

**LEGEND:**

**GRID DESTINATION**  
 GRID DESTINATION

**ROOM NAME**  
 ROOM NAME  
 ROOM NUMBER

**D = DOOR**  
 D = DOOR  
 XXX = DOOR NUMBER

**W = WINDOW**  
 W = WINDOW  
 XXX = WINDOW NUMBER

**WALL, ROOF OR FLOOR TYPE**  
 WALL, PARTITION, ROOF OR FLOOR NUMBER

**PARTITION TYPE**  
 PARTITION TYPE

**BUILDING ELEVATION NUMBER**  
 BUILDING ELEVATION NUMBER  
 SHEET NUMBER

**BUILDING/WALL SECTION NUMBER**  
 BUILDING/WALL SECTION NUMBER  
 SHEET NUMBER

**DRAWING NUMBER**  
 DRAWING NUMBER  
 SHEET NUMBER  
 TYPICAL/SIMILAR CONFIGURATION

**CEILING FINISH**  
 CEILING FINISH  
 CEILING FINISH HEIGHT

**ELEVATION**  
 ELEVATION

**DRAWING NUMBER**  
 DRAWING NUMBER  
 SHEET NUMBER  
 TYPICAL/SIMILAR CONFIGURATION

**NEW PARTITION**  
 NEW PARTITION

**EXISTING PARTITION TO REMAIN**  
 EXISTING PARTITION TO REMAIN.

**EXISTING PARTITION TO BE REMOVED**  
 EXISTING PARTITION TO BE REMOVED.

**EXISTING CONCRETE PARTITION TO BE REMOVED**  
 EXISTING CONCRETE PARTITION TO BE REMOVED.

**EXISTING DOOR AND FRAME TO REMAIN**  
 EXISTING DOOR AND FRAME TO REMAIN.

**EXISTING DOOR AND FRAME TO BE REMOVED**  
 EXISTING DOOR AND FRAME TO BE REMOVED.

**NEW DOOR AND FRAME**  
 NEW DOOR AND FRAME

**NEW DOOR AND FRAME WITH DOOR NUMBER**  
 NEW DOOR AND FRAME WITH DOOR NUMBER

**EXISTING WINDOW AND FRAME TO REMAIN**  
 EXISTING WINDOW AND FRAME TO REMAIN.

**BARRIER FREE PUSH BUTTON**  
 BARRIER FREE PUSH BUTTON

**COAT HOOK**  
 COAT HOOK

**TOILET TISSUE DISPENSER**  
 TOILET TISSUE DISPENSER (REFER TO SPECS)

**PAPER TOWEL DISPENSER**  
 PAPER TOWEL DISPENSER (REFER TO SPECS)

**SHELF**  
 SHELF

**HAND SANITIZER DISPENSER**  
 HAND SANITIZER DISPENSER (REFER TO SPECS)

**SOAP DISPENSER**  
 SOAP DISPENSER (REFER TO SPECS)

**GRAB BAR TYPE**  
 GRAB BAR TYPE

**GRAB BARS**  
 GRAB BARS (REFER TO SPECS)

**FURNITURE NOT IN CONTRACT**  
 FURNITURE NOT IN CONTRACT.

**NEW 2'-0" x 2'-0" FLUORESCENT LIGHT FIXTURE**  
 NEW 2'-0" x 2'-0" FLUORESCENT LIGHT FIXTURE

**NEW 2'-0" x 4'-0" FLUORESCENT LIGHT FIXTURE**  
 NEW 2'-0" x 4'-0" FLUORESCENT LIGHT FIXTURE

**NEW 1'-0" x 4'-0" FLUORESCENT LIGHT FIXTURE**  
 NEW 1'-0" x 4'-0" FLUORESCENT LIGHT FIXTURE

**EXISTING 2'-0" x 2'-0" FLUORESCENT LIGHT FIXTURE**  
 EXISTING 2'-0" x 2'-0" FLUORESCENT LIGHT FIXTURE

**EXISTING AIR SUPPLY**  
 EXISTING AIR SUPPLY

**NEW AIR SUPPLY**  
 NEW AIR SUPPLY

**NEW AIR RETURN**  
 NEW AIR RETURN

**EXISTING AIR RETURN**  
 EXISTING AIR RETURN

**EXHAUST FAN**  
 EXHAUST FAN

**POT LIGHT**  
 POT LIGHT

**EXISTING POT LIGHT**  
 EXISTING POT LIGHT

**SPRINKLER**  
 SPRINKLER

**N.I.C.**  
 N.I.C.

**5' BARRIER FREE TURNING CIRCLE**  
 5' BARRIER FREE TURNING CIRCLE

**BARRIER FREE STANDING AREA**  
 BARRIER FREE STANDING AREA

**NEW GYPSUM BOARD CEILING**  
 NEW GYPSUM BOARD CEILING

**NEW LAY-IN CEILING**  
 NEW LAY-IN CEILING

**EXISTING SINK**  
 EXISTING SINK  
 SINK TO BE REMOVED

**EXISTING SOAKER TUB TO BE REMOVED**  
 EXISTING SOAKER TUB TO BE REMOVED

**NEW HAND WASH SINK**  
 NEW HAND WASH SINK  
 REFER TO MECH. DWGS. FOR ADDITIONAL INFORMATION

**DISHWASHER**  
 DISHWASHER  
 REFER TO MECH. & ELEC. DWGS. FOR ADDITIONAL INFORMATION

**EXISTING LAUNDRY SINK TO BE REMOVED**  
 EXISTING LAUNDRY SINK TO BE REMOVED

**EXISTING SINK TO BE REMOVED**  
 EXISTING SINK TO BE REMOVED

**EXISTING W.C. TO BE REMOVED**  
 EXISTING W.C. TO BE REMOVED

**NEW W.C.**  
 NEW W.C.

**CORNER GUARD TYPE**  
 CORNER GUARD TYPE

**CORNER GUARD**  
 CORNER GUARD

**MILLWORK**  
 MILLWORK

**DRAWING LIST**

**ARCHITECTURAL**

- A001 - DRAWING LIST, LEGEND, BUILDING ASSEMBLIES + ZONING REPORT
- A010 - DEMOLITION AND NEW SITE PLAN + NOTES
- A040 - GROUND FLOOR DEMOLITION PLAN + NOTES
- A100 - EXISTING BASEMENT FLOOR PLAN + NOTES.
- A101 - NEW GROUND FLOOR PLAN + NOTES
- A200 - NEW ELEVATIONS + NOTES
- A202 - NEW ELEVATIONS + NOTES

