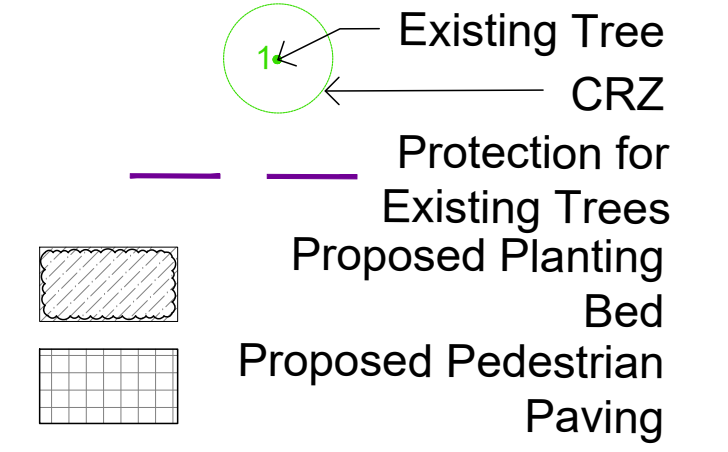


Drawing Remains the Property of/Copyright Reserved by GJA INC. Do Not Use or Reproduce Without Approval of GJA INC. NOT To Be Used For Construction Unless indicated by Revision: "FOR LANDSCAPE CONSTRUCTION". Contractor is Responsible for Verification of Site Locations of all Utilities. Report any Discrepancies Between Site and Drawing Immediately to GJA INC. Do NOT Proceed Until Clarified.

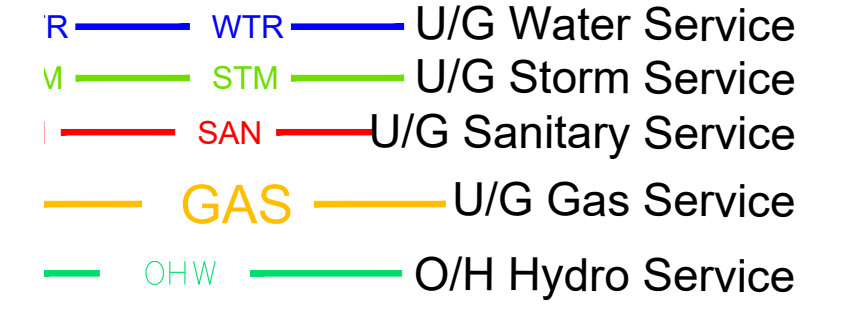
TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE | SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - Fine Fescue/Kentucky Bluegrass Sod | PLANTING MIX TO BE APPROVED BY LANDSCAPE ARCHITECT | PLANT MATERIAL TO MEET CNLA STANDARDS/BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING | ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE, (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) & INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE | PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT UNTIL END OF WARRANTY PERIOD | REFER TO CIVIL ENGINEER'S DRAWING FOR ELEVATIONS / GRADING |

The Landscape Plan is to be read in conjunction with the grading, servicing, site and survey plan | Bare root material to be planted in season only | All plant material locations to be staked on site by the landscape contractor and checked by the landscape architect prior to planting | All trees to be preserved on or directly adjacent to the site will be protected | Plant material are to be installed a minimum of: 3.0m away from any part of any hydro transformer, 3.0m corridor between a fire hydrant and the curb, a 2.5m radius beside or behind a fire hydrant, 2.0m from any servicing/utility line or structure |

