

SITE PLAN OF SURVEY PLAN, PART 1 PLAN OF PART OF LOT 1 REGISTERED PLAN 523, CITY OF OTTAWA

ZONING: AM2181(H11)
ARTERIAL MAINS/TREE ZONE (SECTIONS 185 AND 186) CITY OF OTTAWA;
URBAN EXCEPTION 2161, MAXIMUM HEIGHT 11.0 m

PROPOSED BUILDING TYPE: 4 STOREY LOW RISE RENTAL BUILDING
24 RESIDENTIAL RENTAL UNITS

LOT DEPTH: 55.67m (182.64')

ADJACENT ZONING:
NORTH: AM10
SOUTH: R1GG
WEST SIDE: AM10
EAST SIDE: L1

SCHEDULE 1 AREA: AREA 'C'
SCHEDULE 1A AREA: AREA 'C'

LOT INFO

817 ROSEVIEW	817 ROSEVIEW	EXISTING	NOTES
S. STANDARD:	REQUIRED	PROPOSED	SINGLE
LOT AREA:	n/a	1100m ²	1100m ²
LOT WIDTH:	n/a	20.12m	20.12m
HEIGHT:	n/a	14.32m	+6.0m
FRONT YARD:	n/a	3.0m	3.05m
CORNER YARD:	n/a	7.5m	n/a
REAR YARD:	n/a	7.5m	13.65m
INTERIOR YARD:	0.0m	1.2m	37.3m
AMENITY AREA:	14.4m ²	212.5m ²	n/a
PARKING SPACES:	23	14	1
BIKE SPACES:	5	20	0
M.L.C.:	NO MAX.		

BUILDING AREAS

FIRST FL. GFA:	160.0m ²	-	-
SECOND FL. GFA:	175.5m ²	-	-
THIRD FL. GFA:	367.3m ²	-	-
FOURTH FL. GFA:	285.7m ²	-	-
STORAGE:	70.1m ²	-	-
GARAGE/CARPORT:	123.5m ²	-	-
EXTERIOR (ALL FLOORS):	453.9m ²	-	-
TOTAL GFA:	1355.8m ²	-	-
TOTAL ALL AREAS:	1882.2m ²	-	NOT INCL. CARPORTS

PROPOSED SITE DEVELOPMENT INFO

NEW GROSS FLOOR AREA: 1355.8m²

EX. GROSS FLOOR AREA: 0.0m²

NUMBER OF UNITS: 24

PROPOSED STOREYS: 4

BUILDING COVERAGE: 39.8%

SOFT LANDSCAPING CVG.: 11.6%

HARD LANDSCAPING CVG.: 4.8%

DECKSPORCHES/STEPS: 0.0%

ASPHALT CVG.: 43.9%

OTHER: 1.9%

SURVEY INFO

SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN OF PART OF LOT 1, REGISTERED PLAN 523, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD MAY 20, 2021

SITE NOTES

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES

EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY

ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL

ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)

EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

EXISTING PLANTING MATERIAL

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES				
CONIFEROUS TREES				
SHRUBS				

NEW PLANTING MATERIAL

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES				
DT1	RED MAPLE	2	50mm Cal.	
CONIFEROUS TREES				
SHRUBS				

TREE CONSERVATION NOTES

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAK-APART HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.

* TREE PROTECTION FENCE (PF) TO BE ERRECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.5m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

1 SITE PLAN
SCALE 3/32" = 1'-0"

SITE LEGEND

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED RIVERSTONE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BI-CYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE
- MOTION SENSING EXT. LIGHTS

WASTE COLLECTION LEGEND

- GB 3YD + 2YD GARBAGE CONTAINERS
- BB 2YD FIBRE CONTAINER
- B 2YD GML CONTAINER
- G 240L ORGANICS
- PRIVATE COLLECTION



3 KEY PLAN & CONTEXT
SCALE NO SCALE

GENERAL CONSTRUCTION NOTES
ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 REQUIREMENTS.

INTERIOR SPACES DESIGN & MATERIALS

- ALL CLOSETS TO RECEIVE 1 ROD AND 2 SHELVES, UNLESS OTHERWISE NOTED.
- INSTALL GALVANIZED METAL PAN & DRAIN AT ALL CLOTHES WASHING MACHINE LOCATIONS.

WINDOWS AND DOORS

- DOORS, INCLUDING SLIDING DOORS THAT OPEN MORE THAN (900MM) 24" ABOVE GROUND OR A LANDING SHALL HAVE A RESTRICTED OPENING OR BE PROVIDED WITH GUARDS (9.8.7.3).
- PROVISIONS FOR RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED IN CONFORMANCE TO 9.7.5.2 AND 9.7.5.3 OF THE O.B.C.
- EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INTERIOR USING A TOOL AND SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNRESTRICTED PORTION HAVING A MINIMUM AREA OF 0.33 M² WITH NO DIMENSION LESS THAN (300MM) 12" AND BE ABLE TO MAINTAIN THE RDP OPENING WITH ADDITIONAL SUPPORT (9.8.10).

STAIRS, RAMPS, HANDRAILS & GUARDS

INTERIOR PRIVATE STAIR: RISERS: 7" MIN. - 4 1/2" MAX. RUN: 11" MIN. - 14" MAX. TREAD: 11" MIN. - 14" MAX. NOSING: 1" MIN. - 1 1/2" MAX. MINIMUM HEADROOM CLEARANCE OF (1.90M) 6' 3" STAIRS.

EXTERIOR PRIVATE STAIR: RISERS: 7 7/8" MIN. RUN: 12" MIN. TREAD: 12" MIN. NOSING: 1" MIN. MIN. HEADROOM CLEARANCE TO BE 6'-6" ABOVE NOSING.