**LANDSCAPE**

- L1.1 - REMOVALS PLAN
- L2.1 - LAYOUT PLAN
- L3.1 - PLANTING PLAN
- L4.1 - DETAILS

**ELECTRICAL**

- E000 - ELECTRICAL DRAWING LIST, LEGEND, NOTES AND SCHEDULES
- E100 - ELECTRICAL DEMOLITION SITE PLAN LIGHTING
- E101 - ELECTRICAL NEW SITE PLAN LIGHTING

**CIVIL**

- C-1 - SITE SERVICING PLAN
- C-2 - EXISTING CONDITIONS, REMOVALS & DECOMMISSIONING
- C-3 - GRADING PLAN
- C-4 - EROSION & SEDIMENT CONTROL PLAN
- C-5 - NOTES & DETAILS
- C-6 - PRE-DEVELOPMENT DRAINAGE PLAN
- C-7 - POST-DEVELOPMENT DRAINAGE PLAN

**WALL ASSEMBLIES**

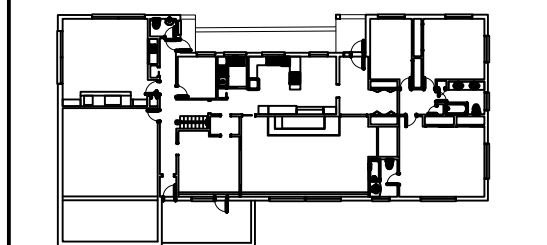
**PW 1**  
 1/2" GYPSUM WALL BOARD  
 2x4 WOOD STUDS @ 16" O.C.  
 BATT INSULATION

**PW 2**  
 1/2" GYPSUM WALL BOARD  
 2x6 WOOD STUDS @ 16" O.C. c/w  
 FIBREGLOSS BATT INSULATION  
 6 MIL. POLY. VAPOUR BARRIER MEMBRANE (WARM SIDE)  
 1/2" GYPSUM WALL BOARD

<b>Address:</b>	<b>3150 WOODROFFE AVE.</b>
<b>Legal Description</b>	
<b>Zoning</b>	By-Laws LC 8 (2050) H(11)h
<b>Schedule 1</b>	-
<b>Schedule 2</b>	-
<b>Schedule 3</b>	-
<b>Other Schedules</b>	-
<b>Exceptions</b>	-
<b>Road Widening</b>	By-law 1782
<b>Easements</b>	-
<b>Corner Lot triangle</b>	-
<b>Heritage Overlay</b>	-
<b>Street considered front (if a corner lot):</b>	Woodroffe Avenue
<b>Flood plane line</b>	-
<b>Adjacent zoning</b>	-
<b>Proximity to another special needs house</b>	-
<b>Lot Area (existing)</b>	3391.94m <sup>2</sup>
<b>Lot area (minimum)</b>	N/A
<b>Lot Width (existing)</b>	58.48m
<b>Lot Width (min.)</b>	N/A
<b>Lot Coverage</b>	12%
<b>Lot coverage (min/max)</b>	N/A
<b>Floor Space Index</b>	N/A
<b>Proposed use</b>	Commercial
<b>Permitted use</b>	Commercial
<b>Front yard setback(min)</b>	3m
<b>Side yard setback(min)</b>	5m
<b>Rear yard setback(min)</b>	7.5m
<b>Building height (max.)</b>	12.5m
<b>Building height (existing.)</b>	4m
<b>Permitted projections into required yard</b>	-
<b>Permitted projections above the height limit</b>	-
<b>Accessory Building Requirements</b>	-
<b>Parking</b>	30
<b>Bicycle Parking</b>	1 x 800m <sup>2</sup> of floor area
<b>Off Street Parking requirements</b>	no off-street motor vehicle parking is required to be provided. (By-law 2016-249)
<b>Visitors parking</b>	N/A
<b>Loading Deck</b>	-
<b>Existing SOD</b>	2055.11m <sup>2</sup>
<b>New SOD</b>	1121.01m <sup>2</sup>
<b>Landscaped Area (new)</b>	1600.46m <sup>2</sup>
<b>Outdoor Storage</b>	-

**1 ZONING REPORT**  
 A001 SCALE: N.T.S.

KEY PLAN: GROUND LEVEL



TRUE NORTH

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 DO NOT SCALE DRAWINGS.

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN CONTROL	2022-06-08

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 ANDREA R. BUCHSBAUM  
 LICENSE  
 7996

