

NOT FOR PERMITS
CONSTRUCTION

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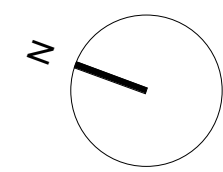
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GENERAL NOTES

- NOTE-A :**
• ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B :**
• ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C :**
• CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D :**
• REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E :**
• DO NOT SCALE DRAWINGS.
- NOTE-F :**
• ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO

TOPOGRAPHIC SURVEY OF :
Stantec Geomatics Ltd.



PROJECT INFORMATION

SITE SUMMARY
ADDRESS: 98-100 BEARBROOK RD. GLOUCESTER, OTTAWA
CURRENT ZONING: AM11
SITE AREA: 3553.55 m²
PROPOSED USE: RESIDENTIAL
BUILDING AREA: 1812.30 m²

ZONING SUMMARY

	REQUIRED	PROPOSED
LOT AREA	3553.55 m ²	3553.55 m ²
LOT WIDTH	0.00 m	78.81 m
MIN. LOT WIDTH	0.00 m	0.00 m
MAX. BUILDING HEIGHT	30.00 m	29.00 m
MAX. PARAPET HEIGHT	0.00 m	0.00 m

SET BACKS :

	REQUIRED	PROPOSED
- FRONT YARD	3.00 m (min.)	3.00 m
- CORNER SIDE YARD	0.00 m (min.)	0.00 m
- INTERIOR SIDE YARD	7.50 m (min.)	7.50 m
- INTERIOR SIDE YARD	0.00 m	1500
- REAR YARD	10.00 m (min.)	12.73 m

MIN LANDSCAPED AREA: 0.00 m² / 813.90 m²

VEHICULAR PARKING

	REQUIRED	PROPOSED
TOWNHOUSE: 1 / UNIT	9	9
MID-RISE: 1.2 / UNIT	197	166
VISITORS: 0.2 / UNIT	34	34
Resident Parking Requirement Attainment: 89.3%		
BICYCLE: 0.5 / UNIT	80	84

AMENITY AREA

	REQUIRED	PROPOSED
PRIVATE	477.0 m ²	1527.5 m ²
COMMUNAL	477.0 m ²	577.4 m ²

(CALC: 6 m² / UNIT - MIN 50% MUST BE COMMUNAL)

SUMMARY OF PROPOSED:

9 x 3 / 4 Bedrm Townhouse: Each ±80 m² over 2 floors
159 APARTMENTS: Studio x 7;
1 Bed x 37;
1 Bed + Den x 75;
2 Bed x 39;
3 Bed x 1;
PARKING BAYS: 25 Exterior + 184 Interior = 209 Total
PARKING GARAGE: 3305.77m² x ±= 6811.54 m²
TOTAL BUILDING AREA: 14674.0 m² (excl. garage)
PROPOSED COVERAGE: 51.00 % (1812.3 m²)

KEYNOTE DESCRIPTIONS

- GARAGE ENTRANCE
- 100 BEARBROOK TO BE DEMOLISHED
- 98 BEARBROOK TO BE DEMOLISHED
- TRANSFORMER PAD
- ELEVATOR SHAFT
- STAIRCASE SHAFT
- TOWNHOUSE ENTRANCE
- CONCRETE CURB

SITE CONTEXT



LEGEND

SURFACES

- GRASS
- POURED CONCRETE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO DEMOLISH

LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

VEGETATION

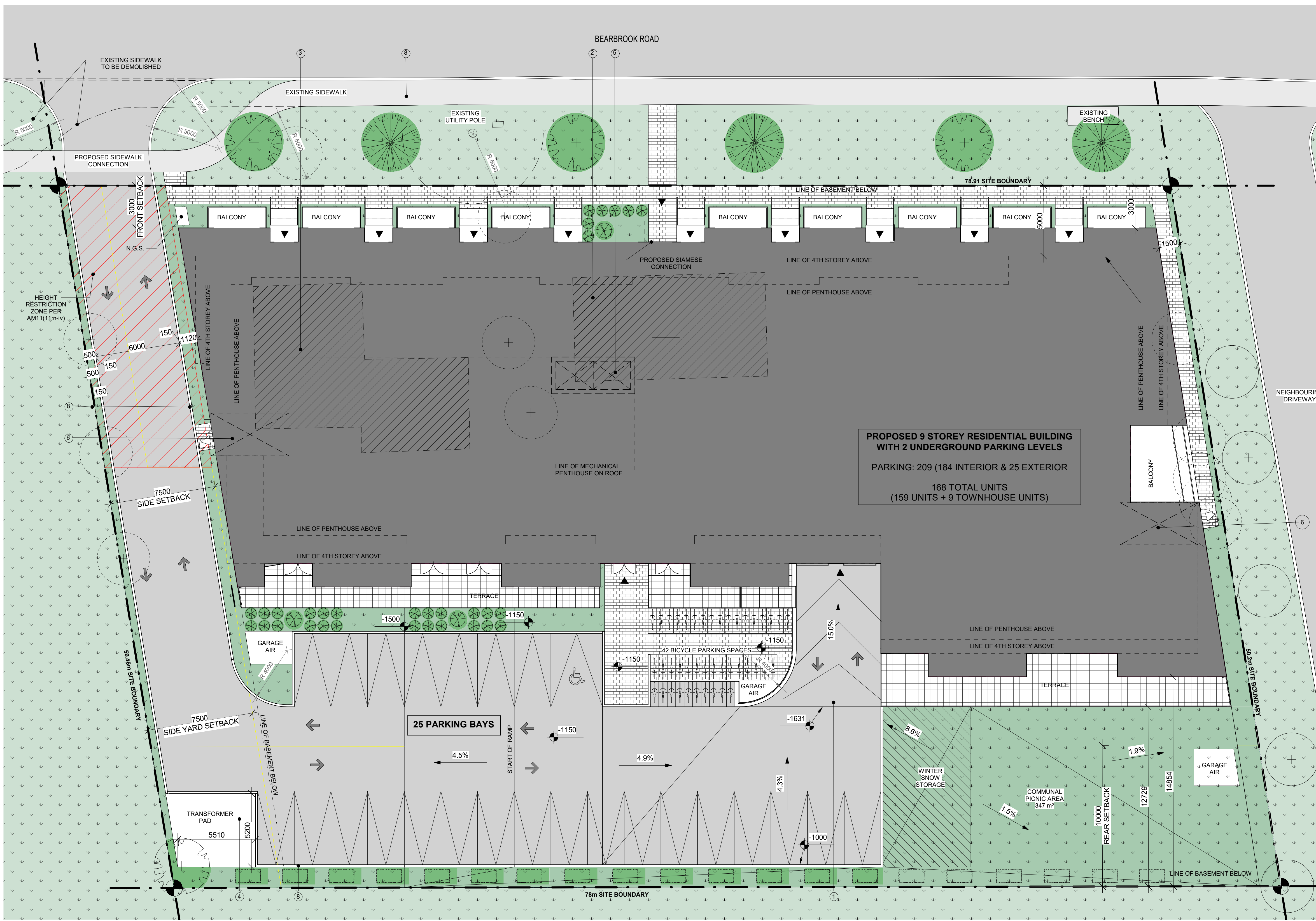
- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMSESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS

PARKING

- BIKE PARKING
H: HORIZONTAL 0.6M x 1.8M
V: VERTICAL 0.5M x 1.5M
S: STACKED 0.37M x 1.8M
- CAR PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE A)
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE B)
R: RESIDENTIAL
V: VISITOR



PROPOSED 9 STOREY RESIDENTIAL BUILDING WITH 2 UNDERGROUND PARKING LEVELS
PARKING: 209 (184 INTERIOR & 25 EXTERIOR)
168 TOTAL UNITS (159 UNITS + 9 TOWNHOUSE UNITS)

UNIT COUNT	TOWNHOUSE	STUDIO	1 BEDROOM	1 BED + DEN	2 BEDROOM	3 BEDROOM	TOTAL
GROUND FLOOR	9		3	4	2		18
2ND FLOOR	(9)	1	4	5	2		12
3RD FLOOR		1	5	11	4		21
4TH FLOOR		1	5	11	4		21
5TH FLOOR		1	5	11	4		21
6TH FLOOR		1	5	11	4		21
7TH FLOOR		1	5	11	4		21
8TH FLOOR		1	5	11	4		21
9TH FLOOR					11	1	12
TOTAL	9	7	37	75	39	1	168

1 SITE PLAN
A003 1:150

98-100 Bearbrook Rd

GENERAL SITE PLAN CONTROL

PROJECT NO. / NO. DE PROJET :	21046
DATE :	22-03-15
DRAWN BY / DESSINÉ PAR :	MA
REVIEWED BY / VÉRIFIÉ PAR :	LaG
SCALE / ÉCHELLE :	1 : 150
PROJECT PHASE / PHASE DU PROJET :	0
DWG NO. / NO. DESSIN :	A003
REVISION NO. / NO. DE RÉVISION :	1.5