2. HANDRAILS TO BE (900MM) 36" TO 39" ABOVE NOSING.

3. AN EXTERIOR GUARD MUST BE A MINIMUM HEIGHT OF (900MM) 21" IF THE WALKING SURFACE IS LESS THAN (900MM) 31" ABOVE THE ADJACENT GRADE. OTHERWISE THE HEIGHT MUST BE A MINIMUM OF (1.07M) 47". ALL REQUIRED GUARDS WITH DWELLING UNITS MUST BE A MINIMUM OF (900MM) 21" IF:

- GUARDS ARE REQUIRED ON DECKS AND OTHER WALKING SURFACES THAT EXTEND TO (900MM) 23 5/8" ABOVE GRADE AND SHALL CONFORM TO THE LOADING CRITERIA IN PART 4 OF THE O.B.C. OR BE CONSTRUCTED AS SET OUT IN THE O.B.C.
- SUPPLEMENTARY GUIDELINES PART 7.0.8.8.8 FOR METAL GUARDS. SUPPLIER SHOP DRAWINGS MUST BE CERTIFIED FOR DESIGN INSTALLATION CONFORMING TO O.B.C. PART 4 AND 9.8.8.2.
- A LANDING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR STAIRS THAT CONTAIN MORE THAN 3 RISERS (9.8.2.23).

INTERIOR STAIR: ALL STAIR GUARDS TO BE 3" ABOVE NOSING.

ALL LANDING GUARDS TO BE 3" ABOVE FINISHED FLOOR.

MAXIMUM VERTICAL SPACING BETWEEN BALUSTERS IS 4".

EXTERIOR STAIR: TO COMPLY TO O.B.C. 9.8.8 FOR RESISTANCE TO LOADS AND LEVEL ANCHORAGE.

ALL STAIR GUARDS TO BE 3" ABOVE NOSING.

ALL LANDING AND BALCONY GUARDS TO BE 3" ABOVE FINISHED SURFACE.

ALL DECKS MAY REQUIRE MODIFICATIONS TO FRAMING INDICATED.

ADD INSULATION DEPENDENCIES AT EACH TRUSS SPACE WHERE NECESSARY TO MAINTAIN MINIMUM 2 1/2" AIR SPACE ABOVE INSULATION.

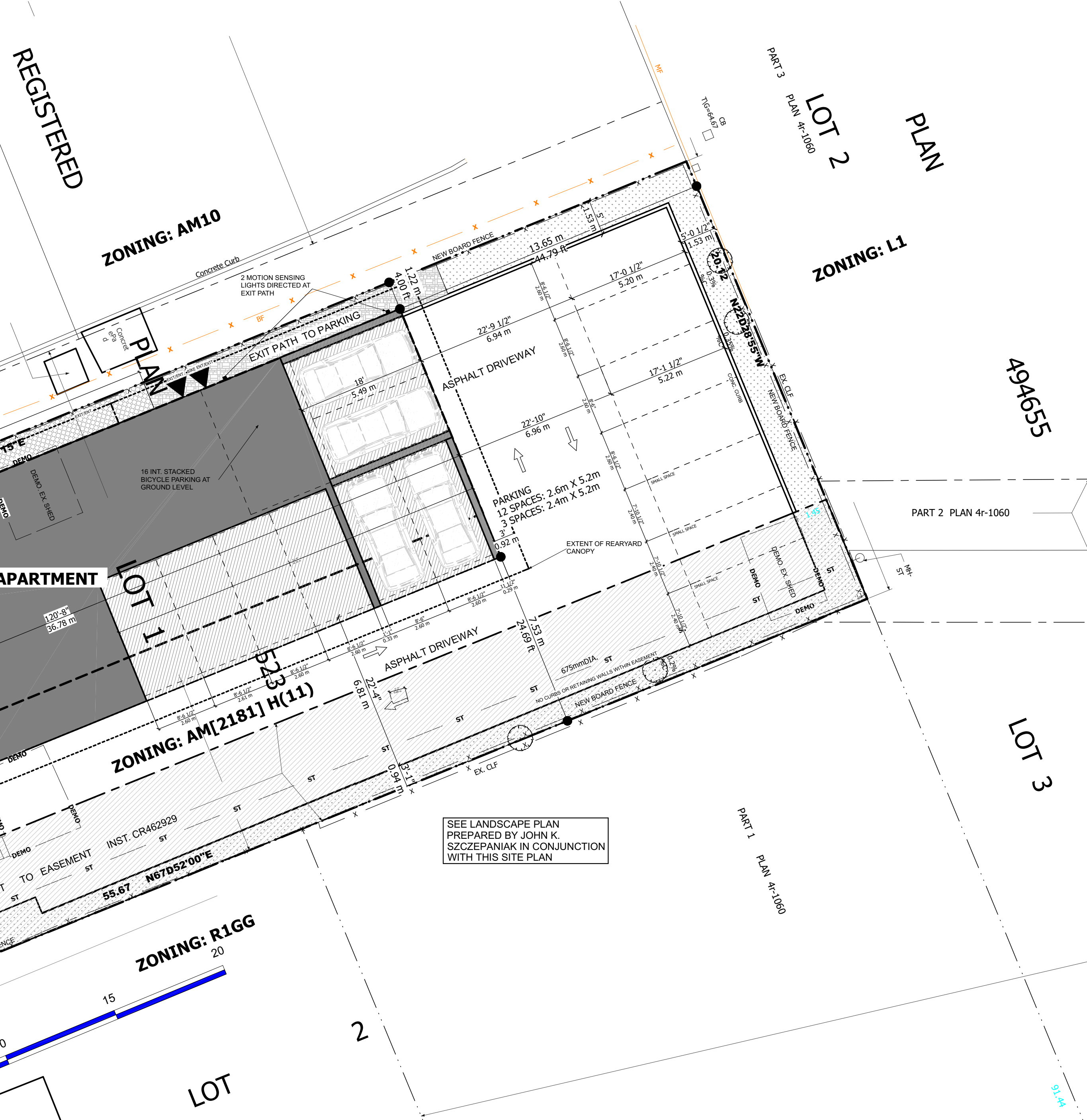
4. LOCATE ALL PLUMBING STACKS AND VENTS ON REAR ROOF.