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DATE

PROJECT NORTH

DRAWN  
 MP

CHECKED  
 AS

DATE PRINTED  
 X X X

**3150 WOODROFFE AVE.**  
**EXHALO SPA**

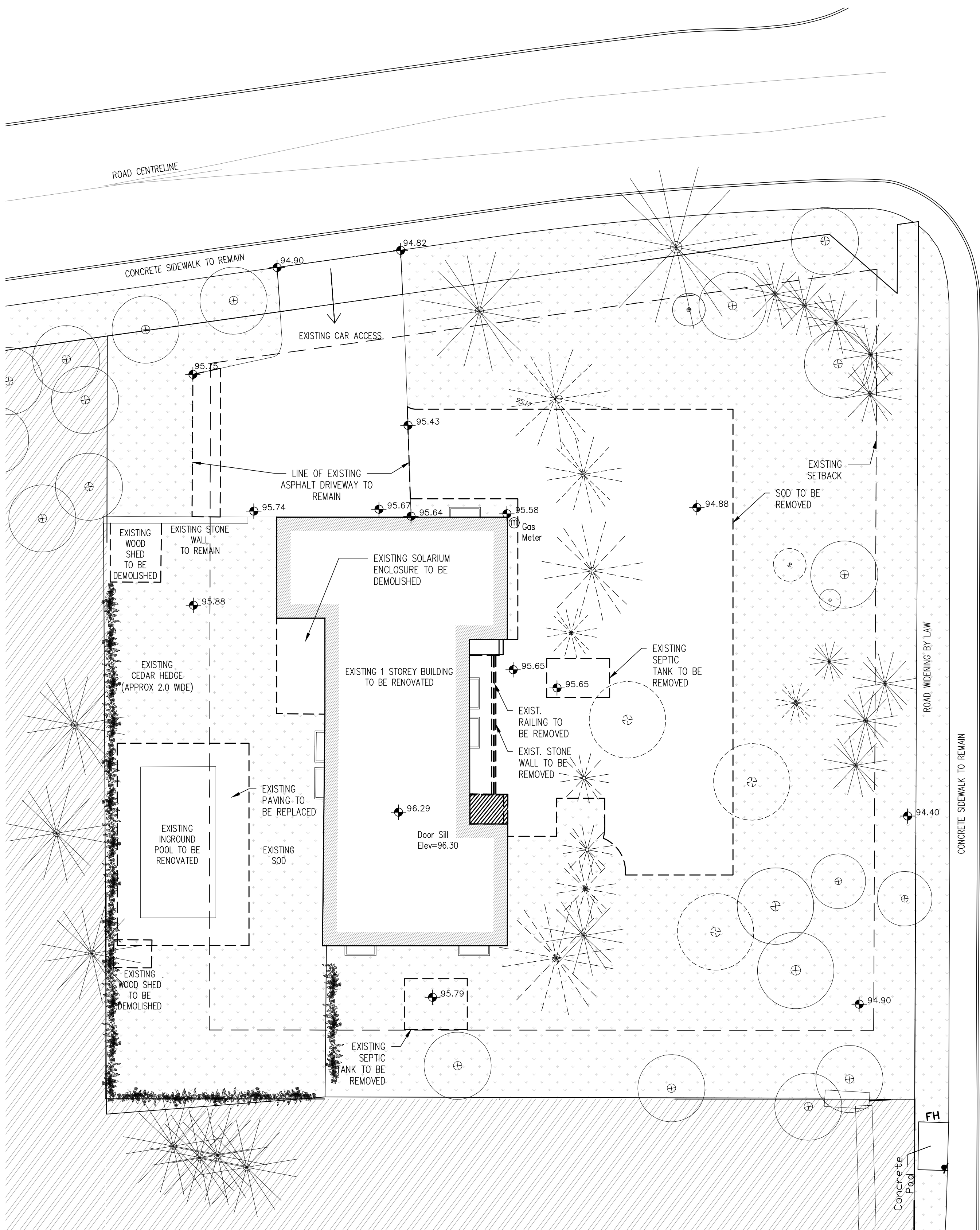
ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.  
 DRAWING TITLE

**DRAWING LIST, LEGEND,  
 BUILDING ASSEMBLIES,  
 + ZONING REPORT**

SCALE  
**AS SHOWN**

PROJECT NO.  
**003-22**

DRAWING NO. 1  
**A-001**



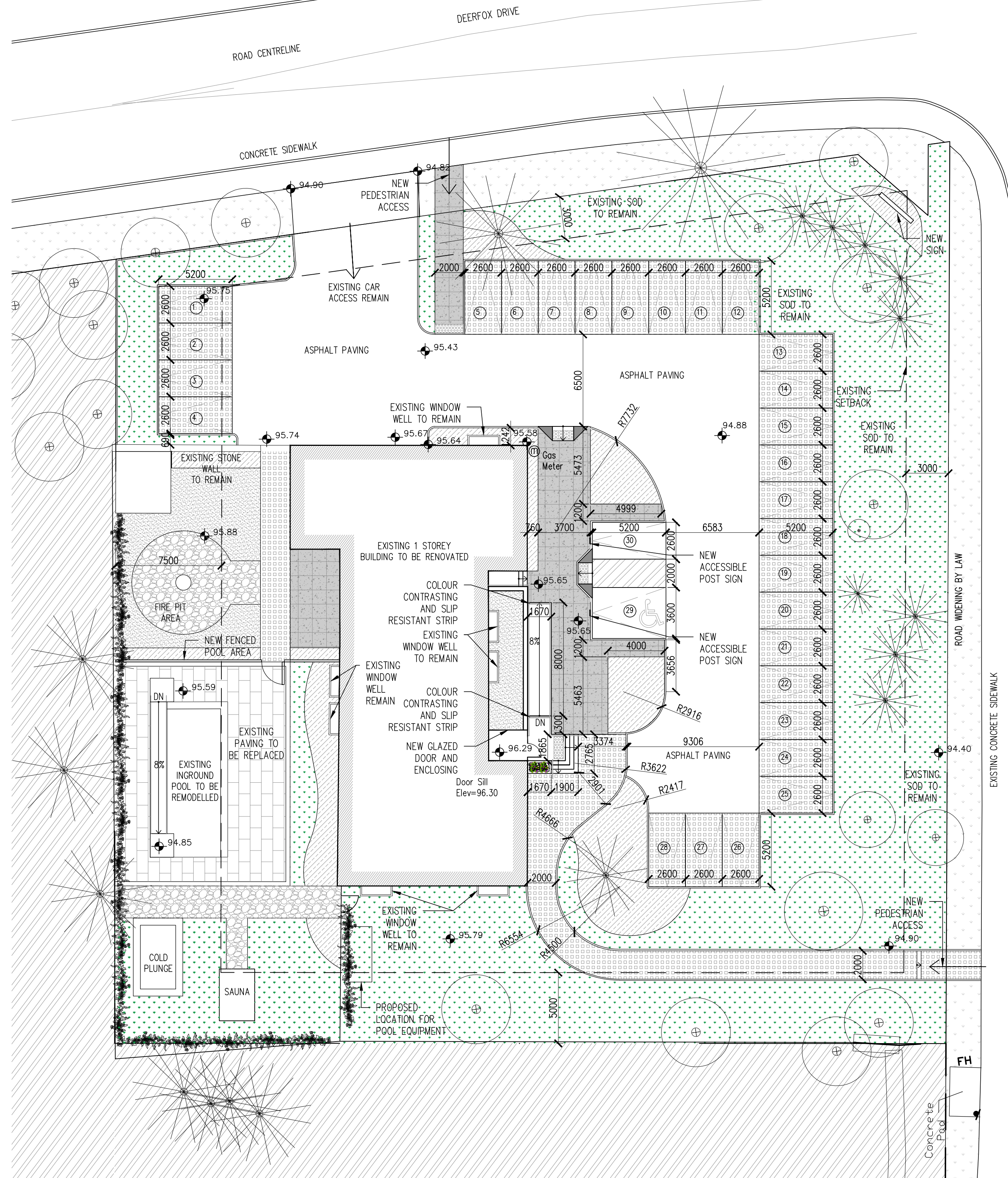
**1** DEMOLITION SITE PLAN  
A-010 1:200

