFS - GREY		
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17		
E04	EIFS - KENDAL CHARCOAL BM HC-166		
E04A	ACM - KENDAL CHARCOAL BM HC-166		
E05	ACM - WHITE DOVE, BM OC 17		
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE		
E07	GLASS GUARD RAIL		
E09	REVEAL TYPICAL		
E10	MECHANICAL SCREEN		
E11	PRIVACY SCREEN		
E12	ELEVATOR WALL BEYOND		
E13	DETAINING WALL		



Project North: True North:

SPA FILE NO. -

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2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

Note:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

BLD 3 EAST ELEVATION

	Design By:	Drawn By:	Approved By:
	MAI	TV/BL	EM
	Scale:	Date:	Project No.:
	As indicated	22-05-20	22-004
- 1			

Drawing No:

A308

Drawing Series:



1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIPS EARLIER SAMPLE

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APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS

Project North: True North:

EXTERIOR ELEVATION LEGEND

STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE

EIFS - BRICK PATTERN-KENDALL CHARCOAL

EIFS - KENDAL CHARCOAL BM HC-166 ACM - KENDAL CHARCOAL BM HC-166 ACM - WHITE DOVE, BM OC 17

EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17

EIFS - GREY

SPA FILE NO. -

2 ISSUED FOR CLC - Reply 22/06/30 20/05/20 DESCRIPTION REV. DATE

Drawing Issues/Revisions:

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IN CORPORATE

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BLD 3 - NORTH & SOUTH **ELEVATIONS**

		Design By:	Drawn By:	Approved By:
	ı	MAI	TV/BL	EM
		Scale:	Date:	Project No.:
	ı	As indicated	22-05-20	22-004
-		Drawing No:		•

A309

Drawing Series: SITE PLAN APPLICATION





PERSPECTIVE VIEW SE - BLD 1



SPA FILE NO. -

True North:

Project North:

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2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

Note

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Projec

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title

3D VIEWS - BUILDING 1

	Design By:	Drawn By:	Approved By:
1	MAI	TV/BL	EM
- 1	Scale:	Date:	Project No.:
1		22-05-20	22-004
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Drawing No

A310

Drawing Series:







PERSPECTIVE VIEW SE - BLD 2

SPA FILE NO. -

True North:

Project North:

2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

3D VIEWS - BUILDING 2

- 1	Design By:	Drawn By:	Approved By:
- 1	MAI	-	EM
-1	Scale:	Date: 22-05-20	Project No.: 22-004
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A311

Drawing Series:





PERSPECTIVE VIEW SW - BLD 3

PERSPECTIVE VIEW SE - BLD 3

SPA FILE NO. -

True North:

Project North:

2	ISSUED FOR CLC - Reply	22/06/30
1	ISSUED FOR CLC	20/05/20
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

3D VIEWS - BUILDING 3

Design By:	Drawn By:	Approved By:
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Scale:	Date:	Project No.:
	22-05-20	22-004
Drawing No:		

A312

Drawing Series:







Project North:

True North:

SPA FILE NO. -

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	REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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Architect's Stamp

N C O R P O R A T E D

206-418 Iroquois Shore Rd
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Project:

WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

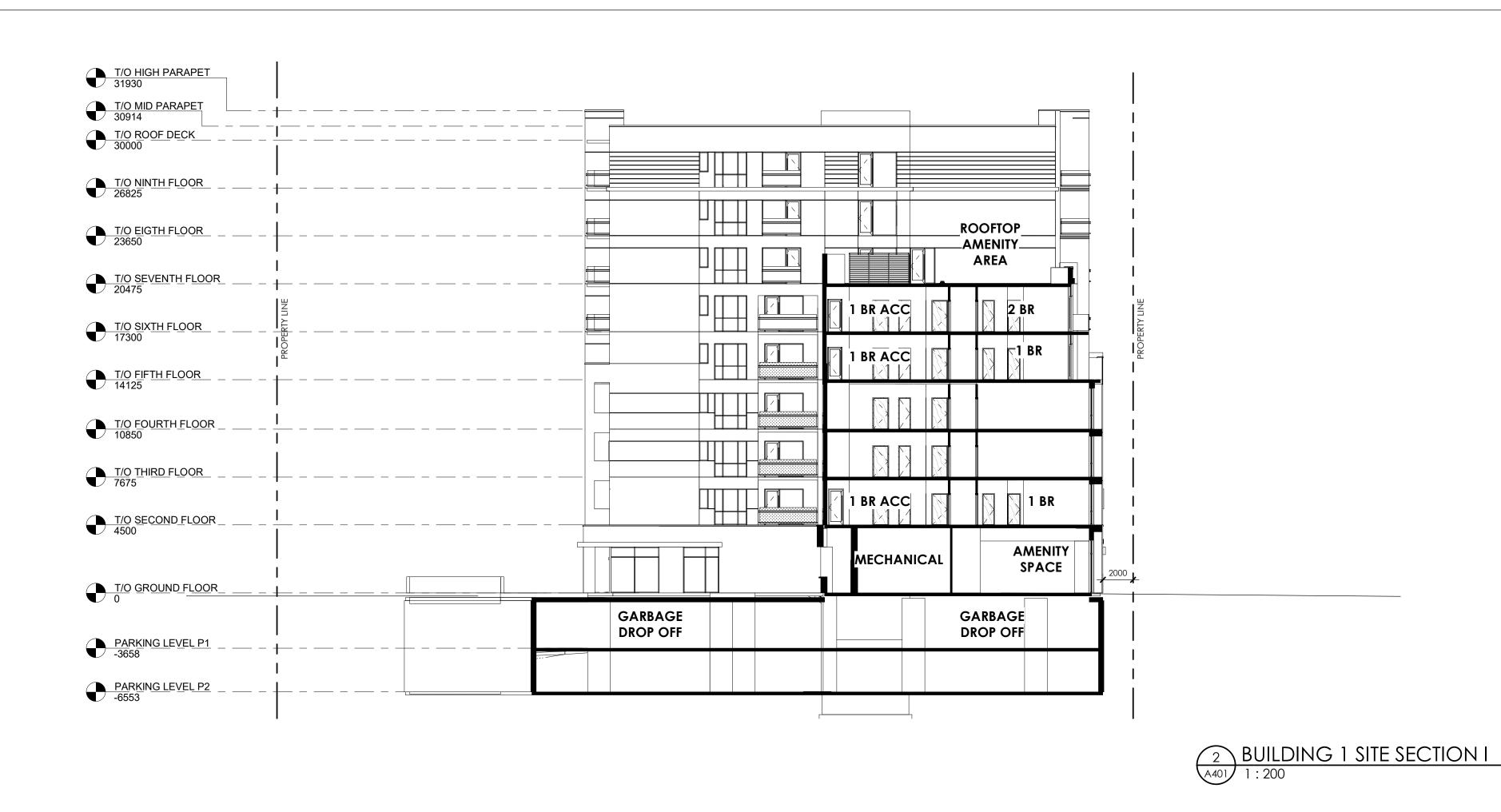
PERSPECTIVE OVERALL VIEW

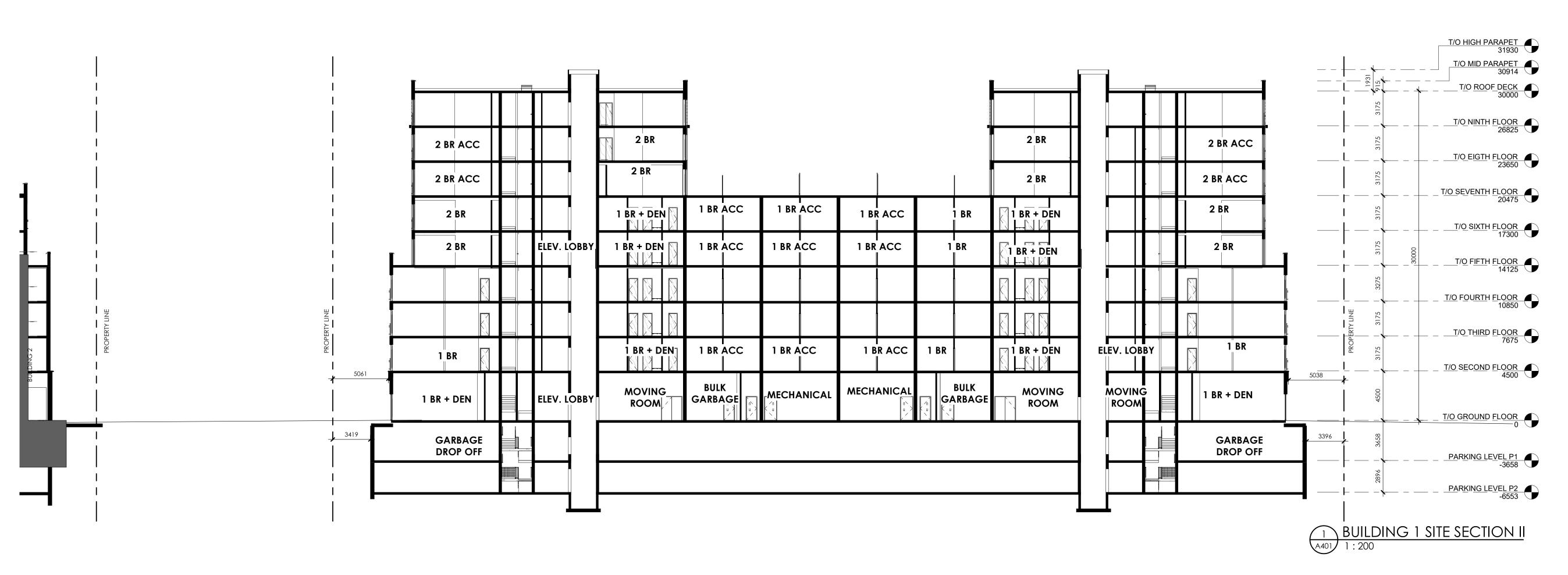
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	ı	Designer	Author	Approver