5. ROOF VENTS ARE TO BE UNIFORM ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% AT THE TOP AND NOT LESS THAN 25% AT THE BOTTOM. (9.18.1.2) ROOF VENT AREA MUST BE A MINIMUM OF 100% OF THE INSULATED CEILING AREA. IF ROOF SLOPE IS LESS THAN 1% THE AREA IS 100% OF THE INSULATED CEILING AREA.

6. EXISTING PROTECTION REQUIRED ON SHINGLE, SHAKE, OR TILE ROOFS EXTENDING FROM THE EDGE OF ROOF A MINIMUM OF (900MM) 21" UP THE ROOF SLOPE TO A LINE NOT LESS THAN (300MM) 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL. (9.28.5).

CLADDING & COMPONENTS

- Rear flashing up wall 6" minimum at backside of air barrier.
- Use joint.
- air barriers are to be continuous. (9.23.3)



UNPROCESSED ARCHITECTURE INC.
5-16 BIRCHLAND AVE.
OTTAWA, ON K1N 7K2
AZUL DESIGNS
OTTAWA, ON K1M 1Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS HAVING JURISDICTION
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS OF THE SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
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GENERAL NOTES

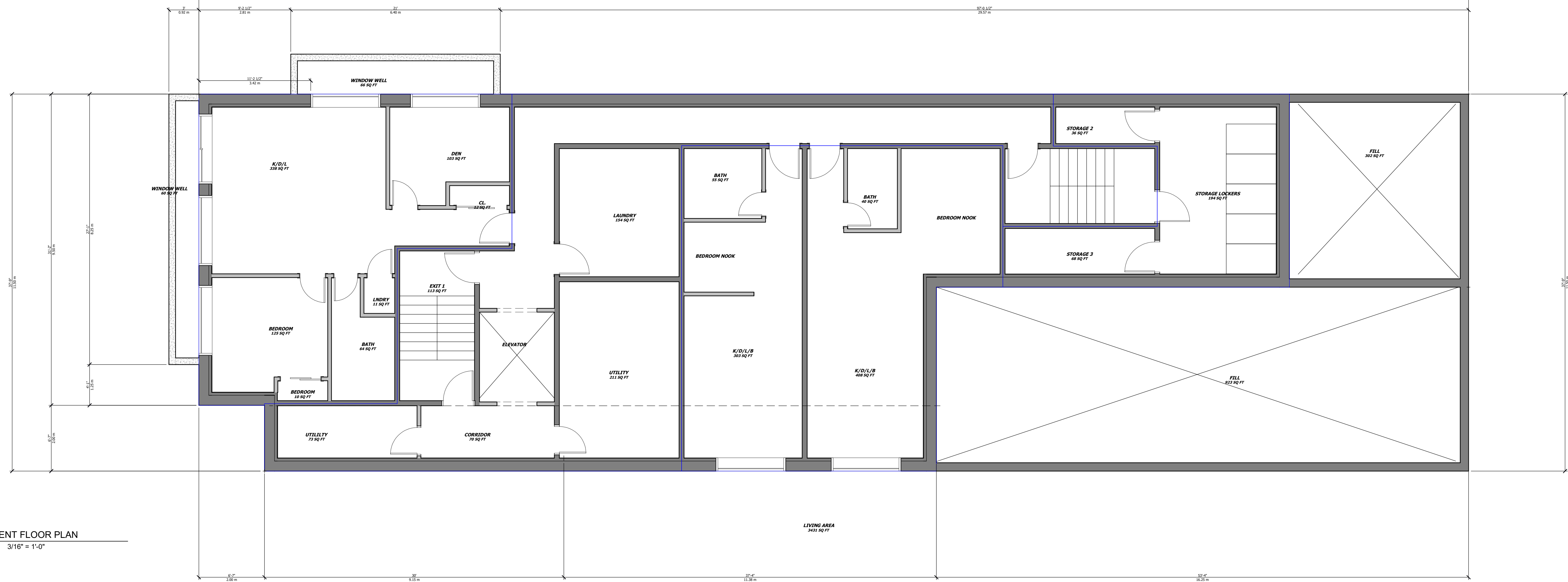
OVERSEER/DEVELOPER: ANNIS, O'SULLIVAN, VOLLEBEK LTD
ARCHITECT/DESIGNER: UNPROCESSED ARCHITECTURE INC./AZUL DESIGNS
APPLICATION NUMBER: 1805-CAMPA-18-011
CIVIL ENGINEER: ANNIS, O'SULLIVAN, VOLLEBEK LTD
LANDSCAPING: JOHN K. SZCZEPANIAK
CONSULTANTS: STRUCTURAL: TRD; MECHANICAL: TRD; ELECTRICAL: TRD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/02/21

