

**SITE PLAN SYMBOLS:**

- TERRACE / LANDSCAPE PLANTING
- HARD SURFACE WALK
- CONCRETE PAVERS, SEE LANDSCAPE DRAWINGS
- PAVERS @ TERRACE LEVEL
- PROPERTY LINE
- BUILDING SETBACK LINE
- FENCE LINE
- BIKE RACK
- ENTRANCE / EXIT DOOR
- COMMERCIAL / EXIT DOOR
- FIRE HYDRANT
- VEHICULAR DIRECTION
- EXISTING TREE TO REMAIN
- SIAMESE CONNECTION
- ROOF DRAIN
- PROPOSED SITE LIGHTING

NOTE:  
SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

**GEOTECHNICAL ENGINEER**

Paterson Group  
154 Colonnade Road South  
Ottawa, Ontario, K2E 7J5  
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E-Mail: D.Gilbert@Patersongroup.ca  
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**WIND / SOUND ENGINEER**

Gradient Wind  
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Tel: (613) 836-0934 ext. 116  
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E-Mail: joshua.foster@gradientwind.com

**ARBORIST**

IFS Associates  
BOX 13593,  
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**LANDSCAPE ARCHITECT**

Wentworth Landscapes  
13392 Loyalist Pkwy.,  
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Tel: (613) 476-1181  
E-Mail: scott@wentworthlandscapes.com  
E-Mail: danielle@wentworthlandscapes.com

**TRANSPORTATION ENGINEER**

GHD Group Pty Ltd.  
179 Colonnade Road South, Suite 400  
Ottawa ON K2E7J4  
Phone: (613) 288-1727  
Direct: (613) 222-6801  
E-Mail: vanessa.skilton@ghd.com

**SURVEYOR**

Annis O'Sullivan Vollebek Ltd.  
14 Concourse Gate, Suite 500,  
Nepean, Ontario K2E 7S6  
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Fax: (613) 727-1079  
E-Mail: BobV@aovltd.com

**CIVIL ENGINEER**

Stantec Geomatics Ltd.  
1331 Clyde Avenue, Suite 400  
Ottawa ON K2C 3G4  
Phone: (613) 724-4096  
Fax: (613) 722-2799  
E-Mail: Sheridan.Gillis@stantec.com

**PROJECT INFORMATION**

ZONING BY-LAW 2008-250	RB5 (H1B)
SITE AREA	25,686.0 sq. m. 276,462 sq. ft.
REQUIRED	
GRADE (GEODEIC ELEVATION)	76.90m
BUILDING HEIGHT	18.0m
FRONT YARD SETBACK	3.0m
CORNER YARD SETBACK	3.0m
REAR YARD SETBACK	3.0m
RESIDENTIAL PARKING PER UNIT (AFTER 12 UNITS)	0.5
VISITOR PARKING PER UNIT (AFTER 12 UNITS)	0.2
BICYCLE PARKING PER UNIT	0.5
AMENITY AREA - PER UNIT	6.0 sq. m
MINIMUM DRIVEWAY WIDTH - EXTERIOR	6.7m
MINIMUM DRIVEWAY / AISLE WIDTH - INTERIOR	6.0m
LANDSCAPE AREA	30%
PROVIDED	
12 STOREY BUILDING HEIGHT	79.0m
AMENITY / MECHANICAL PENTHOUSE HEIGHT	4.5m
FRONT YARD SETBACK	104.0m
CORNER YARD SETBACK	36.3m
REAR YARD SETBACK	3.3m
TOWER SEPARATION	20.1m
AMENITY AREA - PER UNIT	6.0 sq. m
TOWER FOOTPRINT	956.0 sq. m

**FULL SITE**

GROSS BUILDING AREA (CITY OF OTTAWA'S DEFINITION)	
EX. TOWER "A" - 20 STOREY	20,879.0 sq. m. 224,741 sq. ft.
EX. TOWER "B" - 17 STOREY	17,800.0 sq. m. 191,592 sq. ft.
NEW TOWER "C" - 25 STOREY	18,584.0 sq. m. 200,036 sq. ft.
TOTAL AREA	57,263.0 sq. m. 616,375 sq. ft.
FLOOR SPACE INDEX	2.2

**RESIDENTIAL UNITS**

EX. TOWER "A" - 20 STOREY	303
EX. TOWER "B" - 17 STOREY	235
NEW TOWER "C" - 25 STOREY	234
TOTAL	772

**PARKING SPACES**

EX. BUILDING - P2 LEVEL	242
EX. BUILDING - P1 LEVEL	238
EX. SURFACE SPACES	37
NEW P2 LEVEL	119
NEW P1 LEVEL	34
NEW SURFACE SPACES	34
TOTAL	783

