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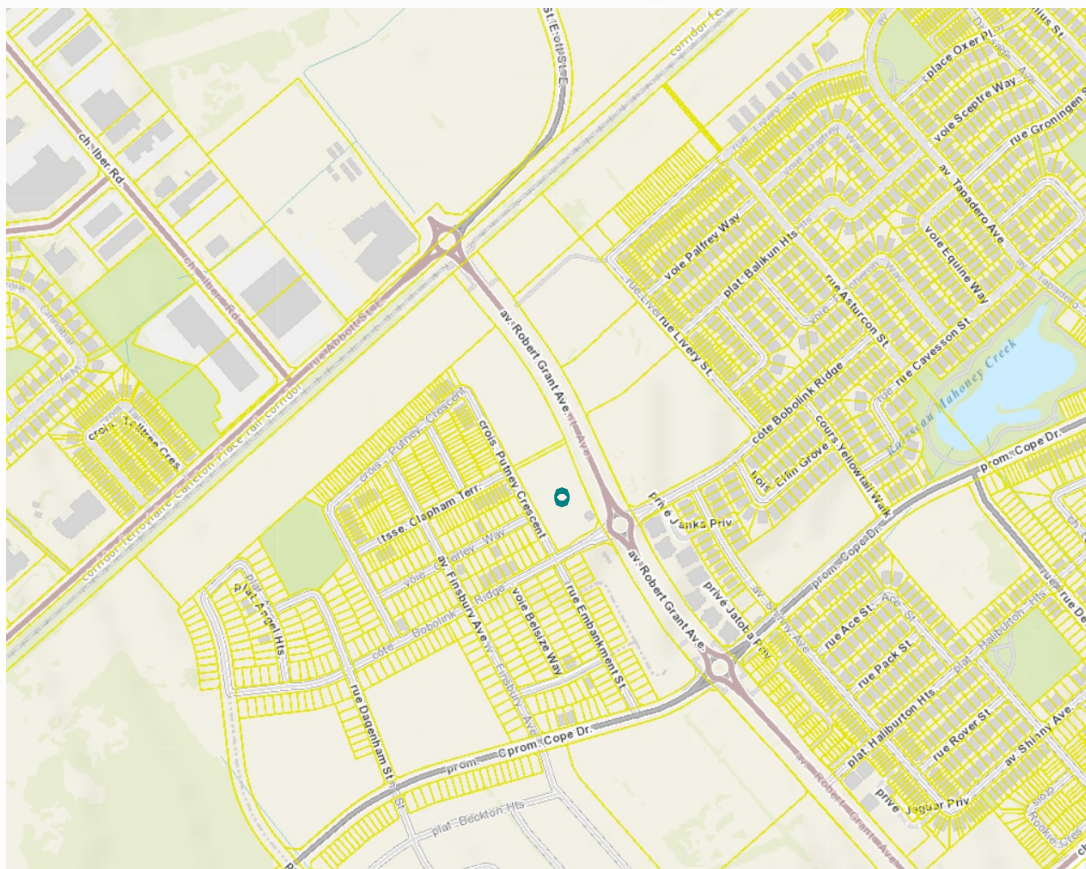


585 Bobolink Ridge

Site Plan Control
Design Brief
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This rationale will support the Site Plan Control Application for the lands municipally known as 585 Bobolink Ridge (the subject property) in the community of Stittsville. The green dot identifies the specific location of the subject property.



Subject Property

The Subject property is located in Stittsville at the corner of Bobolink Ridge, Putney Crescent and Robert Grant Avenue. The site is currently vacant and has a lot area of 1.19 hectares with 141 metres of frontage on Putney Crescent and 117.78 metres of frontage on Bobolink Ridge

Site Context and the Surrounding Area

The Subject Site is bounded by:

NORTH – by 723 Putney Crescent (a new Claridge development) and a pathway block (342) connecting Putney Crescent to the pathway system along Robert Grant Avenue

EAST – is the public right of way for Robert Grant Avenue which includes walking and cycling facilities.

SOUTH – across Bobolink Ridge are new development areas for low rise residential development.

WEST – across Putney Crescent are new development areas for singles and townhomes. The area is currently under construction.
Residential Uses



Taggart is submitting the following applications:

Site Plan, Plan of Condominium & Private Naming

The site plan application would allow the construction of 76 back-to-back townhouse units configured into 8 buildings. The Plan of Condominium will address issues related to common elements and the Primate naming will name the interior roads.

