



SUBJECT PROPERTY AT 1518-1524-1526 STITTSVILLE MAIN STREET CONSISTS OF PARCELS:
PIN 04446-1658, PIN 04446-0338 and 04446-0240.

Zoning Regulations
Site Zoning: IM9(Z272) H(15), consolidation date: August 26, 2015
Proposed Use: Apartment dwelling, Restaurant and Office.

	REQUIRED	PROVIDED
Minimum Lot Area (m ²)	No minimum	4,759
Minimum Lot Width (m)	No minimum	47.93
Front Yard Setback (m)	No minimum	5.78
i) minimum		
ii) maximum		
Interior Side Yard Setback (m)	3	7.5
j) minimum		
ii) maximum	N/A	
Rear Yard Setback (m)	10	10.04
all other cases		
Building Height (m)	14.95	
i) minimum		
ii) maximum	6.7	4 storeys
Parking - required	15m / 4 storeys	
Minimum width of landscape (m)	No minimum	1.5

Parking Requirements
Table 101 - Min. Parking Space Rates
Area C (on Schedule 1A)

Use	Required	Provided
Restaurant and Kitchen (Ground Floor)	10 per 100 m ² of G.F.A.	
Parking - required(*)	26.30 spaces	
Office (Second Floor)	2.4 per 100 m ² of G.F.A.	
Parking - required	2.50 spaces	
Dwelling, Low-Rise or Mid-Rise	1.2 per dwelling	
Parking - required	39.60 spaces	

Visitor Parking Requirements
Table 102 - Minimum Visitor Parking

Use	Required	Provided
Dwelling, Low-Rise and Mid-Rise	0.2 per dwelling	
Parking - required	6.6 spaces	

(*) per Zoning By-Law Provision 197(14).

Site Statistics

Building Area/Footprint	1,263 m ²
Gross Floor Area (G.F.A.)	336 m ²
G.F.A. - Restaurant Only	336 m ²
G.F.A. - Kitchen Only	77 m ²
G.F.A. - Office Only	120 m ²
Dwelling Units:	33

Total Parking

Category	Required	Provided
Total Parking (**)	73 spaces	74 spaces
...at grade	38.88 spaces	40 spaces
...underground (apartment)	34 spaces	
Min. Number of Spaces for Persons with Disabilities	1 (for 20-99)	4 spaces
...at grade	1 space	
...underground (apartment)	3 spaces	
Required Type A (Van)	2 spaces	2 spaces
Required Type B	2 spaces	2 spaces

(**) per Zoning By-Law Provisions 100(8)(b) and 104(1).

Amenity Area Requirements
Table 137 - Total Amenity Area

Category	Required	Provided
Dwelling amenity area	6m ² per dwelling unit required	33 units x 6m ² = 198 m ² Total Amenity Provided
Communal amenity area	Min. 50% of required total amenity area	198m ² X 50% = 99m ² required 58 m ² provided inside 406m ² provided outside = 464m ² Total Communal Provided

Bicycle Parking Requirements
Table 111A - Bicycle Parking Space Rates

Use	Required	Provided
Dwelling, Low-Rise or Mid-Rise	0.5 per dwelling	
Parking - required	16.5 spaces	
Restaurant and Kitchen (Ground Floor)	1 per 250 m ² of G.F.A.	
Parking - required	1.7 spaces	
Office (Second Floor)	1 per 250 m ² of G.F.A.	
Parking - required	0.7 spaces	