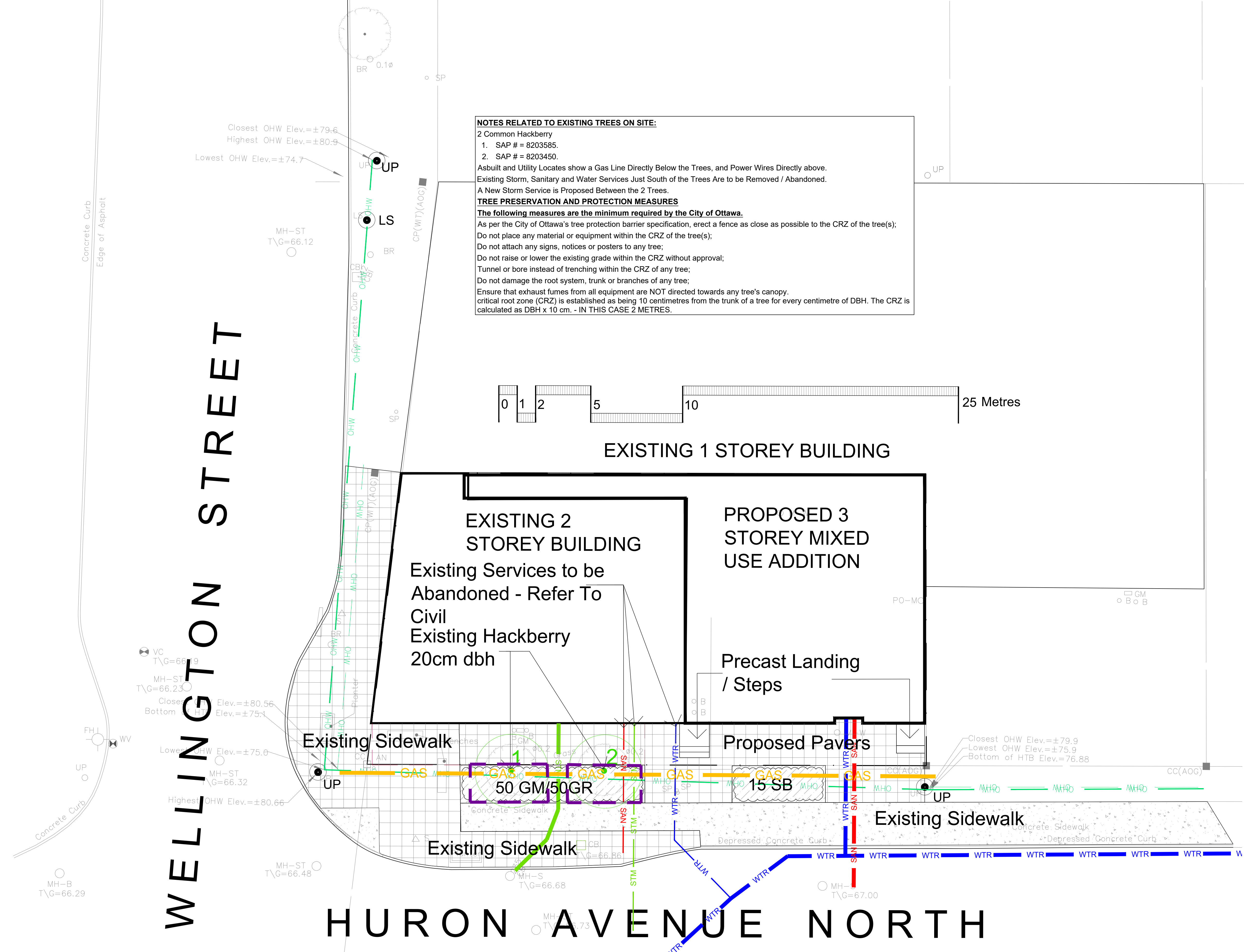
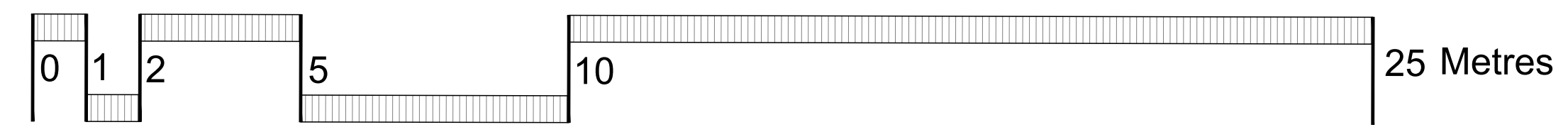
LANDSCAPE PLAN LEGEND