Subject Lands

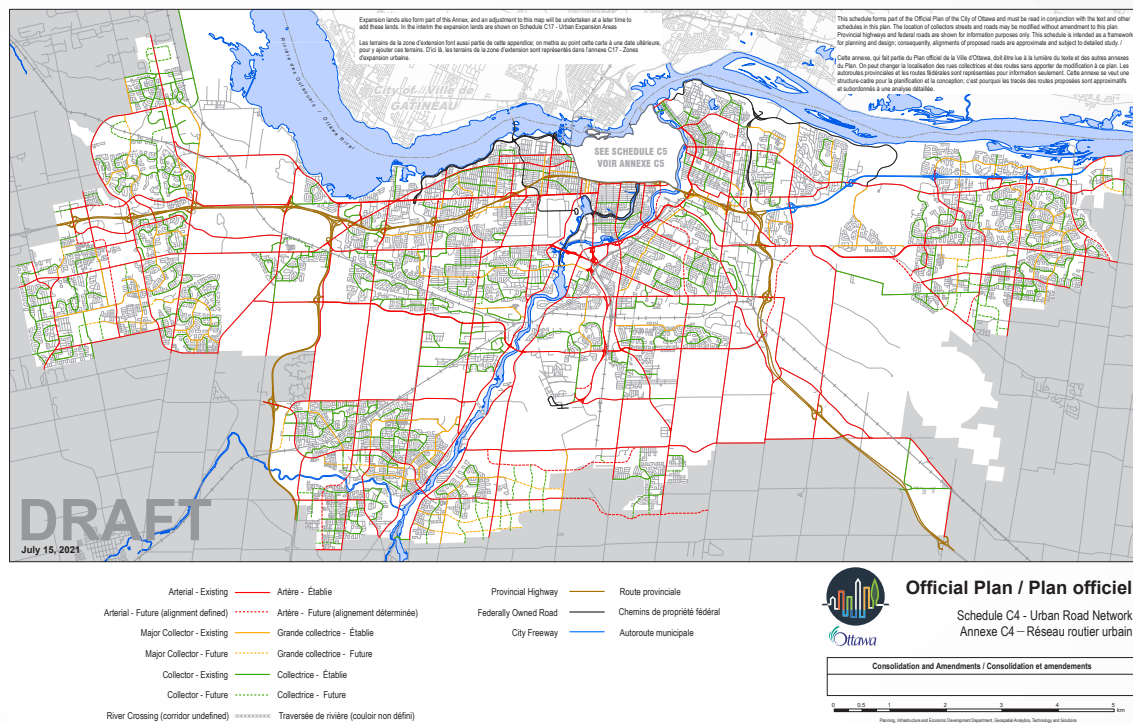
The subject lands are legally known as:

BLOCK 343, PLAN 4M1619 CITY OF OTTAWA



Roads

Schedule C4 – Urban Road Network of the City’s new Official Plan designates Robert Grant Avenue as an existing Arterial roadway with capacity and flow as its function and Bobolink Ridge and Putney Crescent as local street with an access function.



Arterials with a capacity and flow designation is a public street that plays a structural role in the overall street grid by virtue of its length and its ability to link several areas of the City, and where the movement of people is an important part of its function.

Local streets with an access street designation which is a public or private street with a close relationship to its surrounding land uses, exhibits high vehicular friction and slow speeds and prioritizes sustainable modes of transportation.

New City of Ottawa Official Plan (2021)

