

Project Design Brief
Kanata Mosque
3511 Sandhill Road, Ottawa

Prepared by
Studio Senbel, architecture + design inc.
on behalf of
Kanata Muslim Association
for
Site Plan Control Application – Revisions
May 2022

1.0 Introduction

This report submission is prepared in support of a revision to a Phase II development to a previously approved Site Plan Control application for the Kanata Mosque. The address and property information for the project are as follows:

Address	Frontage (m)	Depth (m)	Property Area (m ²)	PIN
351 Sandhill Road	61.0	133.85	8174.65	045170006

Previous Approvals for this project:

- Site Plan Control Application D07-12-17-0019
- Rezoning D02-02-17- 0088.

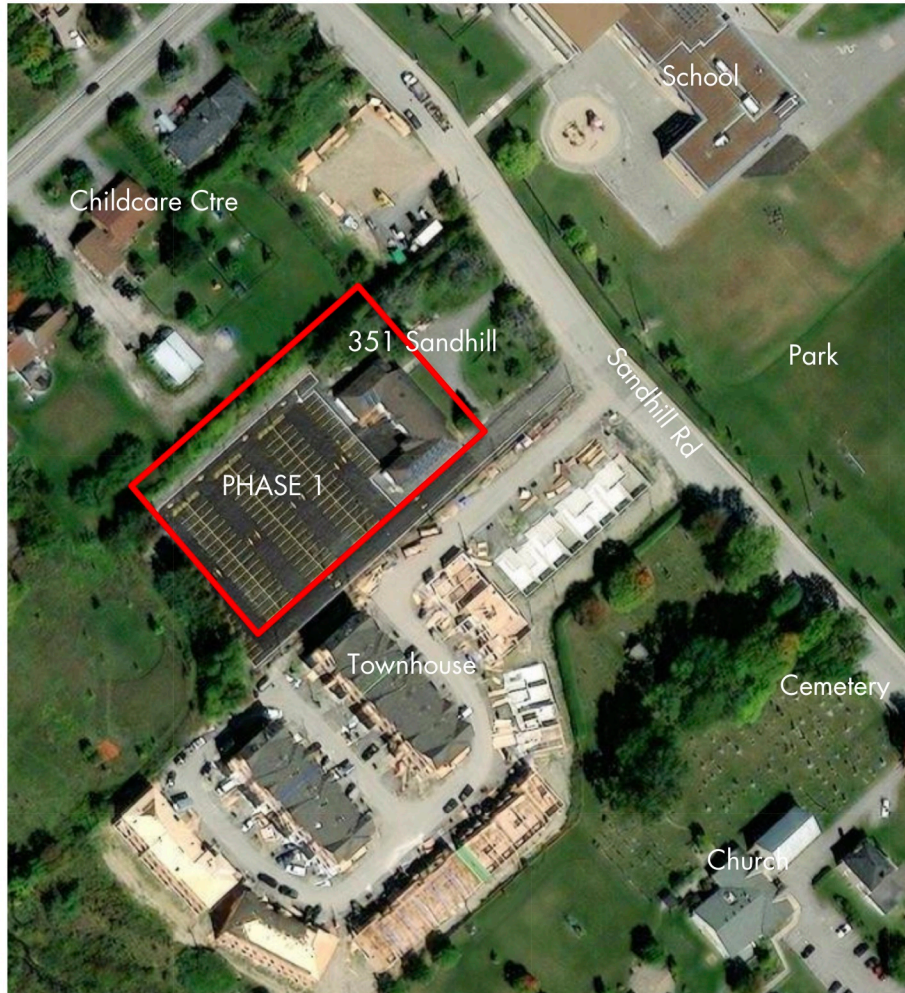
2.0 The Neighbourhood

The proposed development fronts onto the west side of Sandhill Road. Sandhill Road runs east-west between Shirley's Brook Drive and Klondike Road. It is a two-lane street with a paved sidewalk running along the east side.