**LOT COVERAGE**

PAVED SURFACE =	5,583.1 sq. m.	21.7%
TOWER FOOTPRINT =	4,139.1 sq. m.	16.1%
OTHER BUILDINGS / COVER RAMPS =	672.0 sq. m.	2.6%
LANDSCAPE OPEN SPACE =	15,291.8 sq. m.	59.6%
TOTAL =	25,686.0 sq. m.	100.0%

**PROJECT DEVELOPER**

Homestead Land Holdings Ltd.  
80 Johnson Street  
Kingston, ON K7L 1X7  
Tel: (613) 546-3146  
Cell: (613) 329-0354  
E-Mail: JMangan@homestead.ca

**LEGAL DESCRIPTION**

TOPOGRAPHIC PLAN OF SURVEY OF  
PART OF LOT 20  
CONCESSION 2 (OTTAWA FRONT)  
GEOGRAPHIC TOWNSHIP OF NEPEAN AND  
PART OF LOTS 1 AND 2  
REGISTERED PLAN 482  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

**URBAN PLANNER**

Fotenn Consulting  
396 Cooper Street  
Suite 300  
Ottawa, ON K2P 2H7  
Tel: (613) 730-5709  
E-Mail: zaki@fotenn.com

**PROPOSED - BUILDING "C"**

<b>BUILDING STATISTICS</b>	
<b>GROSS BUILDING - AREA</b> (CITY OF OTTAWA'S DEFINITION)	
PARKING LEVEL	0.0 sq. m. 0 sq. ft.
GROUND FLOOR	447.9 sq. m. 4,821 sq. ft.
2nd FLOOR	641.5 sq. m. 6,905 sq. ft.
3rd FLOOR	861.9 sq. m. 9,243 sq. ft.
4th - 21st FLOOR	18 x 789.58 sq. m. 18 x 8,499 sq. ft. 14,212.5 sq. m. 152,982 sq. ft.
22nd - 24th FLOOR	3 x 789.58 sq. m. 3 x 8,499 sq. ft. 2,368.7 sq. m. 25,497 sq. ft.
AMENITY LEVEL	0 sq. m. 0 sq. ft.
MECHANICAL PENTHOUSE	0 sq. m. 0 sq. ft.
TOTAL AREA	18,562.6 sq. m. 199,696 sq. ft.
TOWER FOOTPRINT	957.9 sq. m. 10,311 sq. ft.

**UNIT STATISTICS**

STUDIO UNIT	0
1 BEDROOM UNIT	71
1 BEDROOM + DEN UNIT	24
2 BEDROOM UNIT	138
2 BEDROOM + DEN UNIT	1
TOTAL	234

**CAR PARKING**

<b>REQUIRED BY ZONING BY-LAW</b>	
RESIDENCE	-0.5 PER UNIT (234 UNITS) (AFTER 12 UNITS)
VISITOR	-0.2 PER DWELLING UNIT (AFTER 12 UNITS)
TOTAL	155
<b>PROVIDED</b>	
RESIDENCE	-0.95 PER UNIT
VISITOR	-0.2 PER DWELLING UNIT (AFTER 12 UNITS)
TOTAL	266

**BICYCLE PARKING**

<b>REQUIRED</b>	
RESIDENCE	-0.5 PER UNIT (234 UNITS)
TOTAL	117
<b>PROVIDED</b>	
UNDERGROUND PARKING LEVEL	141
EXTERIOR AT GRADE	10
TOTAL	772

**AMENITY SPACE**

GROUND FLOOR COMMUNAL INTERIOR =	325.0 sq. m.
2nd FLOOR COMMUNAL INTERIOR =	560.0 sq. m.
2nd FLOOR COMMUNAL EXTERIOR =	150.0 sq. m.
25th FLOOR COMMUNAL PATIO =	400.0 sq. m.
25th FLOOR COMMUNAL INTERIOR =	380.0 sq. m.
PRIVATE BALCONIES =	1,600.0 sq. m.
TOTAL =	3,415.0 sq. m.
TOTAL COMMUNAL =	1,815.0 sq. m.
REQUIRED - 6.0M <sup>2</sup> PER UNIT (234) =	1,404.0 sq. m.
REQUIRED COMMUNAL @ 50% =	702.0 sq. m.