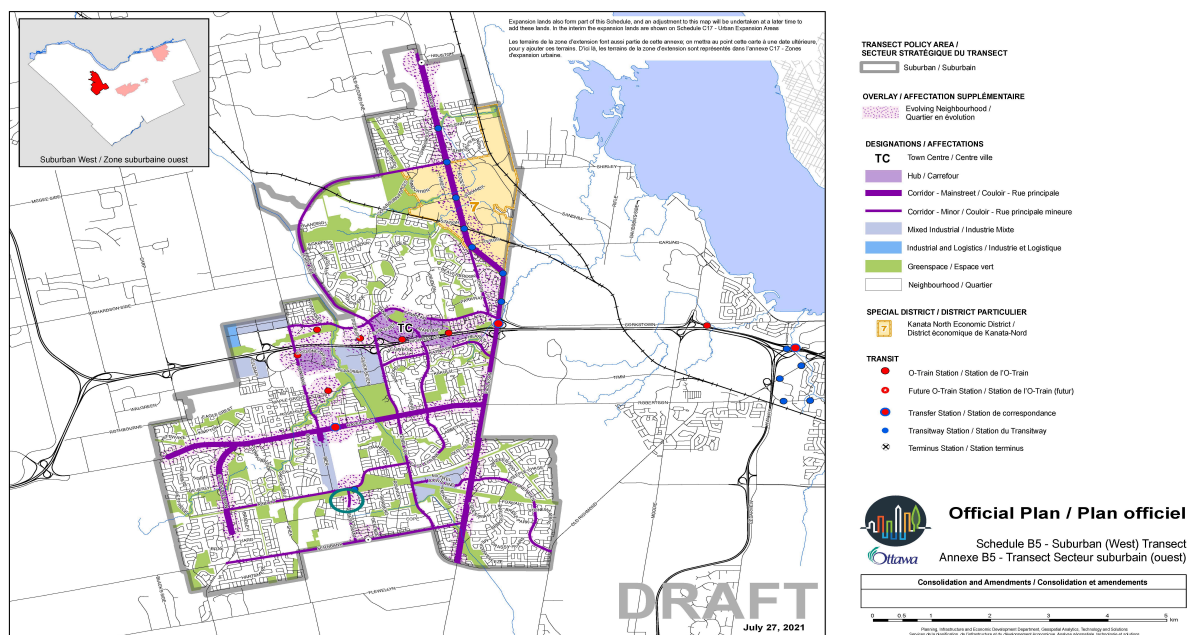
The subject lands are designated neighbourhood on Schedule B5 - Suburban (West) Transect. The green circle shows the general location of the subject lands.

The neighbourhood designation provides direction on the height category and details for development indicating that development should be Low-rise: no minimum and generally, zoning will permit at least 3 storeys but no more than 4 storeys. OP Table 7

The proposed development is a 3 storey low rise ground oriented back-to-back town home development.

Section 5.4.1 of the plan states that Development shall be Low-rise within Neighbourhoods.

Section 5.4.4 provides direction for new development in the Suburban Transect which looks for development to contribute to the evolution towards 15-minute neighbourhoods and achieve a minimum density of 36 units per net hectare.



Fernbank Community Design Land Use Plan



The subject site is designated as a light blue dot.

The CDP consists of a land use plan and policies, community design guidelines, and a recommended set of implantation tools.

The Subject Site is primarily designated as Medium Density Residential as shown on the Fernbank CDP – Land Use Plan. The proposed townhome development, while ground oriented, is in a back to back format which should confirm to the medium density policy of Fernbank CDP. The proposed Claridge project and the newly constructed units on Putney are very similar to the unit typeology proposed by this site plan.

Section 4.2.2 of the Fernbank CDP states that “Medium density residential land uses will be dispersed throughout the Fernbank Community to provide a variety of housing types and create diverse and attractive neighbourhoods. Unit types included in the Medium Density Residential land uses shall include multiple-attached dwellings; triplexes; stacked dwellings; live-work units; low-rise apartments; rooming houses; and shelter accommodations”.

- The proposed site plan satisfies the policies of Section 4.2.2 as it will be located abutting an arterial road, close to a hydro corridor open space, and neighbourhood park.
- The proposed site plan will feature multiple attached dwellings which provides for additional housing options to cater to the needs of individuals and families.

Section 6.2 outlines the Fernbank Design Vision which envisages a contemporary community which would embrace the asset of the existing natural heritage features.