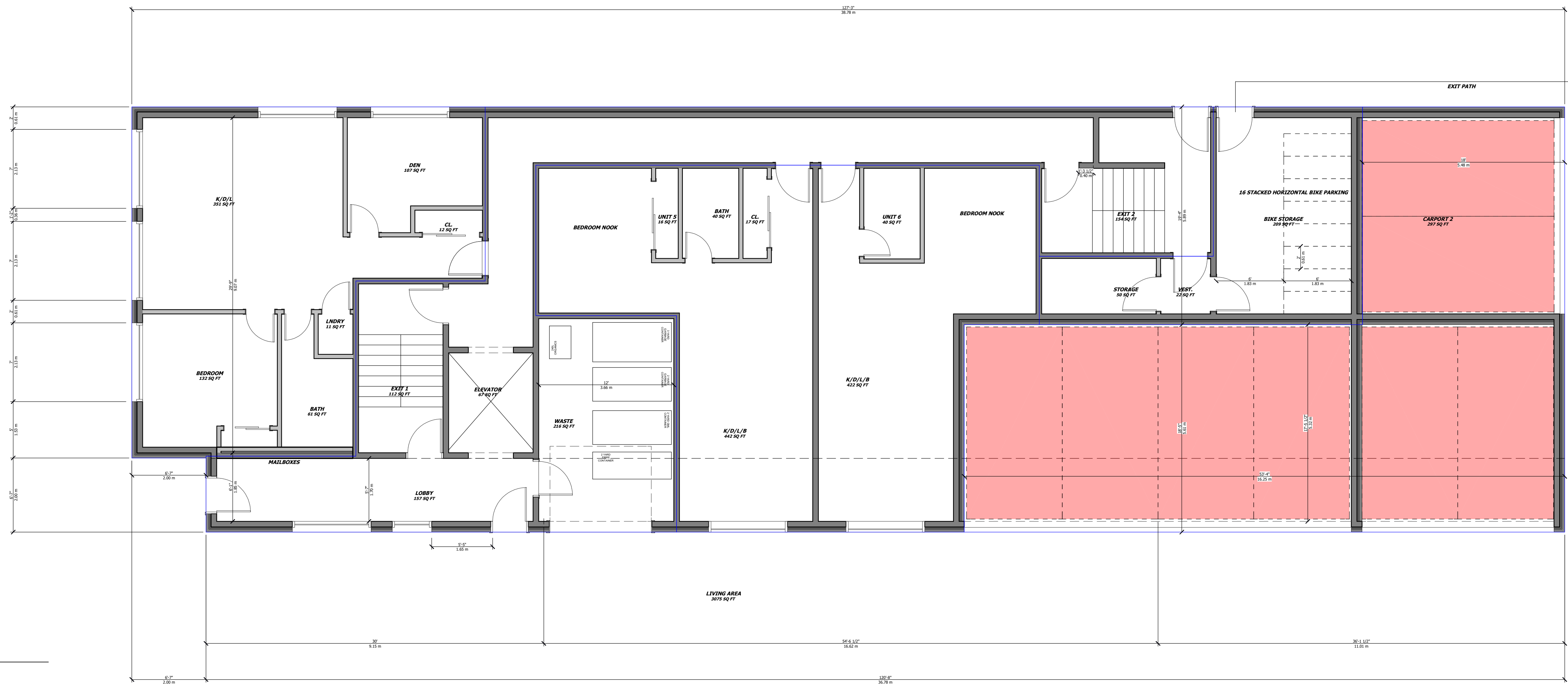
PROJECT: 817 ROSEVIEW AVENUE RENTAL BUILDING - 24 UNITS
DRAWING NAME: SITE PLAN
DRAWN BY: --- SHEET: A1
DATE: FEB. 10, 2021
SCALE: AS NOTED #18620

FILE NUMBER: D07-12-21-0165

817 ROSEVIEW AVENUE
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS



1 BASEMENT FLOOR PLAN
SCALE 3/16" = 1'-0"



2 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T5
AZUL DESIGNS
OTTAWA, ON K1H 3Q2

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GENERAL NOTES:

817 ROSEVIEW AVENUE
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:
FARBER DEVELOPMENT
1000 SHEPPARD AVE. E. #201
SCARBOROUGH, ON M1S 1W5

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T5

APPLICATOR/ANALYST:
STEP CAMPAIGN INC.
111 COLLEGE STREET, SUITE 300
OTTAWA, ON K2B 9K2

CIVIL ENGINEER:
ARCHITECTURE/DESIGN
OTTAWA, ON K1H 3Q2

LANDSCAPING:
JONAS & ASSOCIATES
P.O. Box 622, Station T
OTTAWA, ON K1S 5B0

SUBSECTOR:
ANNEC, 05/11/2014, VOLLEBRINK LTD
11 CONCORD DRIVE, SUITE 300
OTTAWA, ON K2B 9K2

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: 817 ROSEVIEW AVENUE
817 ROSEVIEW AVE.
OTTAWA, ON K2B 9L3

DRAWING NAME: FLOOR PLANS

DATE: FEB. 10, 2021

SCALE: AS NOTED

FILE NUMBER: D07-12-21-0165

A2 #18620

UNPOISED ARCHITECTURE INC.
 5-16 SWEETLAND AVE.
 OTTAWA, ON K1N 7T5
 AZUL DESIGNS
 OTTAWA, ON K1H 3Q2

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GENERAL NOTES:

817 ROSEVIEW AVENUE
 SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:
 PARISELL DEVELOPMENT
 1000 SHEPPARD AVE. E. SUITE 100
 OTTAWA, ON K1H 1S4

