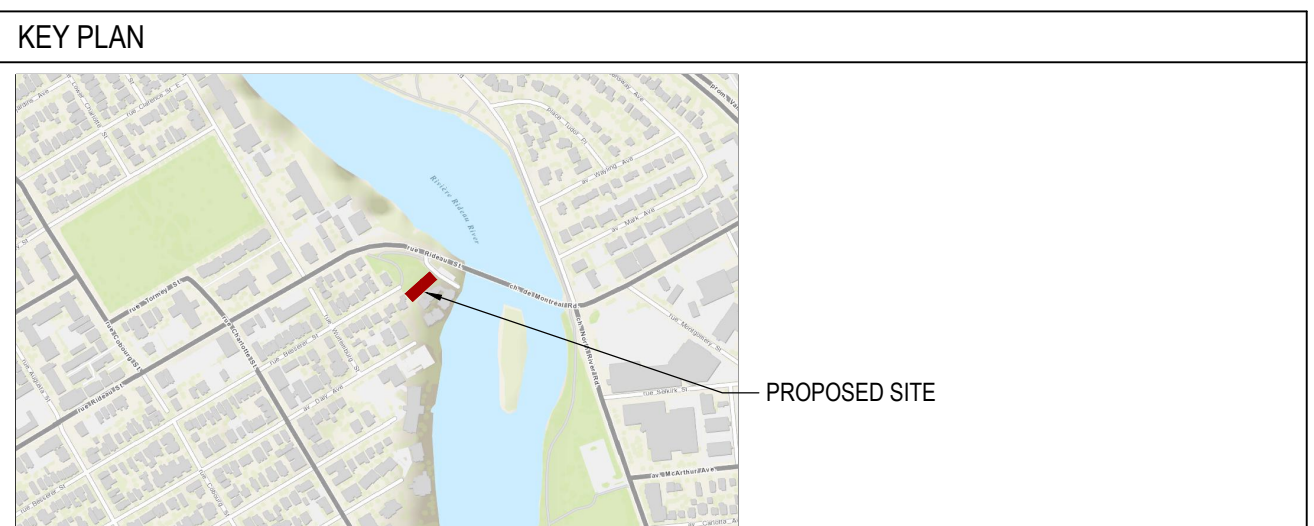


ZONING TABLE	2008 - 250 - R5B H(19) (2637)	
CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	540m ²	715.9m ²
MINIMUM LOT WIDTH	13.9m	13.9m
MINIMUM FRONT YARD SETBACK	0.29 m	1.85m 290mm AT GARAGE (NE CORNER)
MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m for a distance of 30 m from the front lot line, after which the southern interior side yard setback is a minimum of 3.4 m for a distance of 4.6 m, after which the southern interior side yard setback is a minimum of 5.9 m	North side - 0.9m South side - 1.5m
MINIMUM REAR YARD SETBACK	13.5m	14m
MAXIMUM BUILDING HEIGHT	14.5m (LOW-RISE APARTMENT)	10m
MAXIMUM FLOOR SPACE INDEX	N/A	
LANDSCAPED AREA	30% = 214.8m ²	44.8 % = 321 m ²
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 2 spaces	2 SPACES TOTAL
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 0 SPACES REQUIRED	0 SPACES
AMENITY AREA REQUIREMENTS	129m ² (Communal Amenity = 65 m ² w/ 25% soft landscaping (16.25 m ²))	87 m ² REAR YARD AMENITY (Communal) (27% soft landscaping = 17.7 m ²) 45 m ² BALCONIES Total = 132 m ²
BICYCLE PARKING SPACES	0.5 per dwelling unit = 8	10 (8 Interior stacked + 2 exterior)