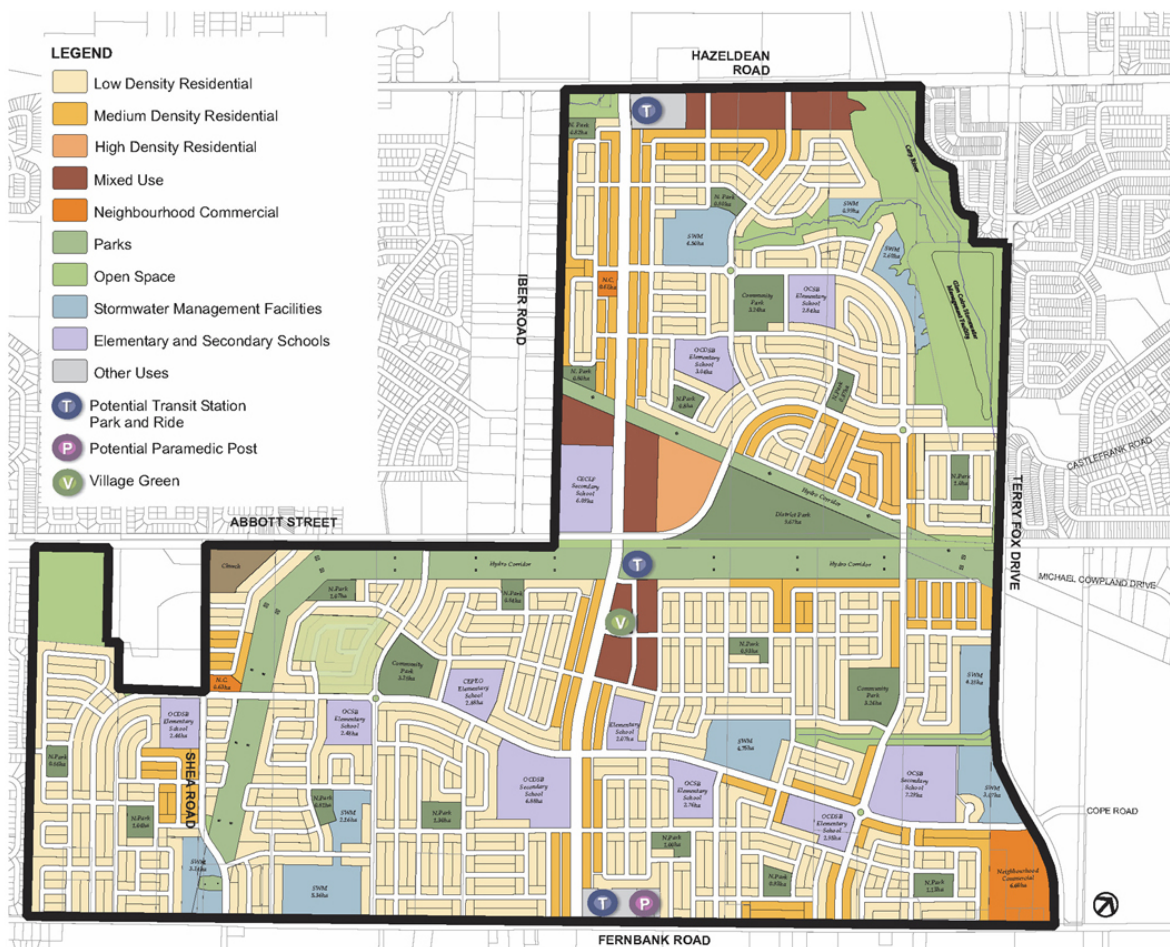
The Design Vision guiding principles, applicable to the proposed site plan are:

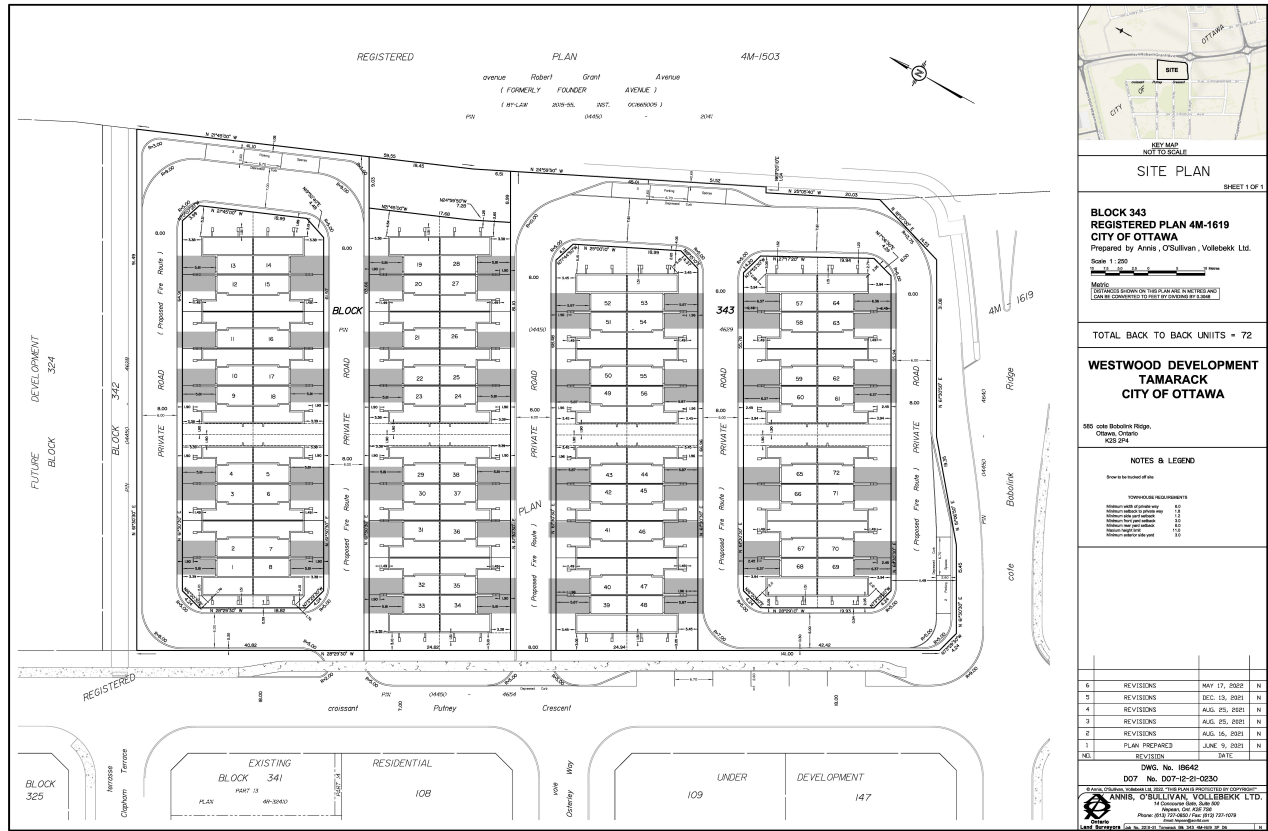
- Maintain and respect the integrity and unique character of existing communities.
 - The proposed back-to-back units are common with the existing and planned Fernbank neighbourhoods and thus respect the development patterns of the existing community.
- Create distinctive liveable neighbourhoods.
 - This site plan is a small part of a liveable neighbourhood. However, when complete residents will have access to various neighbourhood services and community amenities within walking distance along the community active transportation network
- Create integrated, safe, passive, and active green spaces.
 - The site plan proposes balcony spaces and front doors that open onto the public realm – those eyes and activities on the street create safe spaces. Space is available along the Putney frontage to plant a beautiful row of street trees.

- Create a 'heart' for the community.
 - The heart grows stronger as the community grows. The proposed site plan will provide people and density that will help the heart of the community grow and prosper
- Provide effective, efficient, timely transportation.
 - The site plan abuts a future Rapid Transitway along Robert Grant Avenue and is within 400 m walking distance of a proposed Transit station.

The proposed site plan meets the intent of the Fernbank CDP and demonstration plan. The proposal is consistent with the design intent of medium density residential.

Fernbank Demonstration Plan





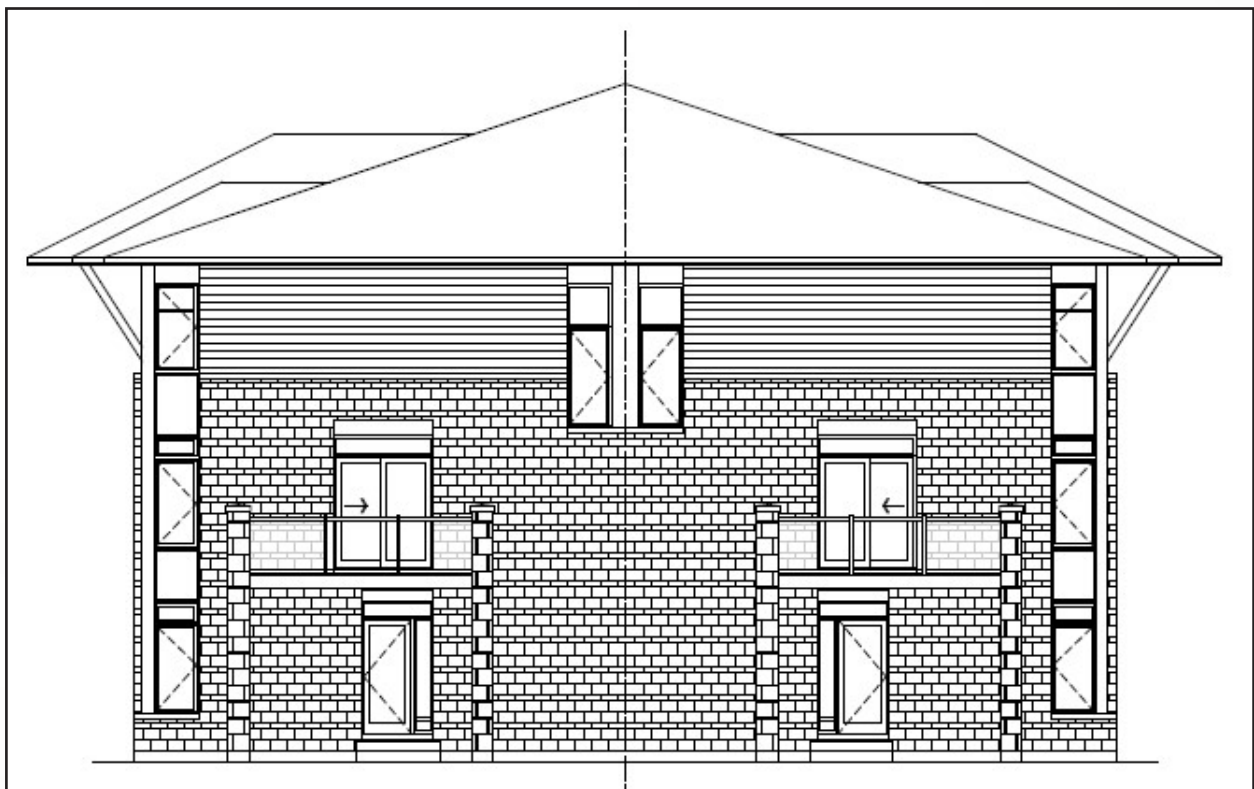
The subject site is zoned Residential Fourth Density - R4Z.