The Subject Property is bound by a variety of mixed uses. Directly north of the property, along Sandhill Road, is a vacant lot. Abutting the north interior side yard is a childcare centre that fronts onto Klondike Road. The area to the east is occupied by the South March Public School and Juanita Snelgrove Park To the south is a new 60 unit townhouse development. The Brookside Baptist Church and the St John's Anglican Church and cemetery are nearby.

3.0 Phase 1 of the Subject Development

Phase I of the subject development has now been completed and is operational as approved by Site Plan Control Application D07-12-17-0019. This included the conversion of the existing single family to an assembly building and the completion of the paving, drainage and lighting of rear yard parking area. Refer to the recent aerial image below:



4.0 Phase II of the Subject Development

The revised architectural design for Phase II of the subject development is intended to reflect the Kantata Muslim community's Islamic identity within the diversity of Canadian society. It is intended to develop a project that has a meaningful sense of place and be well integrated within its neighbourhood context.

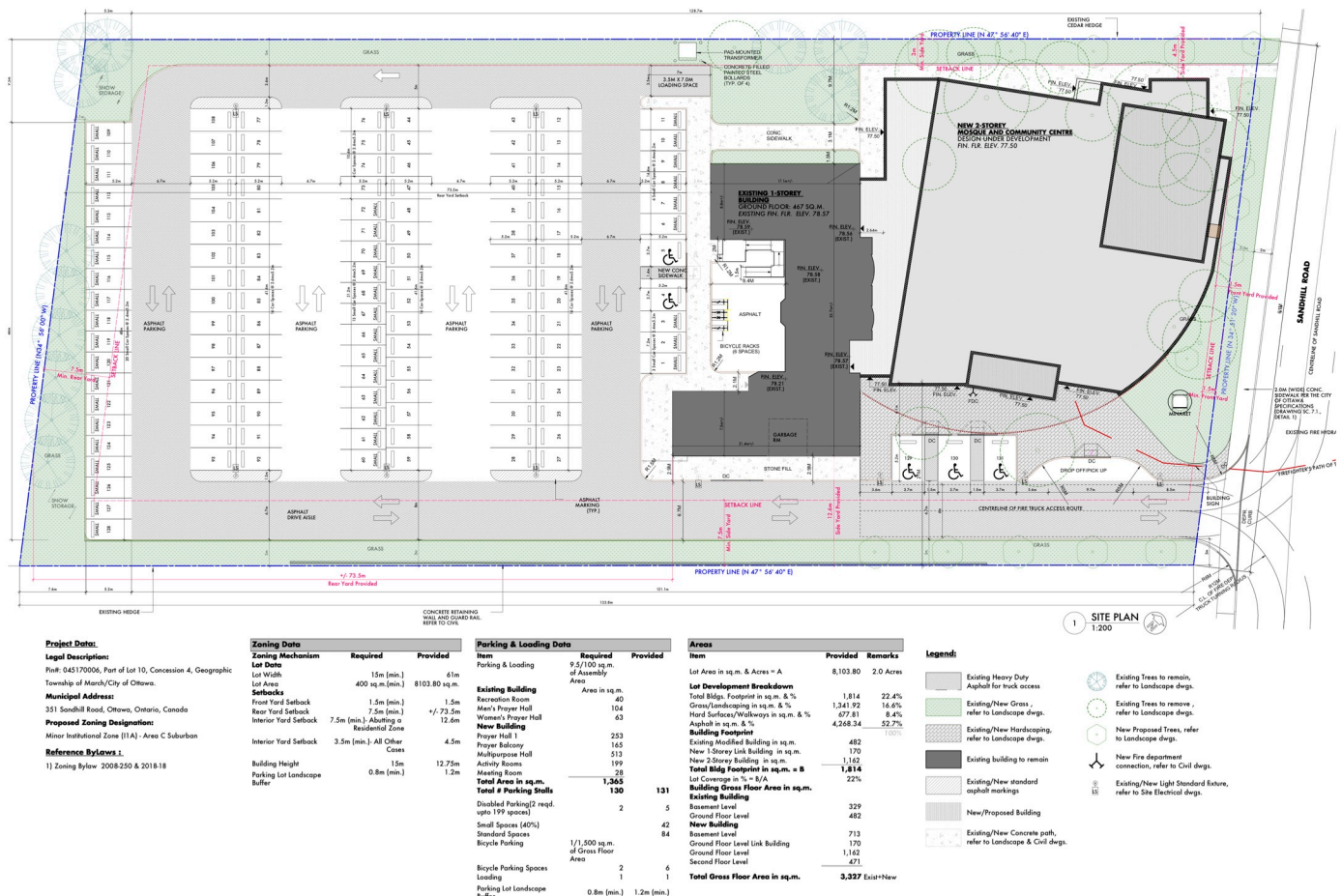
Contemporary interpretation of Islamic decorative motifs (calligraphy and geometric patterns) and architectural elements (the minaret) are used in the new design. That in combination with a building that responds to the northern climate and uses local materials is intended to create a building with a strong relationship to its environment and be representative of it's community.

