

1 SITE PLAN - CAMPUS PLAN
A1.01 1 : 1000 (WHEN PLOTTED ON A1 SIZED SHEET)

LEGAL DESCRIPTION:
PART OF WESTERLY, NORTHERLY AND EASTERLY LIMIT OF PIN 04201-0191 AND ALL OF PIN 04201-0147 BEING
PART OF LOTS 15 AND 16 CONVESSION JUNCTION GORE AND PART OF ROAD ALLOWANCE BETWEEN LOTS 15 AND 16 CONVESSION JUNCTION GORE (CLOSED BY BY-LAW 174-88, INST. N451929) GEOGRAPHIC TOWNSHIP OF CLOUCESTER CITY OF OTTAWA

REFERENCE SURVEY:
BASED ON INFORMATION FROM A PLAN OF SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JANUARY 6, 2021.
ADDITIONAL INFORMATION OBTAINED FROM A SURVEY PREPARED BY FAIRHALL MOFFATT & WOODLAND DATED DECEMBER 20, 2011.

MUNICIPAL ADDRESS:
1919 RIVERSIDE DRIVE, OTTAWA, ONTARIO.

ZONING INFORMATION:

SITE AREA: (ENTIRE HOSPITAL)	75,968 m ²
SITE AREA: (SCHLEGEL VILLAGES)	20,571 m ²
BUILDING AREA:	5,858 m ²
BUILDING HEIGHT:	PHASE 1 LONG TERM CARE - 27.7 m PHASE 2 RETIREMENT HOME - 52.6 m
PARKETTE AREA:	517.0 m ²
ZONE:	MAJOR INSTITUTIONAL
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X
SCHEDULE 2:	Within 300 m of a Rapid Transit Station

FLOOR SPACE INDEX CALCULATION:

HOSPITAL FLOOR AREA (EXCL. BASEMENT)	28,262 m ²
MEDICAL BUILDING FLOOR AREA	5,030 m ²
TOTAL EXISTING FLOOR AREA	33,292 m²
AREA BLOCK A	58,536 m ²
EXISTING FSI	0.57
AREA BLOCKS A, B, C & D	75,968 m ²
EXISTING FSI	0.44
PROPOSED SENIORS VILLAGE TOTAL PROPOSED AREA	27,711 m ²
	61,003 m ²
PROPOSED FSI (INCLUDING BLOCKS A, B, C, D)	0.80
MAXIMUM PERMITTED	1.0

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
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ZONING PROVISION	REQUIRED	PROVIDED
MAXIMUM GFA OF ANCILLARY USES	Max. 10% of total GFA	0
MIN. LOT WIDTH	No Minimum	9.4m
MIN. LOT AREA	No Minimum	20,571 m ²
MIN. FRONT YARD SETBACK	7.5 m	3.99 m*
MIN. REAR YARD SETBACK	7.5 m	n/a
MIN. INTERIOR YARD SETBACK	3.0 m	10.5 m & 27.9 m
MAX. HEIGHT	No Maximum (more than 12 m from an R1-3 Zone)	Phase 1 - 27.7 m Phase 2 - 52.6 m
AMENITY AREA	Retirement Home: 250 Units x 6 m ² = 1,500 m ² Residential Care Facility: 10% of the GFA of each unit = 1,010 m ²	2,847 m ² LTC Garden, Village Courtyard, Common Garden & Area West of LTC
LANDSCAPED BUFFER	3.0 m at all property lines	1.5 m at West property line* 4.0 m North property line 6.5 m East property line

* indicates variance required

PARKING PROVISIONS:

ZONING PROVISION	REQUIRED	PROVIDED
ENTIRE HOSPITAL SITE		
HOSPITAL (Area - 29,922 m ²)	209 (Minimum 0.7 spaces/100 m ²)	393
MEDICAL BUILDING (Area 3,380 m ²)	68 (Minimum 2.0 spaces/100 m ²)	39
Total Requirement for Existing	277	432

ZONING PROVISION	REQUIRED	PROVIDED
SCHLEGEL VILLAGES SITE		
Residential Care Units - 256	32 (0.125 per Unit)	
Retirement Home Units - 270	68 (0.25 per Unit)	
Residential Care Services (Area - 350 m ²)	2 (0.5 spaces per 100m ²)	
Retirement Home Services (Area - 350 m ²)	4 (1.0 space / 100 m ²)	
Visitor Spaces	27 (0.1 spaces per Retirement Dwelling Unit)	
Total	133	275 (Including 66 underground spaces)
Typical Parking Space Dimensions	2.6 m x 5.2 m	2.6 m x 5.2 m
Reduced Size Parking Dimensions	2.4 m x 5.2 m	2.4 m x 5.2 m
Number of Reduced Size Spaces (40% of non visitor spaces)	99 spaces	88 spaces
Barrier-Free Parking	7 spaces (2% + 2)	11 spaces
Type A Spaces	3 spaces	6 spaces
Type B Spaces	4 spaces	5 spaces
Driveway Width	6.0 Minimum	6.0 Minimum
Drive Aisle Width	6.0 m Min. (Accessory to residential use) 6.7 m Min. (Accessory to other uses)	6.0 m & 6.7 m (refer to plans)
Minimum Parking Lot Landscaping	887 m ² (15% of parking lot area)	3,972 m ²