**SITE DEMOLITION NOTES**

- FOR REMOVAL OF TREES REFER TO ARBORIST REPORT
- FOR SLOPES REFER TO CIVIL ENGINEERING
- FOR LANDSCAPE REMOVAL AND REINSTATEMENT REFER TO LANDSCAPE DRAWINGS

**LEGEND**

- EXISTING SOD AREA
- TO BE DEMOLISHED
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- TREES TO BE REMOVED

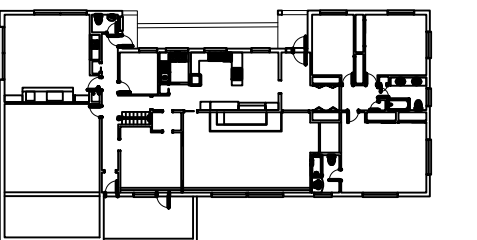


**2** NEW SITE PLAN  
A-010 1:200

**LEGEND**

- EXISTING SOD AREA TO REMAIN
- PERMEABLE PAVING
- TACTILE WALKING SURFACE INDICATORS
- FLAGSTONE PAVING. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
- CONCRETE PAVING
- RIVERSTONE. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
- PROPOSED SHRUB PLANTING. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
- EXISTING TREES TO REMAIN

KEY PLAN: GROUND LEVEL



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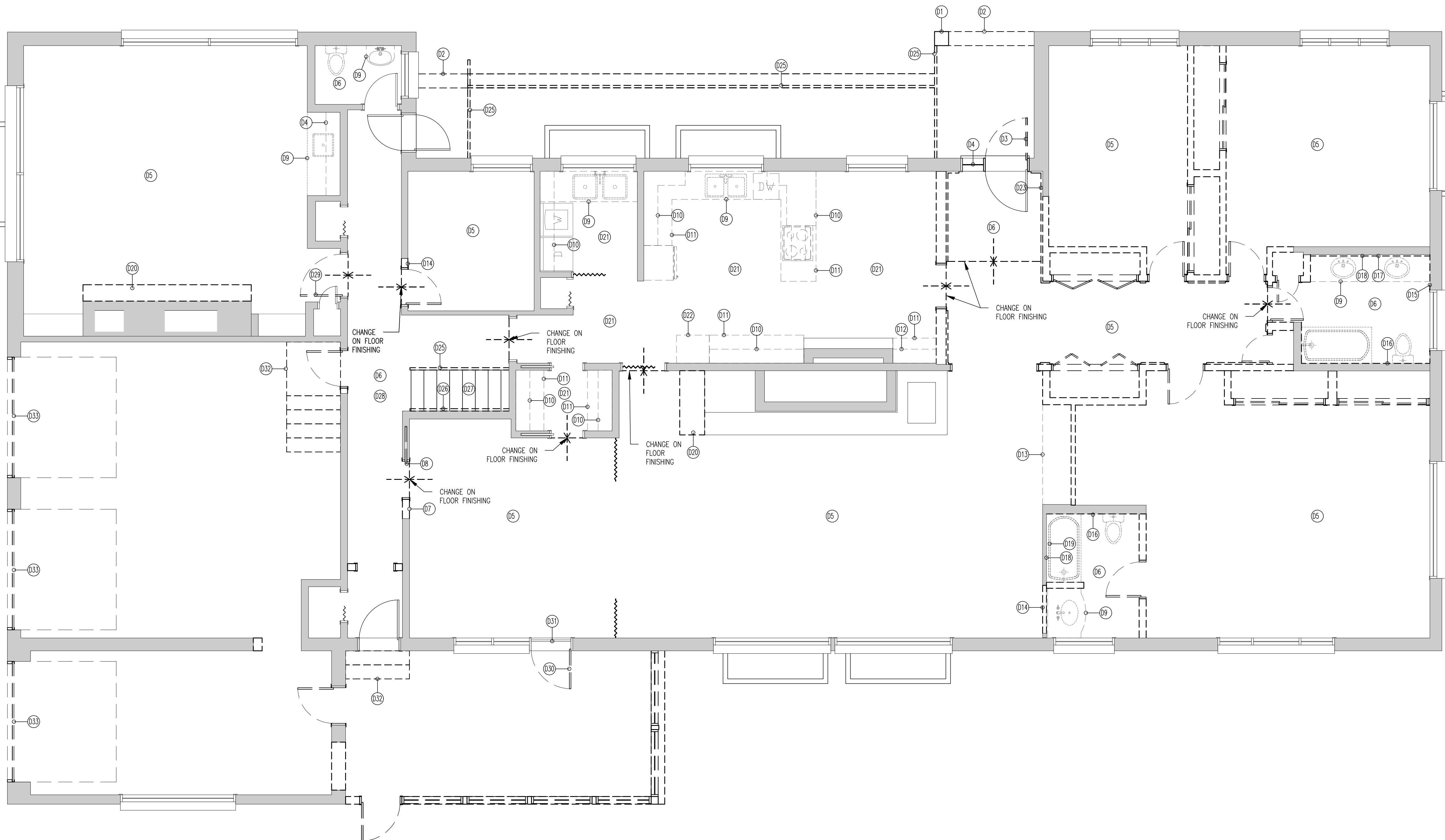
**REVISIONS**

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1	ISSUED FOR SITE PLAN CONTROL	2022-06-08

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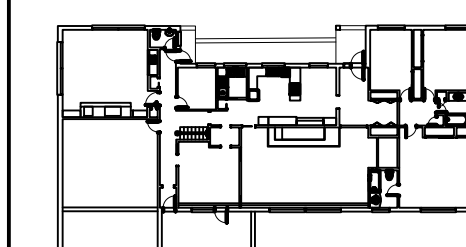
DEMOLITION NOTES