ARCHITECT/DESIGNER:
 UNPOISED ARCHITECTURE INC./AZUL DESIGNS
 5-16 SWEETLAND AVE.
 OTTAWA, ON K1N 7T5

APPLICATOR/OWNER:
 WEST CANADA INC.
 2111 GARDENWAY DR. SUITE 300
 OTTAWA, ON K2B 8K2

CIVIL ENGINEER:
 ARCHITECTURE/ENGINEERING
 OTTAWA, ON K1H 3Q2

LANDSCAPING:
 JONAS & ASSOCIATES
 P.O. Box 627, Station T
 OTTAWA, ON K1R 6K5

SUBSIDIARY:
 ANNO, OSOJALAN, VOLLEBERG LTD
 14 CONCORD DRIVE, SUITE 300
 OTTAWA, ON K2E 7J9

CONSULTANTS:
 STRUCTURAL: TBD
 MECHANICAL: TBD
 ELECTRICAL: TBD

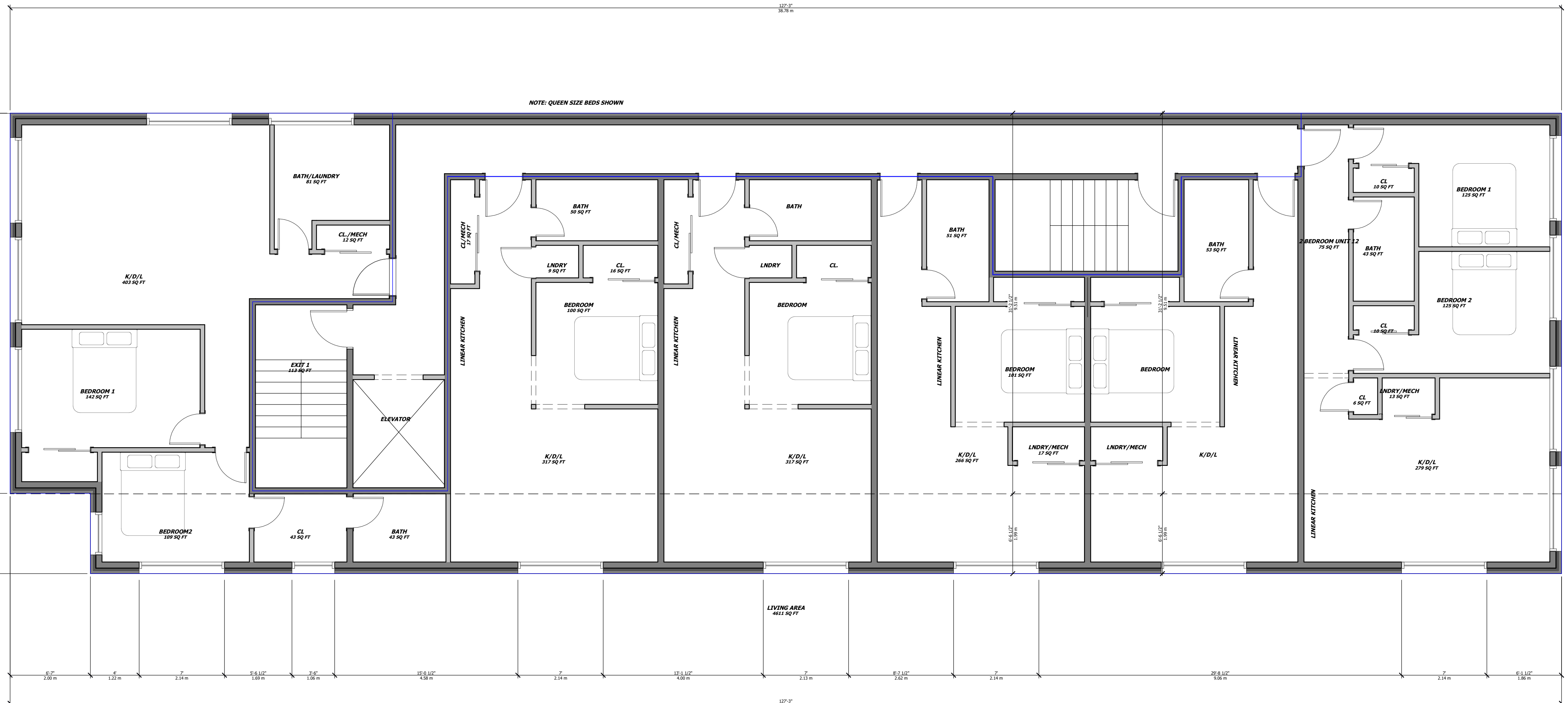
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4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: **817 ROSEVIEW AVENUE**
 817 ROSEVIEW AVE.
 OTTAWA, ON K2B 8L3
 613-000-0000