PROPERTY DESCRIPTION

TCU - THREE STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	042070051
MUNICIPAL ADDRESS	244 FOUNTAIN PLACE

SITE INFORMATION

LOT AREA:	716m ²
LOT FRONTAGE:	15.68m
LOT DEPTH:	52.2m

BUILDING INFORMATION

BUILDING AREA:	340m ²
BUILDING FLOOR AREA:	1,359m ²
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE
UNIT BREAKDOWN:	
BASEMENT:	3 UNITS 1-STUDIO, 1-1 BD, 1-2 BD
FIRST FLOOR:	4 UNITS 1-1 BD, 3-2 BD
SECOND FLOOR:	5 UNITS 2-STUDIO, 1-1 BD, 2-2 BD
THIRD FLOOR:	4 UNITS 1-1 BD, 3-2 BD
TOTAL:	16 UNITS 3-STUDIO, 4-1 BD, 9-2 BD

LEGEND

- LANDSCAPED AREA REFER TO LANDSCAPE
- RIVERSTONE REFER TO LANDSCAPE
- UNIT PAVERS
- ASPHALT PAVING
- CONCRETE
- FIRE ROUTE
- NEW METAL FENCE
- NEW SCREEN FENCE
- NEW BOARD FENCE
- LOT LINE
- SETBACK LINE
- DESIGNATED BUILDING ENTRANCE / EXIT
- FIRE HYDRANT. REFER TO CIVIL
- CATCH BASIN
- MANHOLE
- FLOOR DRAIN
- ELECTRICAL POST
- LIGHT STANDARD
- DEPRESSED CURB
- EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
- NEW TREE (REFER TO LANDSCAPE DRAWINGS)
- NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
- EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
- PROPOSED GROUND ELEVATION. REFER TO CIVIL

No. Date Événement / Object

- 2018-02-16 COORDINATION
- 2018-05-24 COORDINATION
- 2018-08-17 COORDINATION
- 2018-08-28 COORDINATION
- 2018-10-26 SITE PLAN CONTROL
- 2019-03-11 COORDINATION
- 2019-06-14 CITY REVIEW
- 2019-07-24 COORDINATION
- 2019-09-16 COORDINATION
- 2019-10-22 SITE PLAN CONTROL RESPONSE
- 2020-05-21 SITE PLAN CONTROL RESPONSE
- 2020-12-07 SITE PLAN CONTROL RESPONSE
- 2021-03-26 SITE PLAN CONTROL RESPONSE
- 2021-07-08 COORDINATION
- 2021-08-05 COORDINATION
- 2021-09-16 COORDINATION
- 2021-10-22 SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
(Structure / Structure)

Architecte / Architect
(Paysagiste / Landscape)

Ingenieur / Engineer
(Civile / Civil)