- 01 REMOVE EXISTING METAL COLUMN TO ALLOW THE ADDITION OF THE NEW STEP AND REPLACE WITH SQUARE SECTION METALLIC COLUMN. CONTRACTOR PROVIDE SUPPORT FOR THE EXISTING SOFFIT DURING THE REPLACING.
- 02 REMOVE EXISTING CONCRETE STEPS TO ALLOW CONSTRUCTION OF THE NEW ACCESS STAIRS AND RAMP.
- 03 REMOVE EXISTING GLAZING EXTERIOR DOOR.
- 04 REMOVE EXISTING REED GLAZING PANEL TO REPLACE WITH A CLEAR GLAZING ONE.
- 05 REMOVE EXISTING CARPET FLOORING AND ITS SURROUNDED WOOD BASE. PREPARE SURFACE FOR NEW FLOOR FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 06 REMOVE EXISTING TILE FLOORING AND ITS SURROUNDED BASE. SMOOTH SUBFLOORING AND PATCH VOID WITH SELF-LEVELLING CEMENTITIOUS COMPOUND. PREPARE FOR NEW FLOOR FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 07 REMOVE PORTION OF EXISTING WALL TO ALLOW THE RELOCATION OF EXISTING POCKET DOOR. COORDINATE FINAL SIZE WITH DOOR SCHEDULE.
- 08 REMOVE EXISTING POCKET DOOR AND RETAIN FOR REINSTATE.
- 09 REMOVE EXISTING WALL MOUNTED CABINET AND SINKS IN ITS ENTIRETY. INCLUDING PLUMBING AND ALL ASSOCIATED BASES & SUPPORT. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 REMOVE EXISTING WALL MOUNTED UPPER CABINET IN ITS ENTIRETY. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 11 REMOVE EXISTING WALL MOUNTED BASE CABINET IN ITS ENTIRETY. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 12 REMOVE EXISTING WOOD PANEL SHELVING UNITS AND ITS SUPPORTS. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 13 REMOVE EXISTING WALL MOUNTED CABINET ITS ENTIRETY.
- 14 REMOVE PORTION OF EXISTING WALL TO ALLOW THE INSTALLATION OF A NEW DOOR. COORDINATE FINAL SIZE WITH DOOR SCHEDULE.
- 15 REMOVE INTERIOR WOOD PANEL FINISHING OF EXISTING WALL. CONTRACTOR TO PATCH AND REPAIR AFFECTED AREA. PREPARE FOR NEW WALL FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 16 REMOVE INTERIOR GYPSUM BOARD FACE OF EXISTING WALL TO INSTALL SUPPORT FOR WALL MOUNTED WASHROOM ACCESSORIES. CONTRACTOR TO PATCH AND REPAIR AFFECTED AREA.
- 17 REMOVE EXISTING WALL MOUNTED MIRROR IN ITS ENTIRETY. CONTRACTOR TO PATCH AND REPAIR AFFECTED AREA.
- 18 REMOVE EXISTING CERAMIC WALL TILE FINISHING. CONTRACTOR TO PATCH AND REPAIR AFFECTED AREA. PREPARE FOR NEW WALL FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 19 REMOVE EXISTING WALL MOUNTED GRAB BAR.
- 20 REMOVE BASE PART OF THE CHIMNEY. CONTRACTOR TO REMOVE THE STONE WALL FINISHING AND RETAIN TO REINSTATE. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 21 REMOVE EXISTING VCT FLOORING AND ALL UNDERNEATH FLOORING AND ITS SURROUNDED BASE. CHIP/GRIND SMOOTH SLAB & PATCH VOIDS W/ SELF-LEVELLING CEMENTITIOUS COMPOUND. PREP FOR NEW FLOOR FINISH AS PER MANUFACTURER'S RECOMMENDATIONS.
- 22 REMOVE EXISTING WALL MOUNTED FULL HEIGHT CABINET. INCLUDING AND ALL ASSOCIATED APPLIANCES, BASES & SUPPORT. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 23 CAREFULLY REMOVE WAINSCOTING FINISHING IN THE PORTION OF THE WALL TO REMAIN. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 24 REMOVE EXISTING GLAZING PANEL SHELVING UNITS AND ITS SUPPORTS. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS.
- 25 REMOVE EXISTING METALLIC GUARDRAIL AND INSTALL A NEW ONE. REFER TO DETAIL DRAWINGS FOR FURTHER INFORMATION.
- 26 REMOVE EXISTING WOOD WALL MOUNTED HANDRAIL AND STALL A NEW ONE. REFER TO DETAIL DRAWINGS FOR FURTHER INFORMATION.
- 27 REMOVE EXISTING CARPET FLOORING IN THE STAIRCASE AND ITS SURROUNDED WOOD BASE. PREPARE SURFACE FOR NEW FLOOR FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 28 REMOVE ALL WALLPAPER FINISHING. PREPARE SURFACE FOR NEW FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 29 REMOVE DOOR PANEL AND MAINTAIN DOOR FRAME.
- 30 REMOVE EXISTENT SCREENING DOOR PANEL.
- 31 LOCK EXISTING DOOR AND REMOVE HANDLE. PATCH AND REPAIR ALL IRREGULARITIES AN PREPARE SURFACE FOR NEW FINISHING AS PER MANUFACTURER'S RECOMMENDATIONS.
- 32 REMOVE EXISTING WOOD STAIRS IN ITS ENTIRETY. CONTRACTOR TO PATCH & REPAIR AFFECTED AREAS AND PREPARE FOR THE INSTALLATION OF A NEW STAIRS.
- 33 REMOVE OVERHEAD GARAGE DOOR TO INSTALL A NEW ONE.



1 GROUND FLOOR – DEMOLITION PLAN  
A102 SCALE: 1/4"=1'-0"

KEY PLAN: GROUND LEVEL

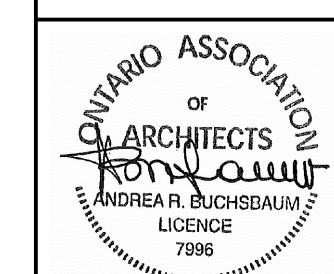


TRUE NORTH

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REVISIONS

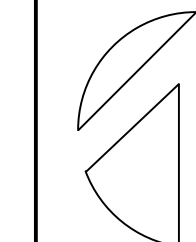
NO.	DESCRIPTION	DATE
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DATE

PROJECT NORTH



DRAWN  
MP

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AB

DATE PRINTED  
X X X

3150 WOODROFFE AVE.  
EXHALO SPA

ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.

DRAWING TITLE

GROUND FLOOR  
DEMOLITION PLAN  
+ NOTES

SCALE  
AS SHOWN

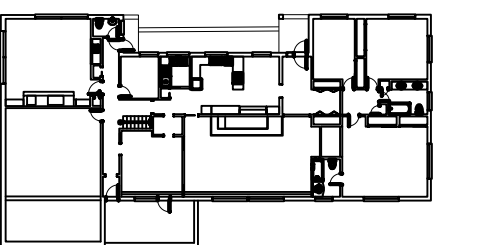
DRAWING NO. 1

PROJECT NO.