4.1 Zoning Information

There are no changes to the previously proposed uses of Phase II of this project. The building uses are Place of Worship / Place of Assembly and supporting ancillary spaces. The existing I1 zone permits these uses. The proposed development meets all performance provisions previously approved for Phase II, including but not limited to:

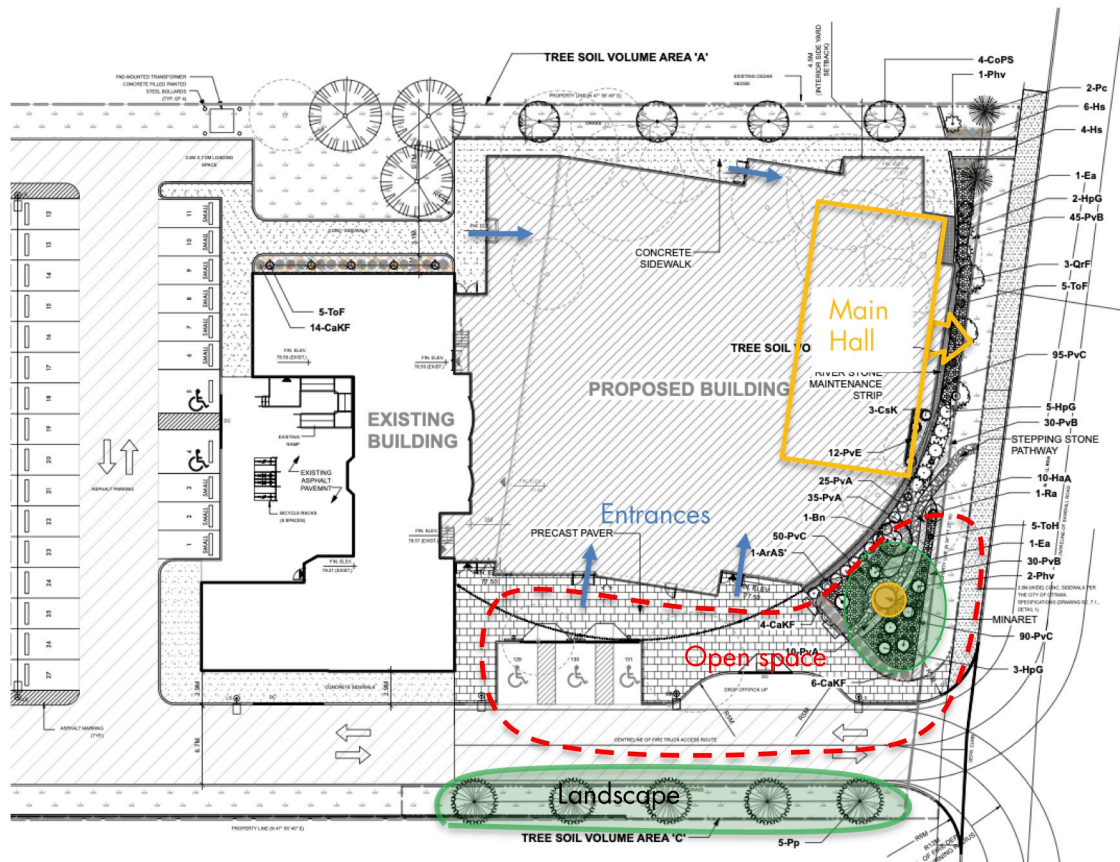
	Required	Provided
Maximum Height (m)	15 m	12.75m
Maximum Lot Coverage (%)	35%	22%
Setbacks	Various	Refer to plans
Parking	9.5/100 m ² assembly area	131