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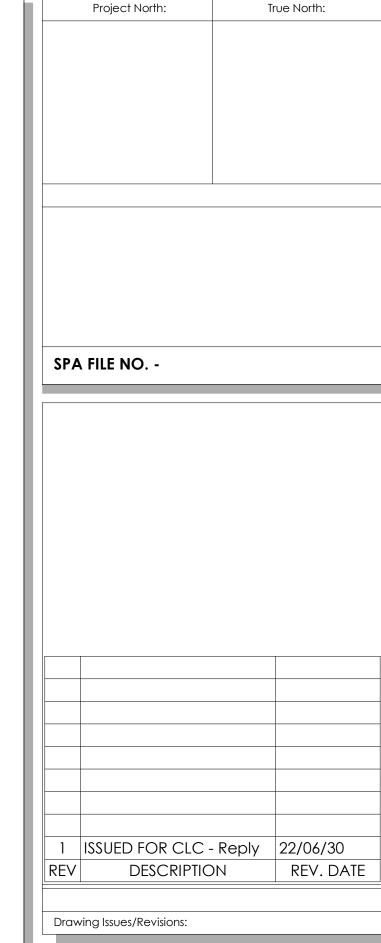
Drawing No:

A313

Drawing Series:







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WATERIDGE APARTMENT **BUILDING**