003-22

A-040

KEY PLAN: GROUND LEVEL



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ONTARIO ASSOCIATION OF ARCHITECTS  
**arbaum**  
ANDREA R. BUCHSBAUM  
LICENSEE  
7996

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DATE  
DRAWN: MG  
CHECKED: AB  
DATE PRINTED: X.X.X

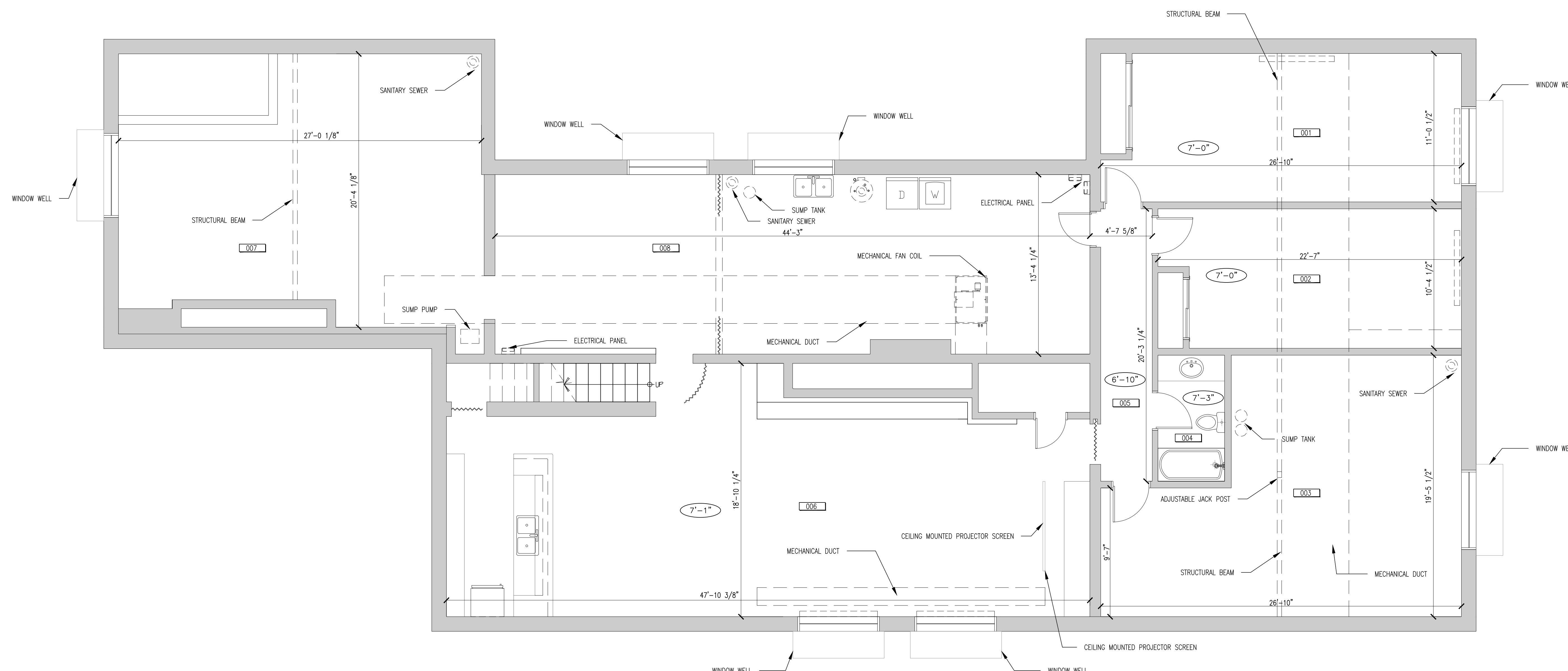
3150 WOODROFFE AVE.  
EXHALO SPA

ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.

DRAWING TITLE

EXISTING BASEMENT FLOOR PLAN + NOTES

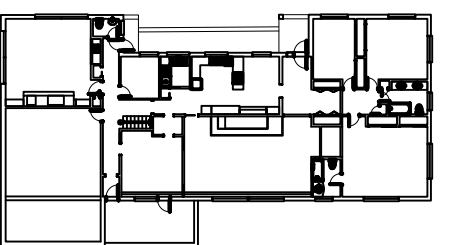
SCALE: AS SHOWN  
DRAWING NO.: A-100  
PROJECT NO.: 003-22



**1** EXISTING BASEMENT FLOOR PLAN  
A100 SCALE: 1/4"=1'-0"



KEY PLAN: GROUND LEVEL



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ONTARIO ASSOCIATION OF ARCHITECTS  
ANDREA R. BUCHSBAUM  
LICENSE # 7996