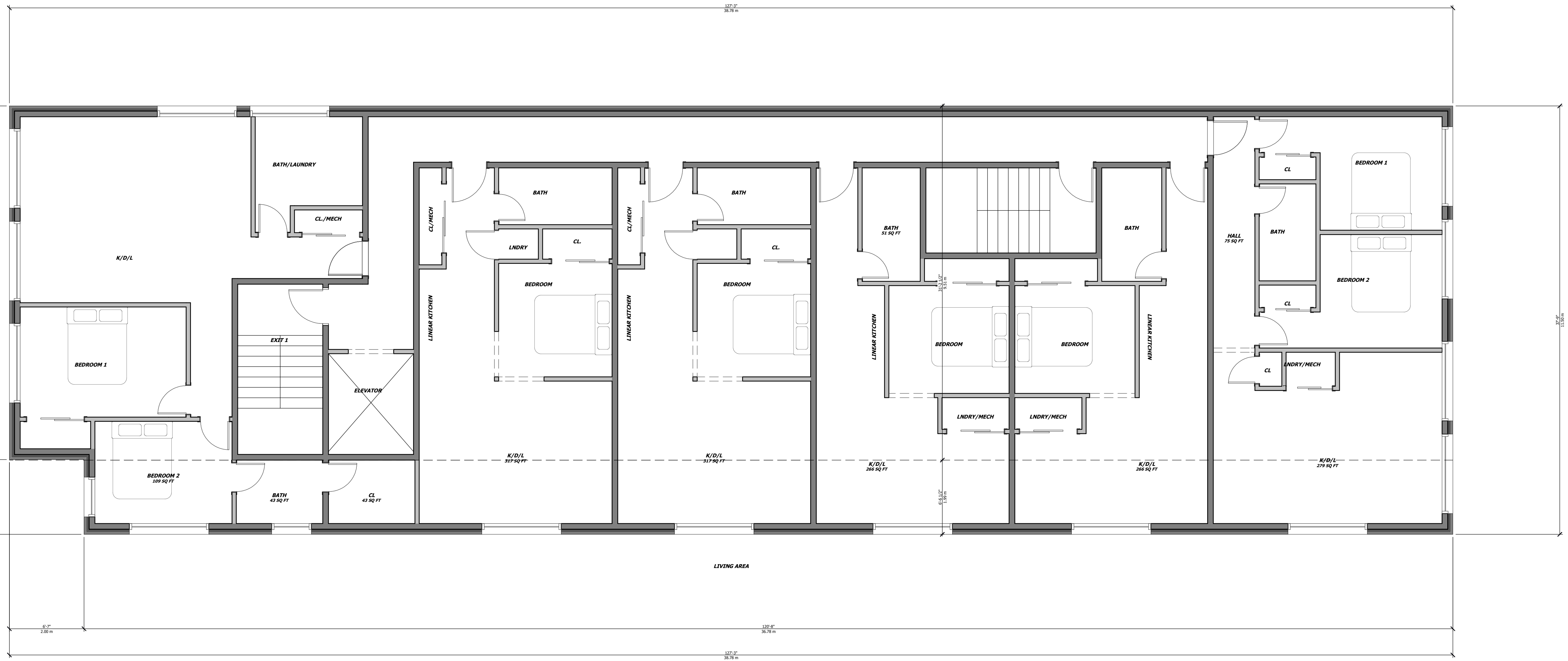
DRAWING NAME: **FLOOR PLANS**
 DRAWN BY: ... SHEET: **A3**
 DATE: FEB. 10, 2021
 SCALE: AS NOTED