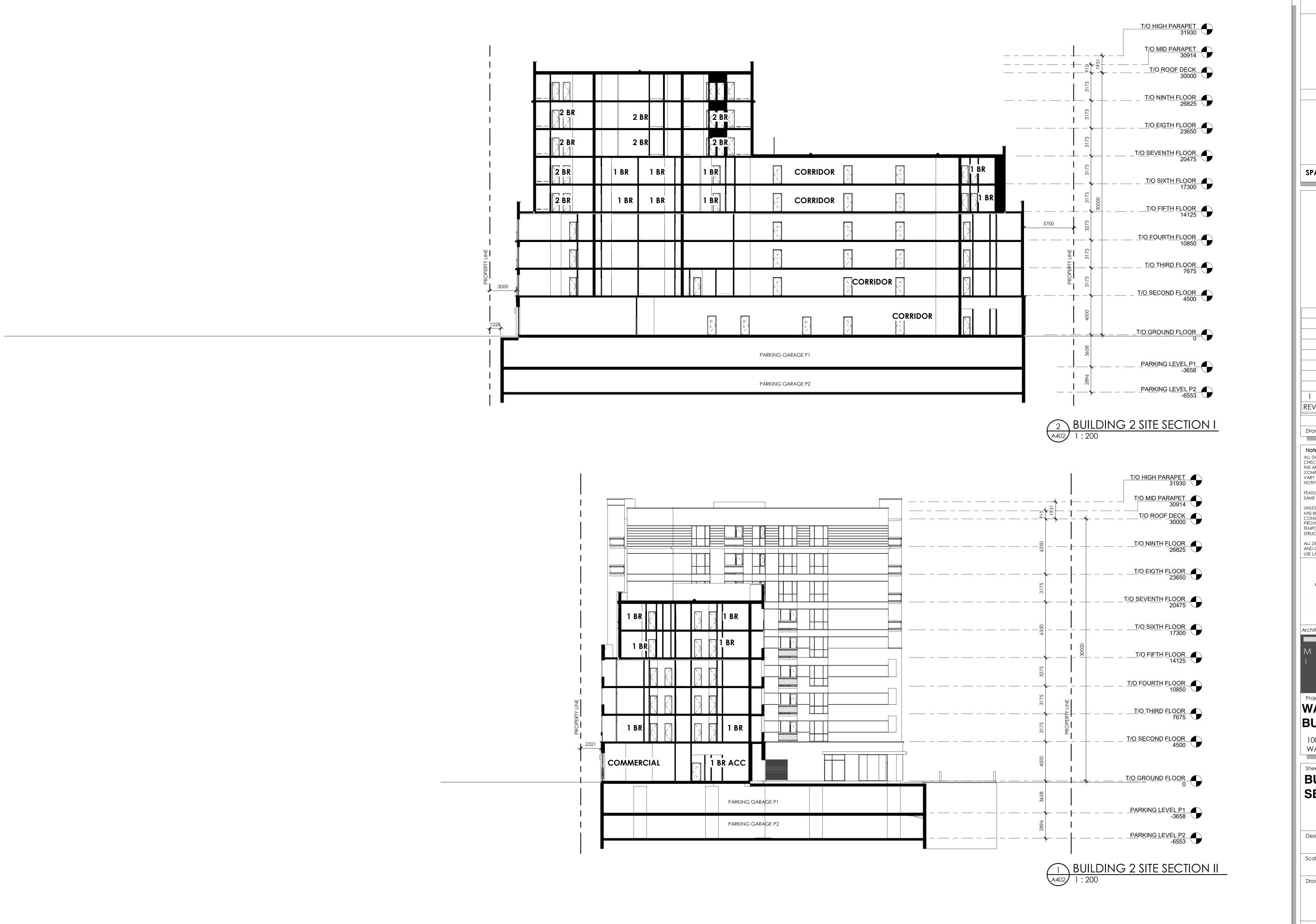
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

BUILDING 1 SITE SECTIONS

- 1	_					
		Design By:	Drawn By:	Approved By:		
	ı	MAI	TV	EM		
		Scale:	Date:	Project No.:		
	ı	1:200	22-05-20	22-004		
		Drawing No:				

A401

Drawing Series: SITE PLAN APPLICATION



Project North: True North: SPA FILE NO. -1 ISSUED FOR CLC - Reply 22/06/30 DESCRIPTION REV. DATE

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WATERIDGE APARTMENT BUILDING