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	DATE PRINTED X.X.X

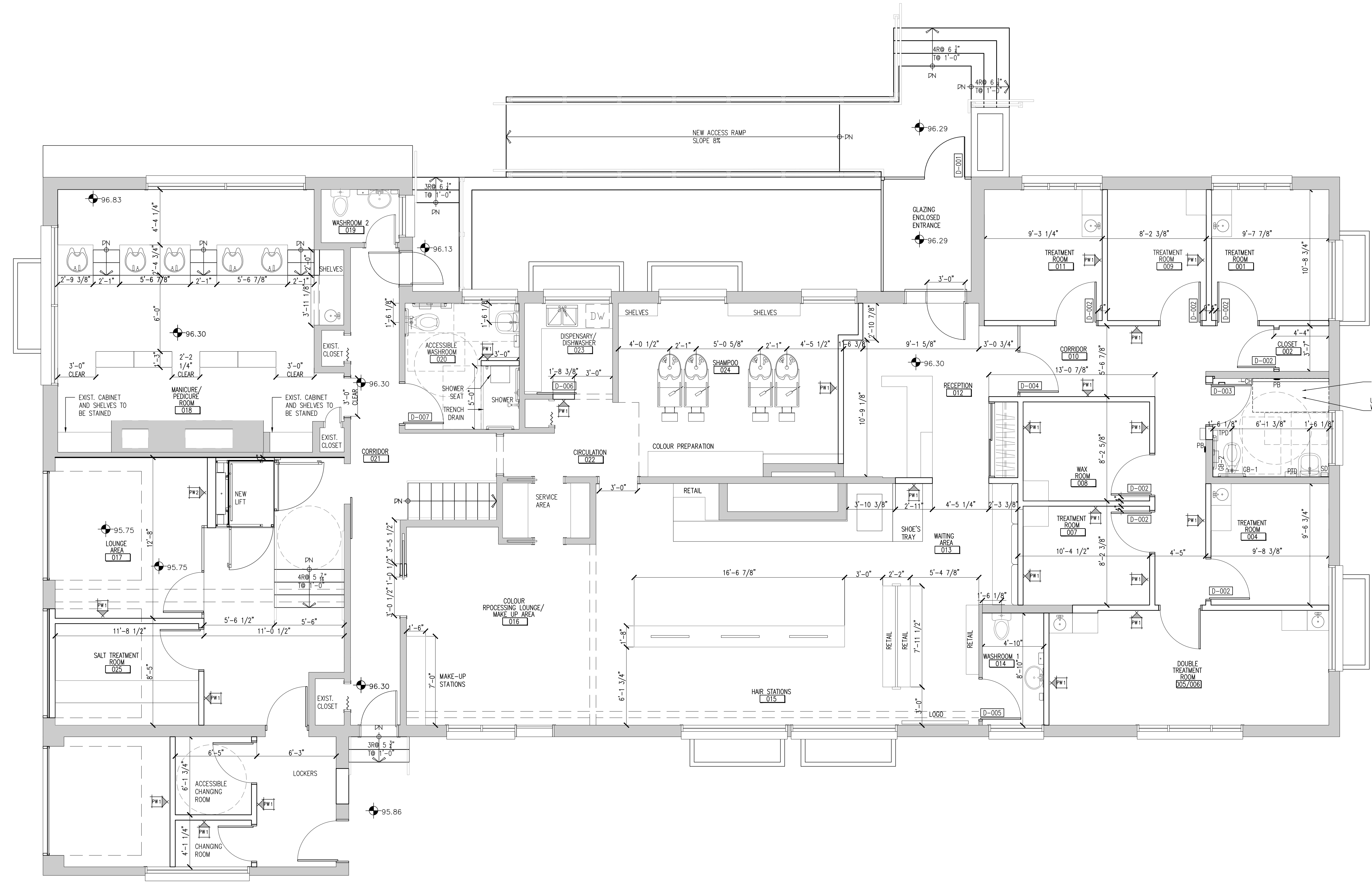
3150 WOODROFFE AVE.  
EXHALO SPA

ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.

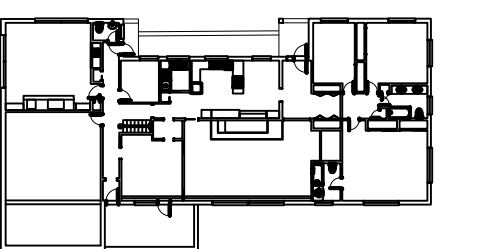
DRAWING TITLE

**NEW GROUND FLOOR PLAN + NOTES**

SCALE <b>AS SHOWN</b>	DRAWING NO.: <b>A-101</b>
PROJECT NO. <b>003-22</b>	



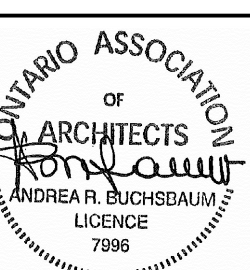
**1 NEW GROUND FLOOR PLAN**  
A-101 1/4"=1'-0"



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DATE

PROJECT NORTH	DRAWN MP
	CHECKED AB
	DATE PRINTED X, X, X

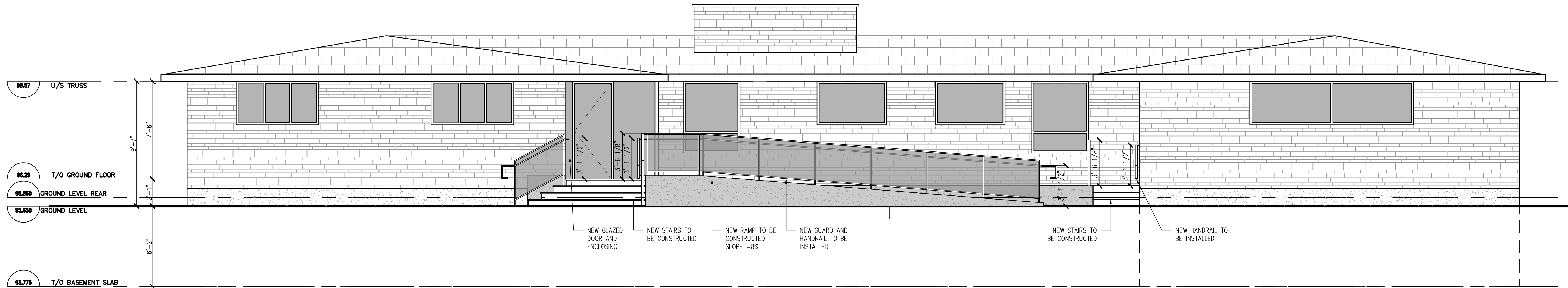
3150 WOODROFFE AVE.  
EXHALO SPA

ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.