Client / Client

Architecte / Architect
Collectif d'architectes / Architects Collective

fig. 1
3505, Saint-Antoine O.
Montréal QC H3C 1A0
T. 514 881-9122

fig. 2
190 Somerset St W #206
Ottawa ON K2P 0A4
T. 613 956-6122

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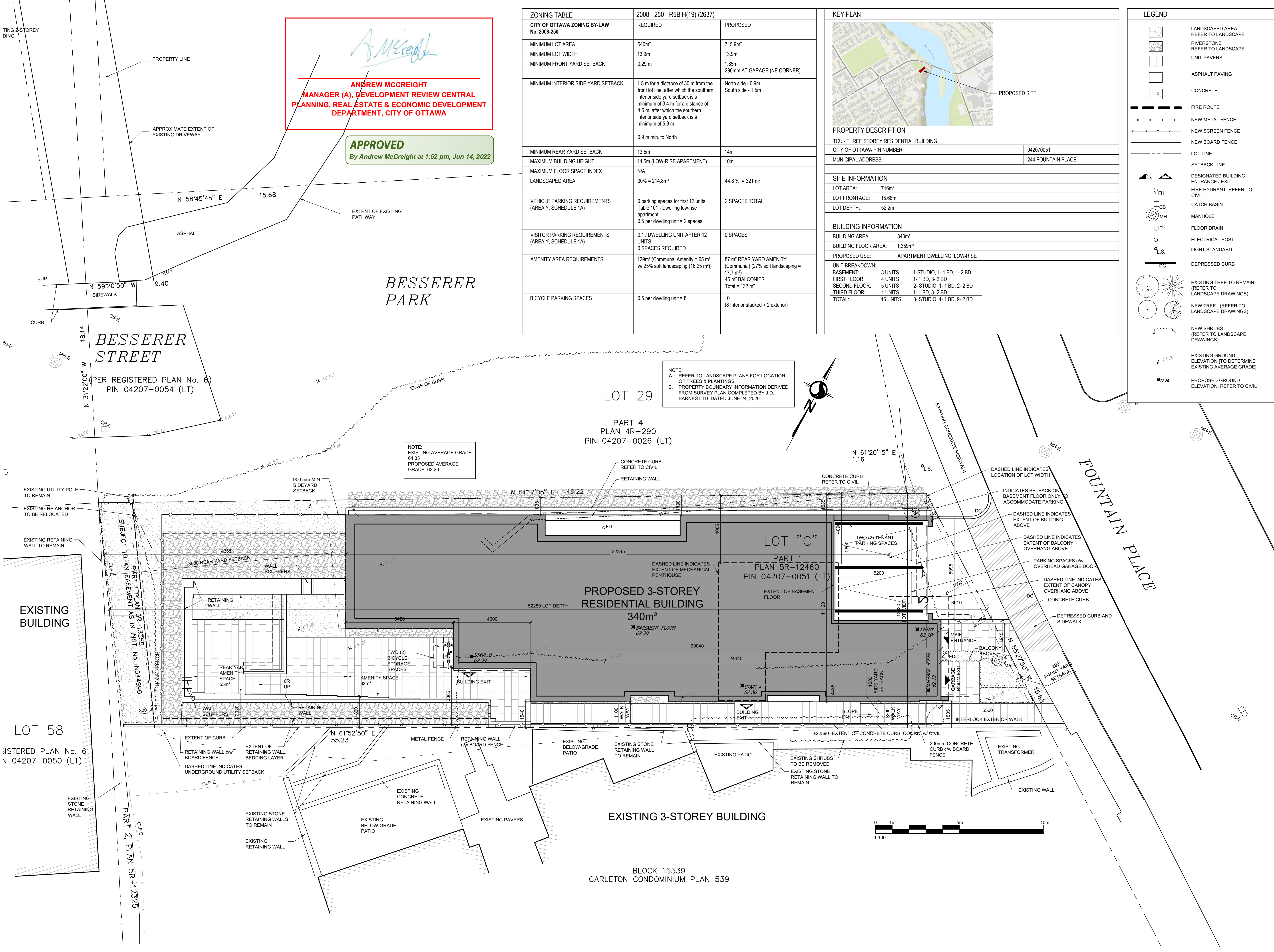
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Scale / Echelle

Note:
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et avant immédiatement l'installation de toutes structures ou ornements.

Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE 7401

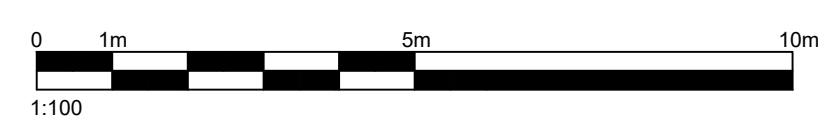


ANDREW MCCREIGHT
MANAGER (A), DEVELOPMENT REVIEW CENTRAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 1:52 pm, Jun 14, 2022

NOTE:
A. REFER TO LANDSCAPE PLANS FOR LOCATION OF TREES & PLANTINGS.
B. PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY J.D. BARNES LTD. DATED JUNE 24, 2020.

NOTE:
EXISTING AVERAGE GRADE: 64.33
PROPOSED AVERAGE GRADE: 63.20



THREE STOREY APARTMENT BUILDING

244 Fountain Place,
Ottawa ON

SITE PLAN

Dessiné par / Drawn by: MD
No. projet / Project number: 1749

Vérifié par / Verified by: RC
No. dessin / Drawing number: 6
Revision / Revision:

Echelle / Scale: as indicated

Date de création du dessin / Drawing creation date: 2018-02-16

A105

18362