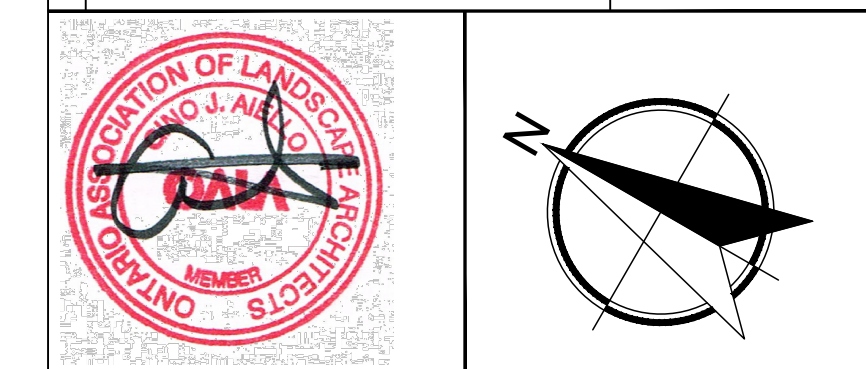
BELOW GRADE SERVICES REFER TO CIVIL /CUP



NOTES RELATED TO EXISTING TREES ON SITE:
 2 Common Hackberry
 1. SAP # = 8203585.
 2. SAP # = 8203450.
 Asbuilt and Utility Locates show a Gas Line Directly Below the Trees, and Power Wires Directly above.
 Existing Storm, Sanitary and Water Services Just South of the Trees Are to be Removed / Abandoned.
 A New Storm Service is Proposed Between the 2 Trees.
TREE PRESERVATION AND PROTECTION MEASURES
 The following measures are the minimum required by the City of Ottawa.
 As per the City of Ottawa's tree protection barrier specification, erect a fence as close as possible to the CRZ of the tree(s);
 Do not place any material or equipment within the CRZ of the tree(s);
 Do not attach any signs, notices or posters to any tree;
 Do not raise or lower the existing grade within the CRZ without approval;
 Tunnel or bore instead of trenching within the CRZ of any tree;
 Do not damage the root system, trunk or branches of any tree;
 Ensure that exhaust fumes from all equipment are NOT directed towards any tree's canopy.
 critical root zone (CRZ) is established as being 10 centimetres from the trunk of a tree for every centimetre of DBH. The CRZ is calculated as DBH x 10 cm. - IN THIS CASE 2 METRES.



1	SITE PLAN CONTROL SUBMISSION 1	MARCH 22 2022
0	REVIEW/COORDINATION	FEBRUARY 2022
#	Revision	Date



Property Owner
 Wellington Huron Commercial Inc.

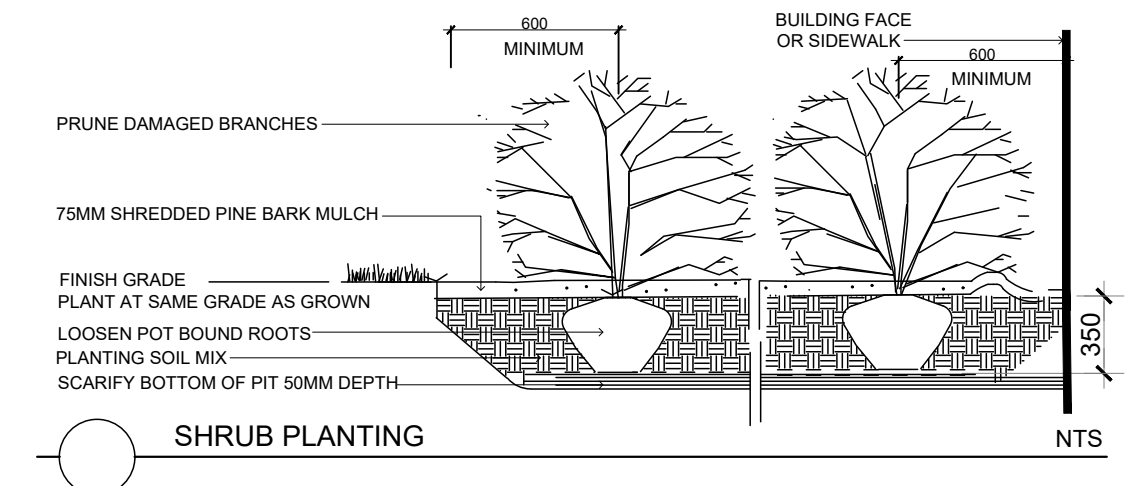
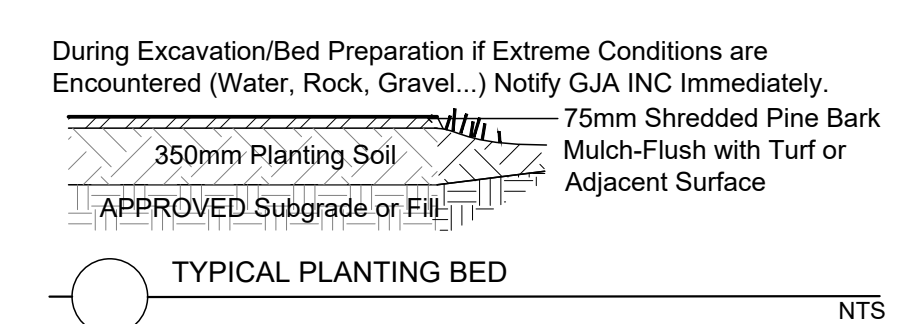
Gino J. Aiello | landscape architect GJALA.com
 GJA Inc. Gino@GJALA.com (613) 286 5130
 110 Dabury Road Unit # 9 | Ottawa Ontario | K2T 0C2

Project 3 STOREY MIXED USE ADDITION
 1250 - 1252 WELLINGTON STREET @ HURON AVENUE NORTH

Landscape Plan
 Scale: 1:100 Sheet Number
 City of Ottawa
 Dwg - #####

1248 - 1252 WELLINGTON STREET

Code	Qty.	Botanical Name	Common Name	Size	Condition
HK	15	Hypericum kalmianum	St. John's Wort	40cm Ht.	Pot
GM	50	Geranium macrorrhizum	Bigroot Geranium	9cm Pot	
GR	50	Geranium psilostemon 'Gerwat'	Rozanne Geranium	9cm Pot	



D07