Refer to architectural drawings for additional information.



4.2 Site Design

The only significant requirement for any Mosque is for the prayer hall to be oriented to accommodate long rows of worshippers facing the holy city of Mecca, when in prayer. In Kanata the direction of Mecca is 57° east of true north. This is surprisingly close to the N-S alignment of Sandhill Drive. Locating the long side of the prayer hall along the street with the multipurpose hall behind had the biggest impact on the site design.



The building entrances and lobby had to be located along the vehicular access drive-aisle on the side of the building, not fronting onto Sandhill Rd. In order to open up the side entrances to the streetscape, the proposed building is pulled back from the corner of the access drive-aisle and Sandhill Rd. This created a plaza space for planting, human activity and the minaret to animate the street.



The proposed coniferous spruce trees on this development site plus a fence and additional landscape area on the new townhouses site will provide the necessary screening between the institutional and the residential uses.

Furthermore, the space created by the two side by side drive-aisles provides an additional buffer between the two developments. No significant shadowing is anticipated on the adjacent residential properties.

4.3 Building Massing

The project is located in an evolving district and the proposed building will be the first with a close frontage onto Sandhill Road. As such, an important design intent was to mitigate the building's impact on the developing streetscape and develop a welcoming approach to the site. The double volume height of the Prayer Hall is scaled down towards the street to a lower curved wall that wraps around from the front of the building to engage with the building's entrance plaza. This building massing along with careful landscape design along the street frontage will articulate the building edge along Sandhill Drive.

The freestanding minaret, an important architectural symbol in mosque architecture, is located at the entrance to the site creating a recognizable landmark.



4.4 Building Materials

The exterior building finishes proposed are high quality local building materials and modern materials. The palette includes stone masonry, precast concrete panels, metal cladding, glass curtain wall and decorative metal screens. The building entrances are celebrated with arched elements articulated with a curved aluminum screen. The prayer hall volume and the minaret will be clad with precast concrete panels decorated with relief patterns. The specific details of the calligraphy, geometric patterns and minaret material details are still under development. However, building heights, massing, entrances, and fenestration are fixed.

4.5 Sustainable Design

The proposed building site landscape, storm management, envelope design, electrical and mechanical systems will meet or exceed the energy performance requirements of the Ontario Building Code. Natural daylighting strategies for the assembly halls as well as provision for future solar power are under consideration. LED lighting is proposed throughout the building.

Sharif Senbel
Architect, OAA AIBC AAA LEED AP

studio senbel
architecture + design



2022-06-20

Referenced Document List:

Architectural Drawing (Senbel)

- Site Plan
- Floor Plans
- Elevations

Landscape Plans (Ruhland)

- Planting Plan
- Landscape Details

Civil Drawings and Documents (EXP)

- SWM Site Servicing Report
- ESC
- Stormwater Management
- Site Servicing
- Grading Plan

Electrical (Alfa)

- Site Lighting