**REFUSE REQUIREMENT (234 UNITS)**

GARBAGE	-0.11 PER UNIT	26 YARDS
RECYCLING GMP	-0.018 PER UNIT	5 YARDS
RECYCLING FIBER	-0.038 PER UNIT	9 YARDS
COMPOST	-240L PER 50 UNITS	5

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

**NOTATION SYMBOLS:**

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

**GENERAL NOTES:**

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A900 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

REVISIONS:		
No.	DESCRIPTION	DATE (DDMMYY)
1	ISSUED FOR PER ROUND 2 SPC CITY COMMENTS	2022-07-28
2	REVISAS PER ROUND 1 SPC CITY COMMENTS	2022-06-24
3	ISSUED FOR SITE PLAN CONTROL	2022-03-29
4	ISSUED FOR OWNER / CONSULTANT REVIEW	2022-03-24
5	ISSUED FOR ZONING APPLICATION	2021-05-26

ARCHITECT SEAL:

CLIENT: **HOMESTEAD**

Homestead Land Holdings Ltd.  
80 Johnson Street, Kingston

ARCHITECT:

PROJECT TITLE: **1300 McWatters Road**

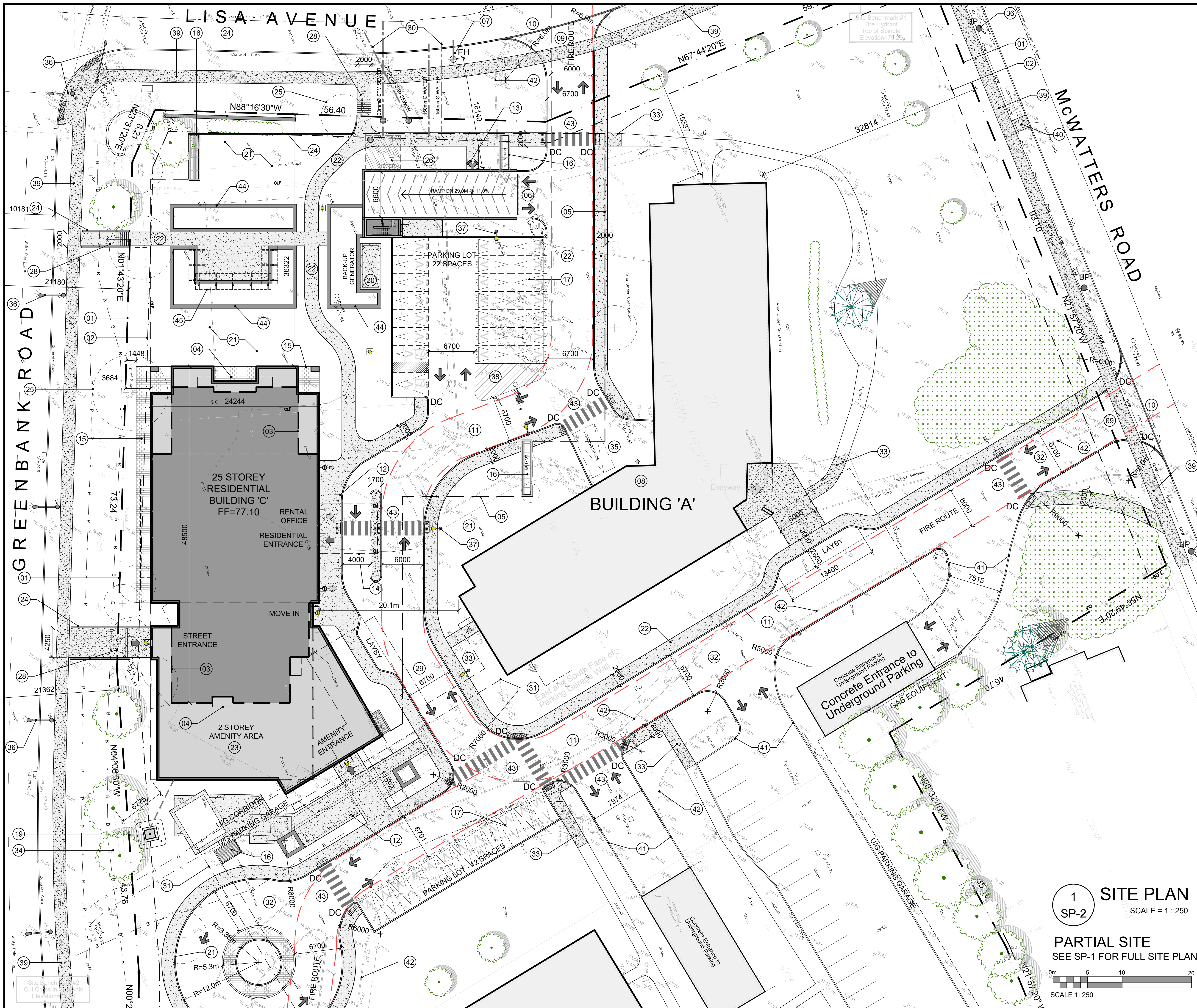
OTTAWA ONTARIO

**rla/architecture**  
roderick lahey architect inc.  
56 beech street, ottawa, ontario K1S 3J6  
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