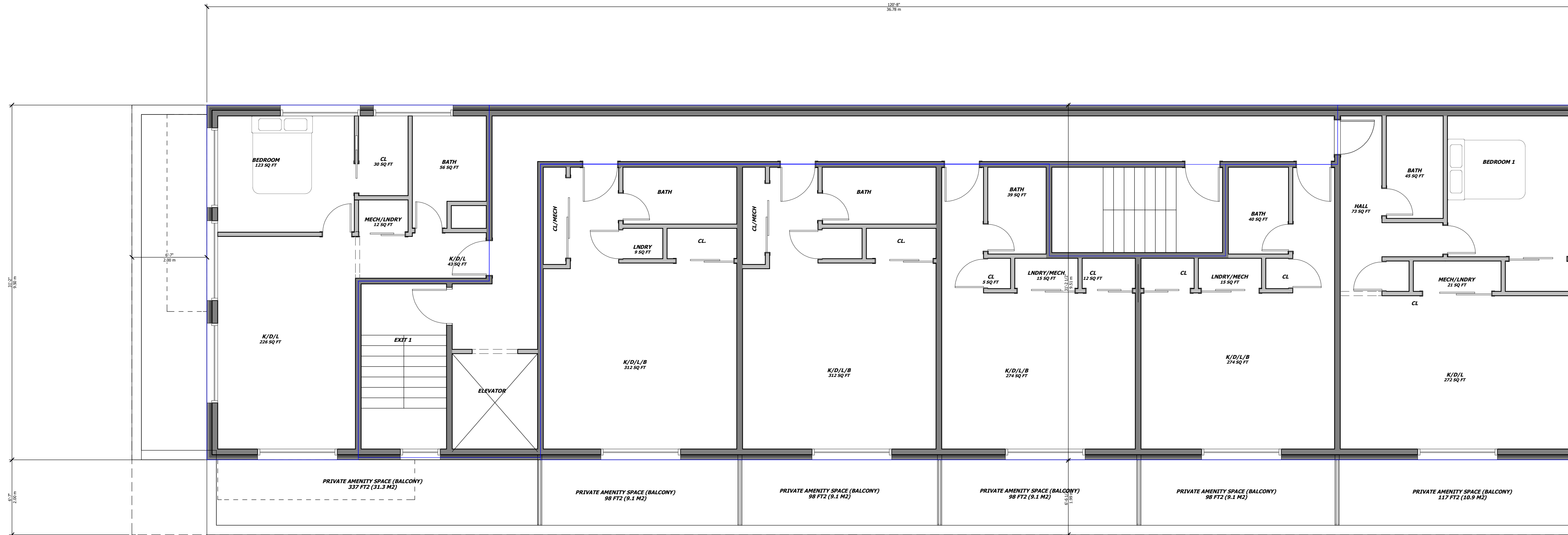
FILE NUMBER: D07-12-21-0165

1 SECOND FLOOR PLAN
 SCALE 3/16" = 1'-0"

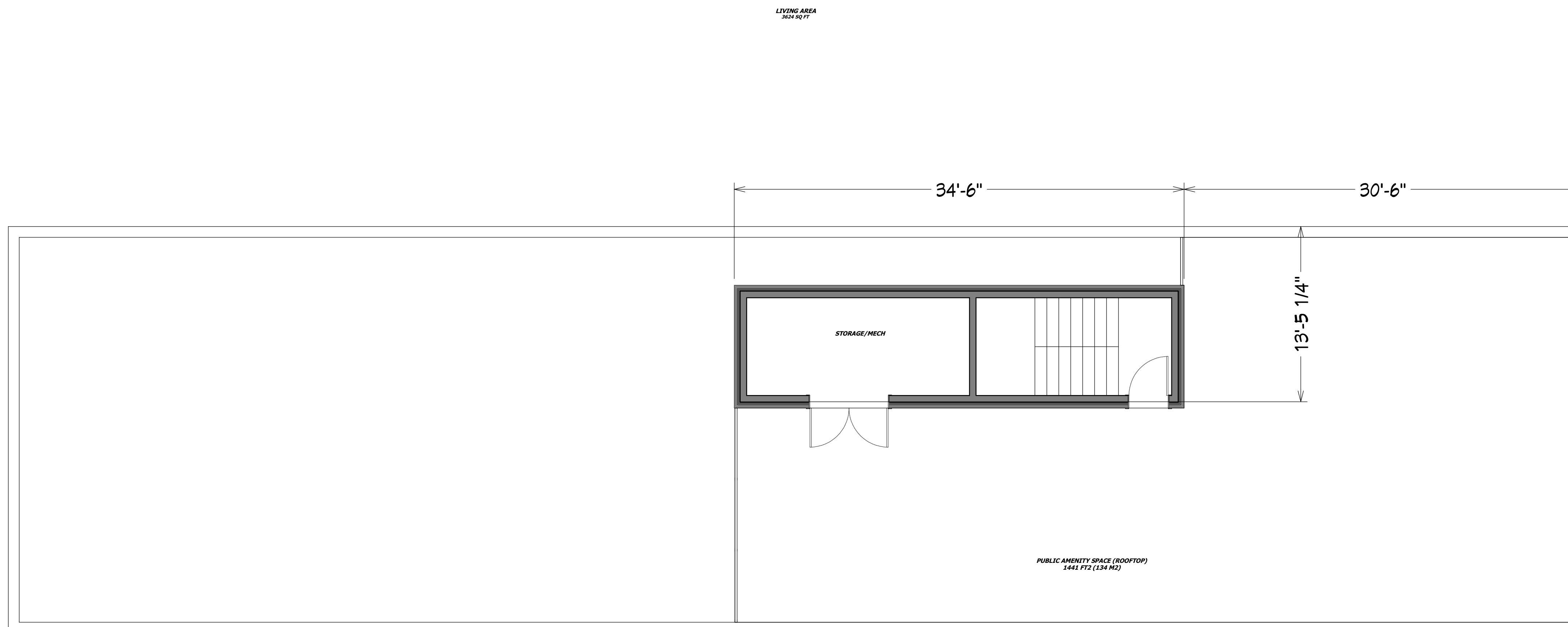


2 THIRD FLOOR PLAN
 SCALE 3/16" = 1'-0"





1
A4 FOURTH FLOOR PLAN
SCALE 3/16" = 1'-0"



2
A4 ROOF PLAN
SCALE 3/16" = 1'-0"

UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T5
AZUL DESIGNS
OTTAWA, ON K1H 1Q2

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RESPONSIBILITIES:
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ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
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GENERAL NOTES:

817 ROSEVIEW AVENUE
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:
FARBER DEVELOPMENT
100 EASTERN AVE.
OTTAWA, ON K1R 6E1
K2E 1E1

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T5

APPLICATOR/OWNER:
100 EASTERN AVE.
OTTAWA, ON K1R 6E1
K2E 1E1

CIVIL ENGINEER:
ARCHITECTURE/DESIGN
OTTAWA, ON K1N 7T5

LANDSCAPING:
JONES & SCOTT/DESIGN
P.O. Box 6207, Station T
OTTAWA, ON K1N 7T5

SUBMITTER:
ARNDT, O'SULLIVAN, VOLLEBERG LTD
111 CONCORD AVENUE, SUITE 300
OTTAWA, ON K2E 7J9
K2E 7J9

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARY	02/02/21

PROJECT: **817 ROSEVIEW AVENUE**
817 ROSEVIEW AVE.
OTTAWA, ON K2B 6L3
613-000-0000

DRAWING NAME: **PLANS**

DRAWN BY: --- SHEET: **A4**
DATE: FEB. 10, 2021
SCALE: AS NOTED

#18620

FILE NUMBER: D07-12-21-0165

EXTERIOR MATERIALS : 817 Roseview Avenue	Date: 2022-05-02
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1 WEST ELEVATION
A5 SCALE 1/8" = 1'-0"

Drawing Tag	Description	Comments
1	Brick Veneer (Brampton Brick) - Clay Brick - Architectural series - Colour: Graphite - Grout: to match brick	- Colour sample to be approved on site
2	EIFS (STO Therm) - Colour: Light Grey	Colour sample to be approved on site
3	Steel Siding (Vicwest) - AD Series - Colour: medium grey	Colour sample to be approved on site
4	Brick Veneer (Brampton Brick) - Clay brick - Architectural series - Colour: red velour - Grout: cream colour	- Colour sample to be approved on site
5	Aluminium Composite Panel (Nortem) - Alpolic Matt Series - Colour: Light grey	Colours sample to be approved on site
6	Aluminum Louvers - Anodized Metal	Colours sample to be approved on site



2 SOUTH ELEVATION
A5 SCALE 1/8" = 1'-0"

UNPOISED ARCHITECTURE INC.
5-16 SWETLAND AVE.
OTTAWA, ON K1N 7T5
AZUL DESIGNS
OTTAWA, ON K1H 7Q2

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GENERAL NOTES:

