



ELEVATIONS SHOWN ARE
GEODETIC AND ARE
REFEREED TO THE
CGVD28 GEODETIC DATUM

APPROVED
By Andrew McCreight at 9:19 pm, Jul 18, 2022

THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR ASSUMES NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.

THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED INFORMATION SUPPLIED BY (OR SHOWN ON) AN UNREGISTERED, UNLIT, UNFILED, UNPROD, UNRECORDED AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED BY A LICENSED CERTIFIED SURVEYOR AND LAND SURVEYOR.

THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR EACH LOCATION.

THE CONTRACTOR IS TO DETERMINE THE EXACT LOT, LOCATION, SIZE, MATERIAL, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES WHETHER CAUSED BY THE CONTRACTOR OR OTHERWISE. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.

RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITIES.

EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS ORDERED BY THE ENGINEER AND THE CITY.

TOSPOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILLS TO BE PLACED IN FILL AREAS TO BE RESTORED TO 95% STANDARD PROSPECITY FOR REHABILITATION.

ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED BY THE CITY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SETBACKS, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNS, DELINEATORS, MARKERS AND BARRIERS.

DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE CITY.

ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.

CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOSPOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOSPOIL, SEED & MULCH AND/OR SOD.

ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.

ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE COMPANY'S INVESTIGATION.

- ELECTRICAL SERVICE - HYDRO ONTARIO,
- GAS SERVICE - ENBRIDGE,
- TELEPHONE SERVICE - BELL CANADA,
- TELEVISION SERVICE - ROGERS.

INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES FOR ELECTRICAL, GAS, TELEPHONE, BELL CANADA, AND TV.

ALL EXPOSED CURB SHALL BE CONCRETE BARRIER CURB UNLESS SPECIFIED.

ALL PROVINCED ROUNDED PRIVATE APPROACHES FRONTING THIS DEVELOPMENT MUST BE REMOVED TO THE SATISFACTION OF THE CITY.

NO EXCESS DRAINAGE, EITHER DURING OR AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBORING PROPERTIES.



























NO ALTERATION OF EXISTING GRADES AND DRAINAGE PATTERNS ON PROPERTY BOUNDARIES.

1. CONSTRUCT ALL SEWERS, CATCH BASINS, MANHOLES AND APPURTENANCES IN ACCORDANCE WITH OSPD STANDARDS AND SPECIFICATIONS, AS WELL AS CITY.
2. SEWER TRENCHING AND BEDDING SHALL CONFORM TO OSPD 802.010 AND 802.013 UNLESS NOTED OTHERWISE.
- 2.1. BEDDING SHALL BE A MINIMUM 150mm OF GRANULAR "A", COMPACTED TO MINIMUM 95% STANDARD PROCTOR DRY DENSITY. CLEAR STONE BEDDING SHALL NOT BE PERMITTED.
- 2.2. BEDDING, IF REQUIRED SHALL CONSIST OF 450mm OF COMPACTED GRANULAR "B" TYPE 1.
- 2.3. BACKFILL TO AT LEAST 300mm ABOVE TOP OF PIPE WITH GRANULAR "A" OR GRANULAR "B" TYPE 1.
- 2.4. TO MINIMIZE DIFFERENTIAL FROST HEAVING, TRENCH BACKFILL (FROM PAVEMENT SUBGRADE TO 2.0 METRES BELOW FINISHED GRADE) SHALL MATCH EXISTING SLOPE CONDITIONS.
3. SANITARY SEWERS AND CONNECTIONS 150mmØ AND SMALLER TO BE PVC SD-28.
4. SEWERS AND CONNECTIONS 200mmØ AND LARGER TO BE PVC SD-35. BEDDING TO BE TYPE "B" EXCEPT AT RISERS, UNLESS NOTED OTHERWISE.
5. INSULATE ALL STORM AND SANITARY SEWERS SERVICES THAT HAVE LESS THAN 1.5m OF COVER WITH THERMAL INSULATION AS PER OSPD 1109.030.
6. SEWER CONNECTIONS ARE TO BE MADE ABOVE THE SPRINGLINE OF THE SEWERMAIN AS PER CITY OF OTTAWA STANDARD DRAWING S11, S11.1 & S11.2.
7. SUPPLY AND INSTALL ALL PIPING AND APPURTENANCES AS SHOWN AND DETAILLED WITHIN 1.0m OF BUILDING. ALL ENDS OF SERVICES TO BE PROPERLY CAPPED AND LOCATED WITH T"x4"x8" LONG MARKER.
8. CONTRACTOR TO TELEVIEW (CCTV) ALL PROPOSED SEWERS ON SITE, OUTLET CONNECTION TO THE MAIN AND PIPES 150mmØ OR GREATER PRIOR TO BE CLAUSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FURUSH AND CLEAN ALL SEWERS & APPURTENANCES.
9. DYE TESTING IS TO BE COMPLETED ON SANITARY SERVICE TO CONFIRM PROPER CONNECTION TO SANITARY SEWER MAIN.