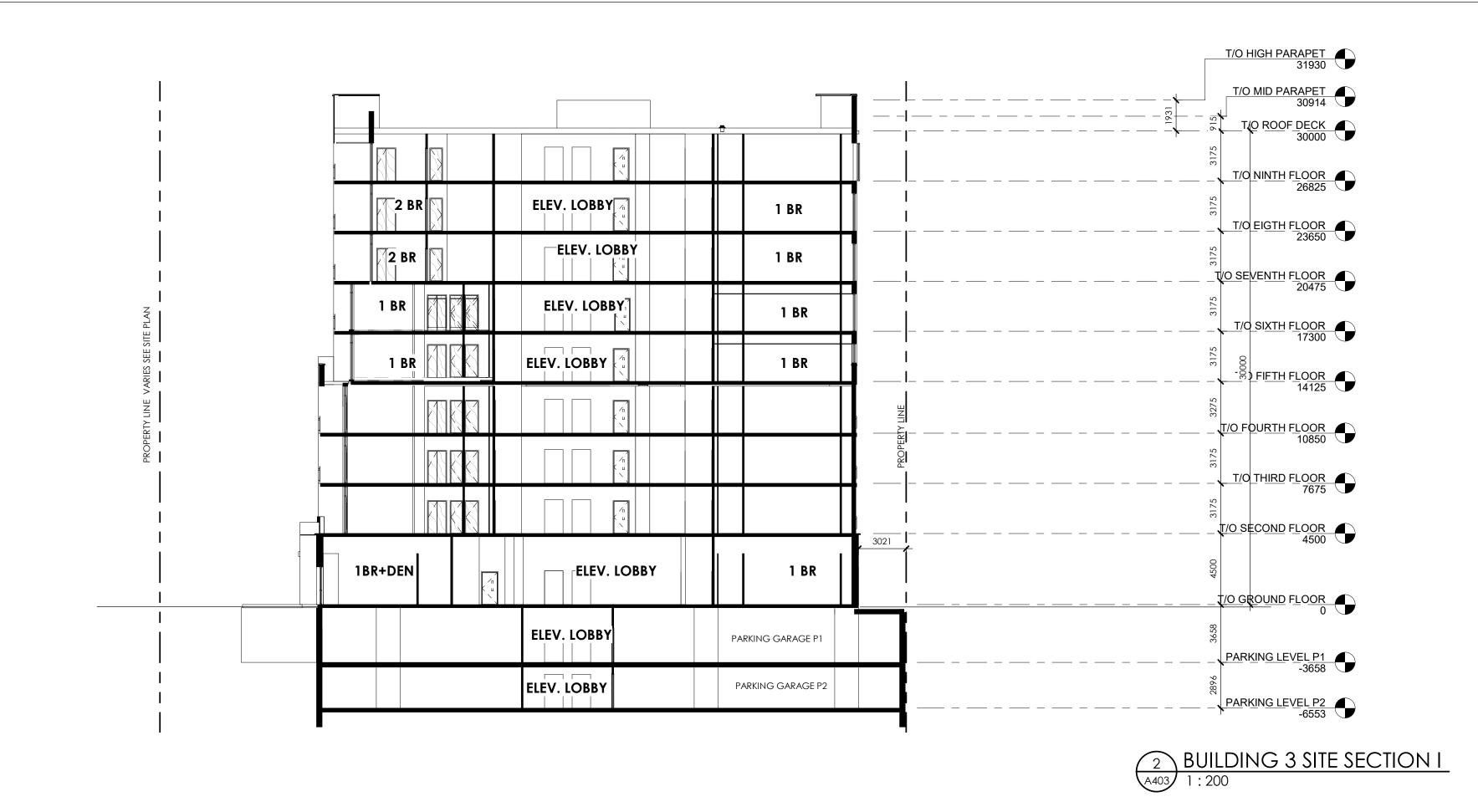
1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