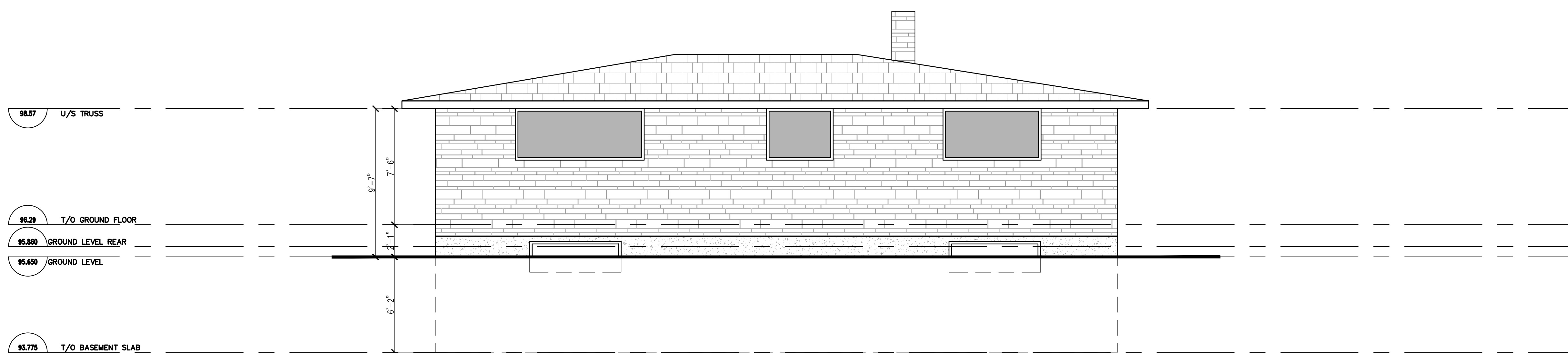
DRAWING TITLE

**NEW  
ELEVATIONS  
+ NOTES**

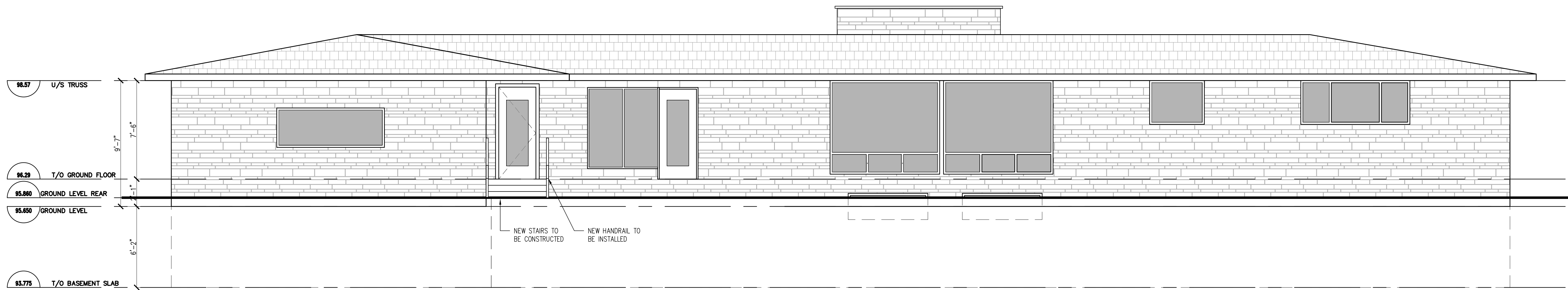
SCALE: AS SHOWN  
DRAWING NO.: A-200  
PROJECT NO.: 003-22



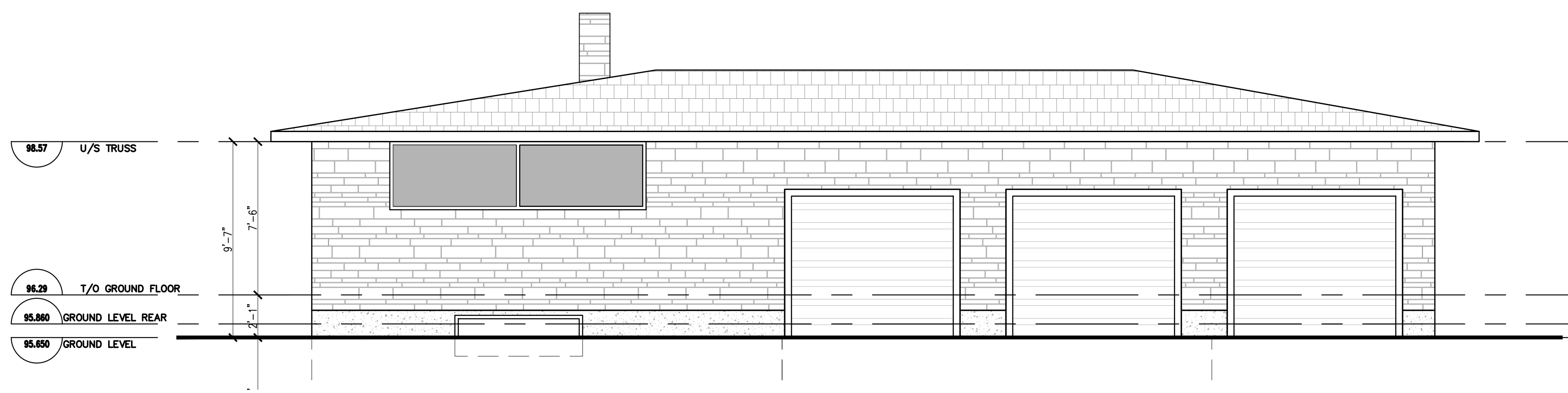
**1** NEW EAST ELEVATION  
SCALE: 1/4"=1'-0"



**2** NEW SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



**1** NEW WEST ELEVATION  
 A201 SCALE: 1/4"=1'-0"



**1** NEW NORTH ELEVATION  
 A201 SCALE: 1/4"=1'-0"

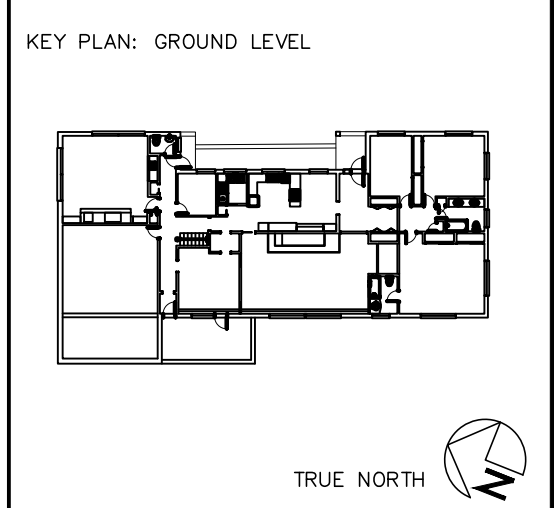
**arbaum**  
 ARCHITECTS  
 535 LEGGET DRIVE, SUITE 102  
 KANATA, ONTARIO K2K 3B8

**CLELAND JARDINE**  
 ENGINEERING LTD

**VR**  
 Vanderweest & Rutherford Associates Inc.  
 Mechanical & Electrical Engineers  
 London, Windsor, Ottawa  
 www.vr-eng.ca | 613-563-2100

D.B. Gray Engineering Inc.

**CSW**



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
 DO NOT SCALE DRAWINGS.

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN CONTROL	2022-06-08

ONTARIO ASSOCIATION OF ARCHITECTS  
 ANDREA R. BUCHSBAUM  
 LICENSE 7996

NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT.

DATE: \_\_\_\_\_

PROJECT NORTH

DRAWN: MP  
 CHECKED: AB  
 DATE PRINTED: X.X.X

3150 WOODROFFE AVE.  
 EXHALO SPA

ADDRESS: 3150 WOODROFFE AVENUE, OTTAWA, ONTARIO.

**NEW ELEVATIONS + NOTES**

SCALE: AS SHOWN  
 DRAWING NO.: A-201  
 PROJECT NO.: 003-22