1. ALL CATCH ALL WATERMANS AND APPURTENANCES IN ACCORDANCE WITH OPSPD STANDARDS AND SPECIFICATIONS, AS WELL AS CITY STANDARDS.
2. INDUSTRIAL/COMMERCIAL SERVICE CONNECTIONS TO BE 50mm COPING PIPING AND SHALL CONFORM TO ASTM B88 TYPE "C" SOT.
3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 2.4m. THEREFORE THERMAL INSULATION IS REQUIRED AS PER CITY STANDARDS (IF AVAILABLE) OR OPSPD 1100.030.
4. IF THE WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS EQUAL TO OR LESS THAN THAT WHICH IS RECOMMENDED BY THE MANUFACTURER.
5. THERMAL INSULATION OF WATERMANS AT OPEN STRUCTURES AS PER CITY STANDARDS (IF AVAILABLE) OR OPSPD 1100.030.
6. VALVES TO BE OPERATED BY CITY STAFF ONLY.
7. NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE CITY OF ST. JOHN'S. ALL WORK FOR WATERMAIN CONNECTION, CONNECTION EXCAVATION, BACKFILLING AND REINSTATEMENT TO BE COMPLETED BY CONTRACTOR.
8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ANY WATERMAIN CONNECTION(S) REQUIRED. THIS SHALL BE COMPLETED IN THE PRESENCE OF A DESIGNATED MUNICIPAL WATER OPERATOR OR A DESIGNATED CONTRACTOR TO PREPARE TO THE SATISFACTION OF THE CITY THAT THEY ARE COMPETENT TO PERFORM THE WORKS PRIOR TO INITIATING CONNECTION.
9. ALL WATERMANS SHALL BE EQUIPPED WITH BUTTERFLY AND GATE VALVES AS PER OPSPD 1100.011.
10. ALL FIRE HYDRANTS, VALVE AND VALVE BOX SHALL CONFORM TO OPSPD 1103.020.
11. CONCRETE THRUST BLOCKS TO CONFORM TO OPSPD 1103.010 AND OPSPD 1103.020.
12. ALL WATERMAIN TO BE CLASS 150 DR-18 OR APPROVED EQUIVALENT.
13. ALL WATERMAIN TO BE EQUIPPED WITH TRACER WIRE.

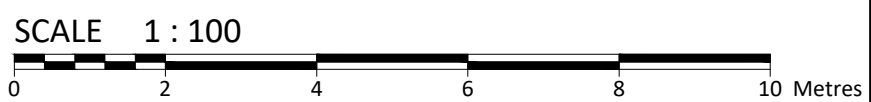
LOCATION PLAN

LEGEND

	BARRIER CURB & CURB DEPRESSION		CENTRELINE OF SWALE
	PROPOSED ASPHALT		CENTRELINE OF DITCH
	CONCRETE WALKWAY		SLOPING AT 3:1 UNLESS SPECIFIED
	LANDSCAPE AREA		PROPOSED ELEVATION
	STORM MANHOLE		EXISTING ELEVATION
	CATCH BASIN, CURB INLET OR DITCH INLET		SWALE ELEVATION
	SANITARY MANHOLE		TOP/BOTTOM WALL FACE ELEVATIONS
	PERFORATED PIPE		EMERGENCY OVERLAND FLOW ROUTE
	WATER VALVE/CHAMBER		SILT FENCE BARRIER PER OPSP 219.110
	FIRE HYDRANT		BUILDING ENTRANCE BUILDING EXIT
	PROPOSED WALL		REDUCER
	PROPOSED TRENCH DRAIN		REMOTE WATER METER
			WATER METER
			GAS METER LOCATION

3	ISSUED FOR APPROVAL	MAY 25, 2022
2	ISSUED FOR REVIEW	APR 6, 2022
1	ISSUED FOR REVIEW	DEC 10, 2021
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work	Do not scale drawings
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6-STOREY RESIDENTIAL BUILDING

406 ROOSEVELT

ON

Scale:	1:100	Project Number:	CCO-22-3302
Drawn By:	R.R.R.		
Checked By:	A.J.G.	Drawing Number:	C102
Designed By:	A.J.G.		