The purpose of the R4Z zone is to allow a wide mix of residential building forms. The proposed building form is back-to-back townhomes in a planned unit development format which is a permitted use in the R4Z zone.

A development information and zoning compliance matrix is provided as an Annex to the rationale. The compliance matrix demonstrates that the proposed development complies with both Section 131 and the R4Z provisions of the zoning bylaw.

The back-to-back townhomes are 3 storey in height and include animation in the form of front doors and balconies on all four sides of the buildings. This animation is especially important along the Putney Crescent frontage as people walking and cycling along Putney will visually interact with an active streetscape versus a sterile streetscape of fencing and walls.

The back to back townhomes have peaked roof lines and with accentuation elements at the roof edges to break up the roof line and balconies at the 2nd storey to provide eyes on the street and providing individual unit presence. Each unit has a distinctive brick and wallboard siding combination using different colour combinations to accentuate each unit. An example is provided at the end of this report.



Putney ROW Elevation with entrances facing the street. This elevation will allow for an active frontage with opportunities for enhanced tree planting and landscaping.

The site plan has been prepared to respond with the following design intent:

- Building masses have been prudently placed to define the street edge, create safe public and private spaces.
- Creating unique building character by introduction of contemporary architectural expression and attractive landscaped areas.

Public Consultation

Included as part of the approvals process is an overview of the public consultation process to ensure the development process is transparent and informative for the community, and the larger public.

After the filing of the necessary development applications the following public consultation is planned:

- Contact with the Ward Councillor to introduce the project.
- An email to the owners of abutting properties outlining the project.

Conclusions

Based on the information presented throughout this Planning Rationale, it is my opinion that the proposed site plan application is appropriate when evaluated against the applicable Official Plan and CDP policies as they relate to the subject lands.

Respectfully Submitted,

Peter Hume

Peter Hume

Rationale Annex		
Property information and Zoning Compliance Matrix		
585 Bobolink Ridge		
Property Size	1.19 hectares	
Lot Width	65.88 metres	
Lot Depth	141.1 metres	
Unit Count	76	
Zoning Compliance	Standard	Compliance
Minimum width of private way - Section 131	6 metres	✓
Minimum setback for any wall of a residential use building to a private way - Section 131	1.8 metres	✓
Minimum separation area between buildings within a PUD with height below 14.5m - Section 131	1.2 metres	✓
Visitor Parking - .2 spaces per unit	15.2 spaces	✓
Front Yard Setback - R4Z	3 metres	✓
an amount equal to the minimum required rear yard setback for the dwelling type proposed, from a lot line where it abuts a rear yard on an abutting lot but need not exceed 7.5 metres - R4Z	6 metres	✓
Height Limit -R4Z	11 metres	✓
Rear Yard Setback - R4Z	6 metres	✓
Exterior Side Yard Setback	3 metres	✓