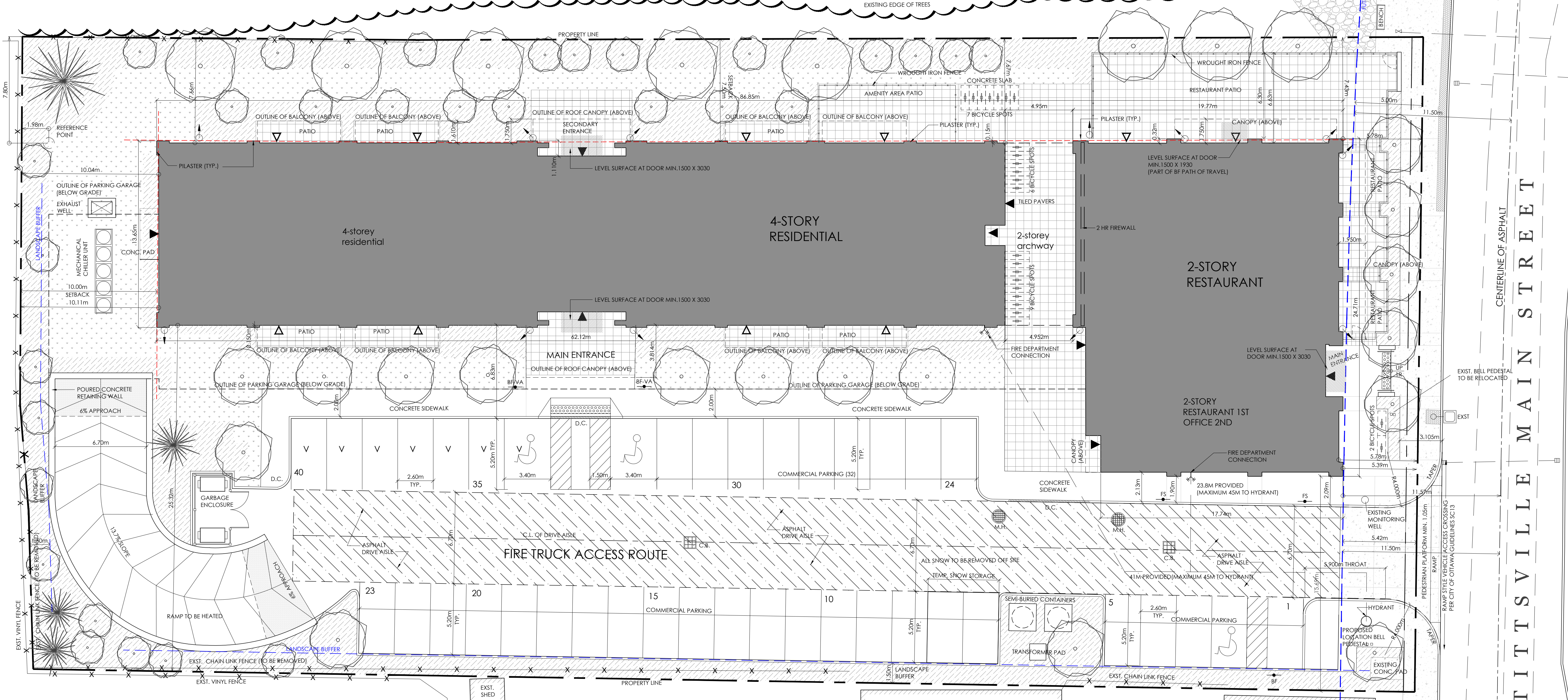
Loading Space Requirements
Table 113A - Minimum Loading Spaces

Use	Required	Provided
Non-Residential Uses (Ground Floor)	0, less than 350 m ²	
Office (Second Floor)	0, less than 350 m ²	

EXISTING #1510 STITTSVILLE MAIN STREET

General Notes

- Site plan is based on the plan of survey (REF. No. 326-10-GOULBOURN, JOB No. AA15600) prepared by Fairhall Moffatt & Woodland Limited dated April 16, 2020. Refer to legal survey for site specific legal information.
- Refer to civil and landscape drawings for all services and landscape related items.
- Refer to civil for complete grade information.
- Garbage and recycling will be handled and stored in dedicated garbage enclosure area (2 total). It will be collected by a private waste & recycling operators facility.
- Snow storage: accumulated snow will be trucked off-site.



LEGEND

- PROPERTY LINE
- SETBACK / LANDSCAPE BUFFER (AS NOTED)
- CURB (REFER: CITY OF OTTAWA STANDARDS, CITY SPECIFICATION: SC 1.4.)
- DEPRESSED CURB (PEDESTRIAN CURB RAMP) (REFER: CITY OF OTTAWA STANDARDS, CITY SPECIFICATION: SC 1.4. AND SC6.)
- TYPICAL CURB RAMP (SEE SECTION 3.4 OF THE CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS FOR ADDITIONAL INFORMATION)
- DESIGNATED BARRIER FREE PARKING SPACE
- BARRIER FREE PARKING SIGN
- BARRIER FREE PARKING - VAN ACCESSIBLE
- FIRE ROUTE SIGN
- BOLLARD
- DENOTES BUILDING EXIT
- DENOTES BUILDING ENTRY (NON DESIGNATED EXIT)
- FIRE HYDRANT
- UTILITY POLE
- PROPOSED DOWNSPOUT LOCATION
- PROPOSED GAP AND GRATE IN CONCRETE SIDEWALK AT DOWNSPOUT LOCATION (REFER TO CIVIL)
- CATCH BASIN (C.B.) (REFER TO CIVIL)
- STORM (STM) / MAN HOLE (M.H.) COVER (REFER TO CIVIL)
- LIGHT STANDARD W/POLE BASE
- LIGHT FIXTURE
- TURF
- SOFT LANDSCAPING
- CONCRETE
- DENOTES FIRE ROUTE
- LANDSCAPE PAVERS

Allison Hamlin
ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 9:12 am, May 03, 2022

EXISTING #1530 STITTSVILLE MAIN STREET 1 STOREY BUILDING (VINYL SIDING)

EXISTING #1528 STITTSVILLE MAIN STREET 2 STOREY BUILDING (SIDING)

Vandenberg & Wildeboer
ARCHITECTS

PROJECT TITLE: THE STATION
1518-1524-1526 STITTSVILLE MAIN STREET, STITTSVILLE, ONTARIO

DRAWING TITLE: OVERALL SITE PLAN

DESIGNED BY: MW
DRAWN BY: SC, NG
START DATE:
SCALE: AS SHOWN
PROJECT NO.: 1932

CONSTRUCTION

ONTARIO ASSOCIATION OF ARCHITECTS
MALCOLM WILDEBOER
LICENCE 6685

A001