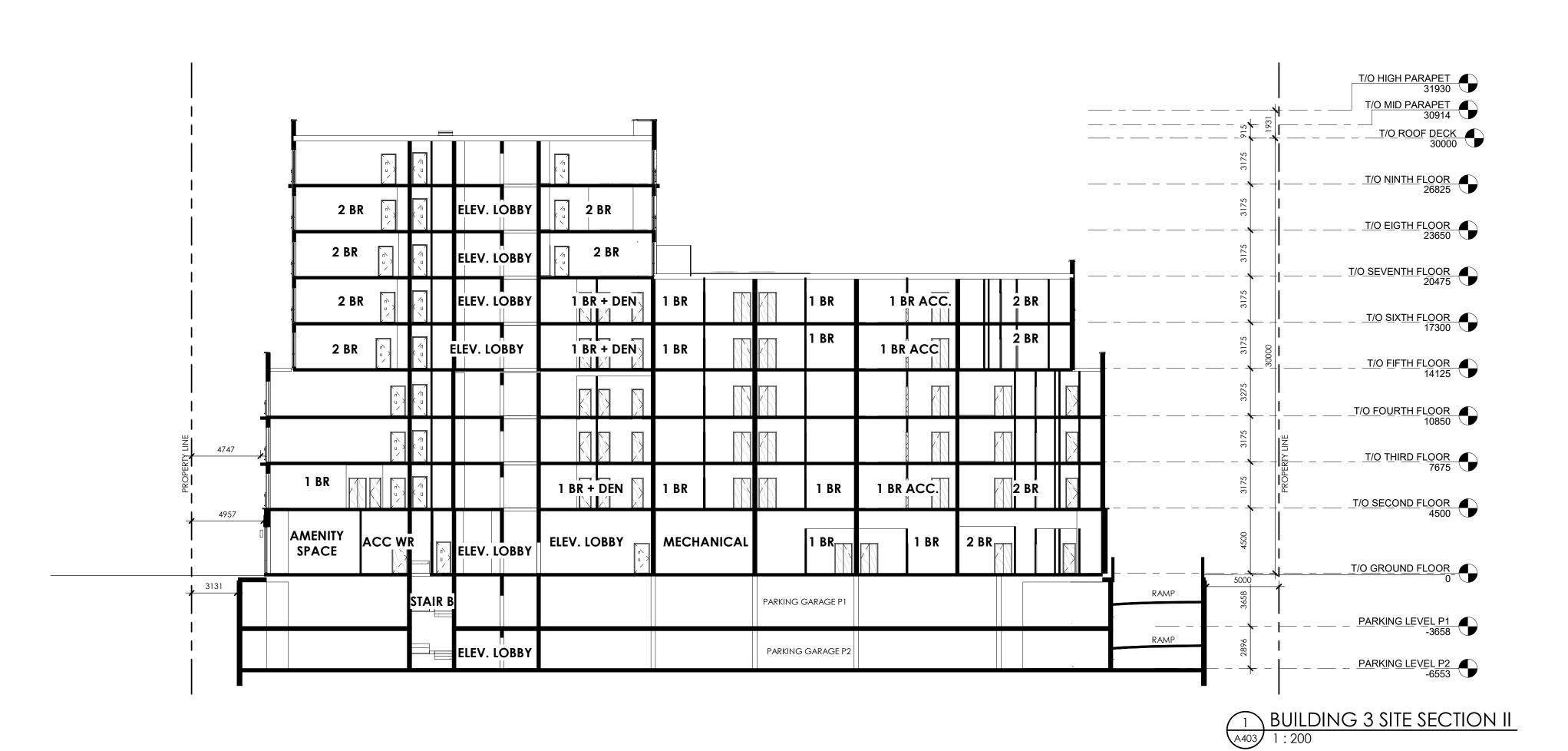
BUILDING 2 SITE SECTIONS

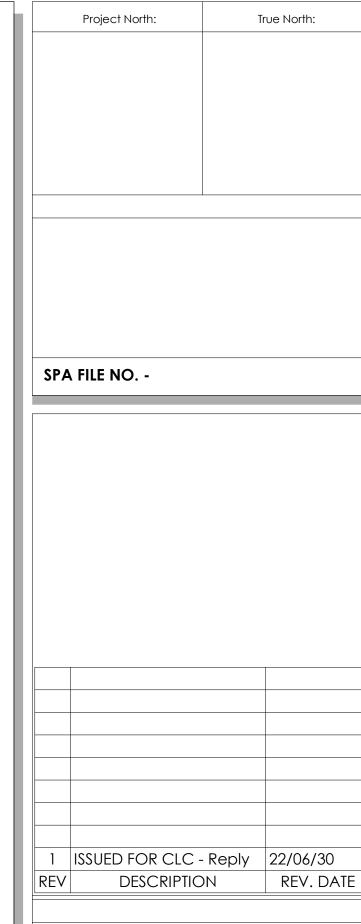
	Design By:	Drawn By:	Approved By:
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WATERIDGE APARTMENT BUILDING

1000/1050 TAWADINA ROAD -WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title: **BUILDING 3 SITE**

SECTIONS

		Design By:	Drawn By:	Approved By:
	ı	MAI	TV	EM
		Scale: 1:200	Date: 22-05-20	Project No.: 22-004
		Drawing No:		

A403

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