**1300 McWatters Road**

SHEET TITLE: **SITE PLAN FULL SITE**

DRAWN: R.V.	CHECKED: JS
SCALE: 1:500	SHEET No. <b>SP-1</b>
PROJECT No. 1706	



- DRAWING NOTES:**
- 1 PROPERTY LINE
  - 2 BUILDING SETBACK LINE
  - 3 OUTLINE OF TOWER
  - 4 LINE OF BALCONIES ABOVE
  - 5 LINE OF PARKING GARAGE BELOW
  - 6 COVERED HEATED RAMP TO U/G GARAGE WITH TRENCH DRAIN
  - 7 FIRE HYDRANT - EXISTING / PROPOSED
  - 8 EXISTING RESIDENTIAL BUILDING
  - 9 SIDEWALK, CONTINUOUS AND DEPRESSED @ DRIVEWAY
  - 10 DEPRESSED STREET CURB
  - 11 ASPHALT ROAD WITH CONCRETE CURBS
  - 12 BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
  - 13 SIAMSE CONNECTION
  - 14 ENTRANCE CANOPY
  - 15 AT GRADE PRIVATE PATIO
  - 16 INTAKE / EXHAUST SHAFT
  - 17 2.6 X 5.2m STANDARD PARKING SPACES
  - 18 GAS PRESSURE RELEASE STATION
  - 19 HYDRO TRANSFORMER
  - 20 BACK-UP GENERATOR "COMPLETE WITH SCREENING"
  - 21 SOFT LANDSCAPING
  - 22 PEDESTRIAN WALKING SURFACE
  - 23 2 STOREY AMENITY PODIUM
  - 24 CONCRETE RETAINING WALL, SEE CIVIL FOR DETAILS
  - 25 EXISTING TREE TO BE REMOVED
  - 26 CISTERN SEE CIVIL AND MECHANICAL FOR DETAILS
  - 27 EXISTING CITY SIDEWALK TO REMAIN
  - 28 EXTERIOR STAIRS WITH HANDRAILS AS REQUIRED
  - 29 6.0 METRE WIDE FIRE ROUTE
  - 30 PROPOSED SERVICES, SEE CIVIL
  - 31 LIMIT OF EXISTING UNDERGROUND PARKING GARAGE
  - 32 NEW ENTRY DRIVE ALIGNMENT AND WALK
  - 33 ALTER EXISTING WALK AS REQUIRED
  - 34 EXISTING TREE TO REMAIN
  - 35 EXISTING LOADING AREA, RECONFIGURE AS SHOWN
  - 36 EXISTING UTILITY / LIGHT POLE
  - 37 SITE LIGHTING - SEE ELECTRICAL SITE PLAN
  - 38 PAINTED ISLAND
  - 39 REPLACE EXISTING SIDEWALK WITH NEW 1.8M WIDE CONCRETE SIDEWALK
  - 40 RE-SURFACE EXISTING CROSSWALK CONNECTION
  - 41 EXISTING CONCRETE CURB T TO REMAIN
  - 42 ORIGINAL CURB LOCATION - REMOVED
  - 43 CROSSWALK WITH DEPRESSED CURB AND TWSI
  - 44 RAISED LANDSCAPE PLANTER
  - 45 SUN SHADE, SEE LANDSCAPE

- NOTATION SYMBOLS:**
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ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**  
 ROBERT CLAY LAYEY  
 LICENCE 4075  
 SEAL DATE: STAMP DATE

NORTH ARROW:

**HOMESTEAD**  
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PROJECT TITLE:  
**1300 McWatters Road**  
 OTTAWA ONTARIO

SHEET TITLE:  
**SITE PLAN  
 BLDG. 'C'**

DRAWN: R.V. CHECKED: JS  
 SCALE: 1:250 SHEET No.  
 PROJECT No. 1706 **SP-2**

**1 SITE PLAN**  
 SP-2 SCALE = 1:250  
 PARTIAL SITE  
 SEE SP-1 FOR FULL SITE PLAN  
  
 SCALE 1:250