817 ROSEVIEW AVENUE
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:
PARSONS BRINCKERHOFF
1000 SHEPPARD AVE. EAST
OTTAWA, ON K1H 1S6

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWETLAND AVE.
OTTAWA, ON

APPLICATION NUMBER:
1000 SHEPPARD AVE. EAST SUITE 300
OTTAWA, ON K1H 1S6
K18-842

CIVIL ENGINEER:
ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWETLAND AVE.
OTTAWA, ON

LANDSCAPING:
DORIS ACCORNINGER
P.O. Box 627, Sarnia, ON
N7S 1B5

SUBMITTER:
ARND, OTSULMAN, VOLLEBAEK LTD
14 CONCORD DRIVE SUITE 300
OTTAWA, ON K2B 8L3
K2E-709

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: **817 ROSEVIEW AVENUE**
817 ROSEVIEW AVE.
OTTAWA, ON K2B 8L3

DRAWING NAME: **ELEVATIONS**

DRAWN BY: ... SHEET: **A5**
DATE: FEB. 10, 2021
SCALE: AS NOTED

FILE NUMBER: D07-12-21-0165



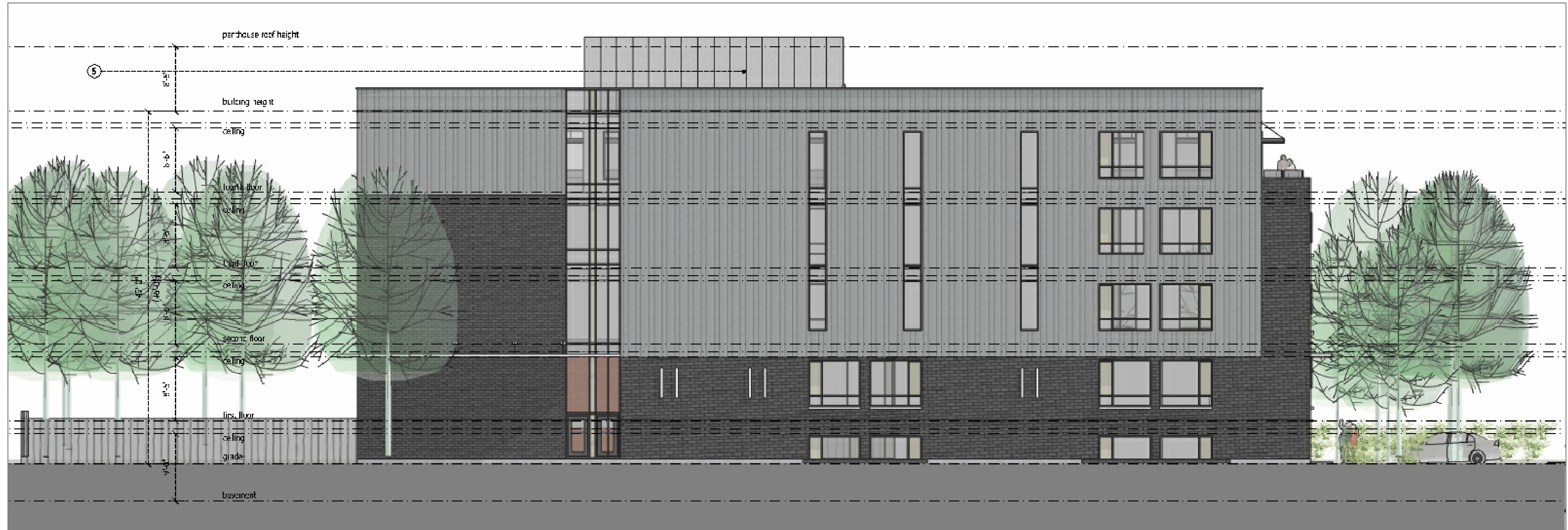
1 EAST ELEVATION
A6 SCALE 1/8" = 1'-0"

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6	Aluminum Louvers - Anodized Metal	Colours sample to be approved on site

UNPOISED ARCHITECTURE INC.
5-16 SWETLAND AVE.
OTTAWA, ON K1N 7T5
AZUL DESIGNS
OTTAWA, ON K1H 7Q2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES:



2 NORTH ELEVATION
A6 SCALE 1/8" = 1'-0"

817 ROSEVIEW AVENUE
SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS

OWNER/DEVELOPER:
FARBER DEVELOPMENT
1000 SHEPPARD AVE. EAST
OTTAWA, ON K1H 1S6

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWETLAND AVE.
OTTAWA, ON K1N 7T5

APPLICATION NUMBER:
1057 CANADA INC.
211 COLLEGE STREET, SUITE 300
OTTAWA, ON K2B 8K2

CIVIL ENGINEER:
ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC./AZUL DESIGNS
5-16 SWETLAND AVE.
OTTAWA, ON K1N 7T5

LANDSCAPING:
DORIS S. GIBSON/ARCHITECT/DESIGNER:
P.O. Box 627, Station 77
OTTAWA, ON K1N 7T5

SUBMITTER:
ARND, OTSULMAN, VOLLEBERG LTD
14 CONCORDE DRIVE, SUITE 300
OTTAWA, ON K2B 8L3
K2E 7P9

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	01/14/22
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	01/20/21
1	PRELIMINARIES	02/10/21

PROJECT: 817 ROSEVIEW AVENUE
817 ROSEVIEW AVE.
OTTAWA, ON K2B 8L3
613-000-0000

DRAWING NAME: ELEVATIONS

DRAWN BY: ... SHEET: A6
DATE: FEB. 10, 2021
SCALE: AS NOTED #18620

FILE NUMBER: D07-12-21-0165