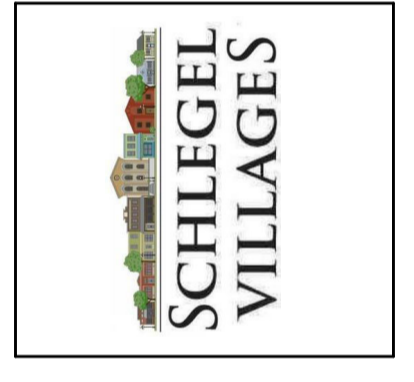
ZONING PROVISION	REQUIRED	PROVIDED
Minimum Required Bicycle Parking		
Retirement Home	68 spaces (0.25 per dwelling unit)	
Long Term Care Home	6 spaces (One space per 1,500 m ² GFA)	
Total Bicycle Parking Spaces	74	76
Minimum Bicycle Parking Dimensions	0.6 m x 1.8 m	0.6 m x 1.8 m
Minimum Required Loading Spaces (Long Term Care Home)	2	2
Minimum Loading Space Dimensions	3.5 m x 7.0 m	3.5 m x 7.0 m
Loading Space Drive Aisle	9.0 m	8.6 m

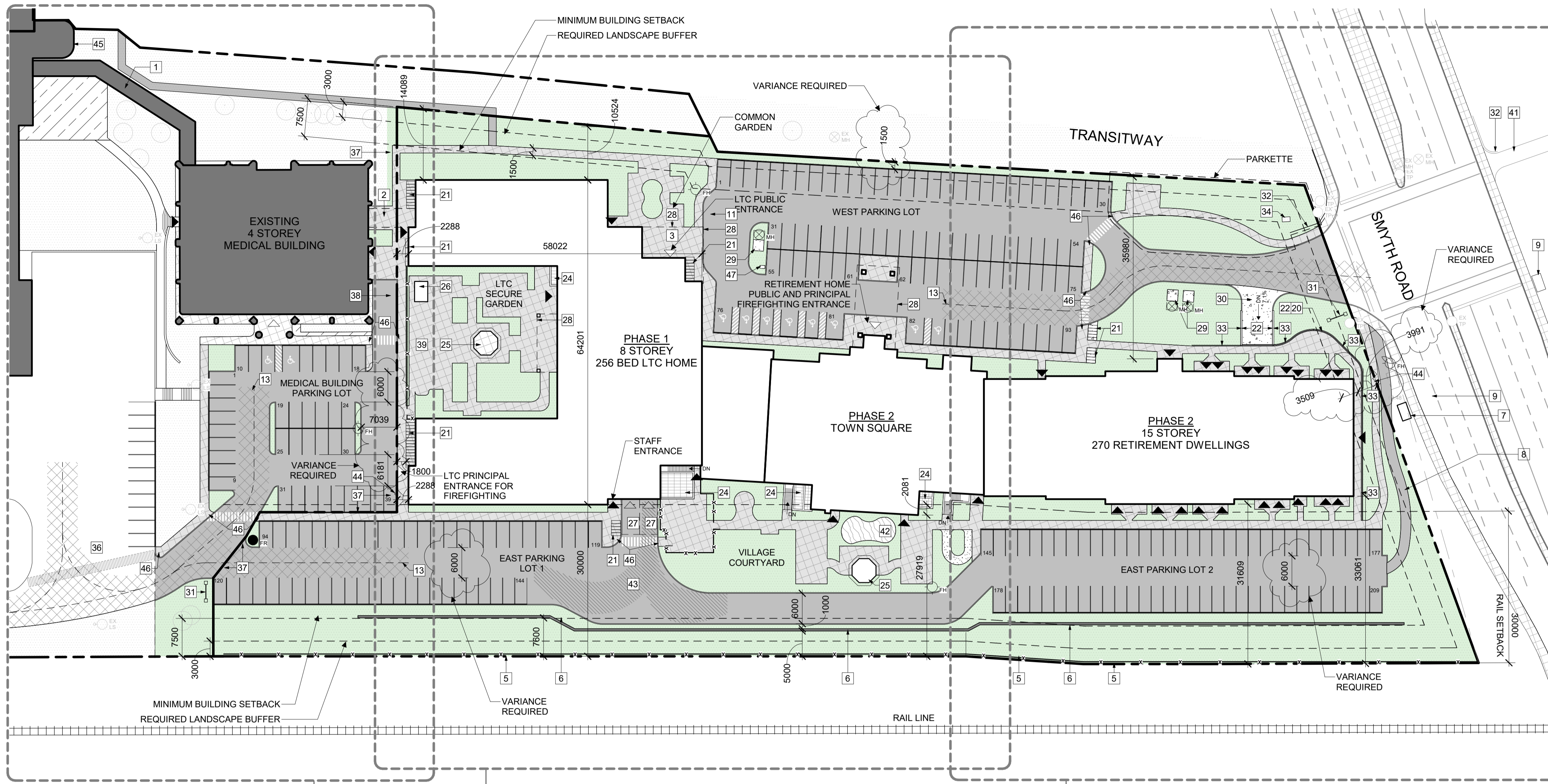
SCHLEGEL VILLAGES OTTAWA
SMYTH ROAD & RIVERSIDE DRIVE, OTTAWA, ONTARIO

CAMPUS PLAN AND ZONING INFORMATION

Project No.: 202090
Drawn By: MM
Plot Date: 2022-04-11
2021-07-15M

CSV ARCHITECTS
sustainable design - conception écologique
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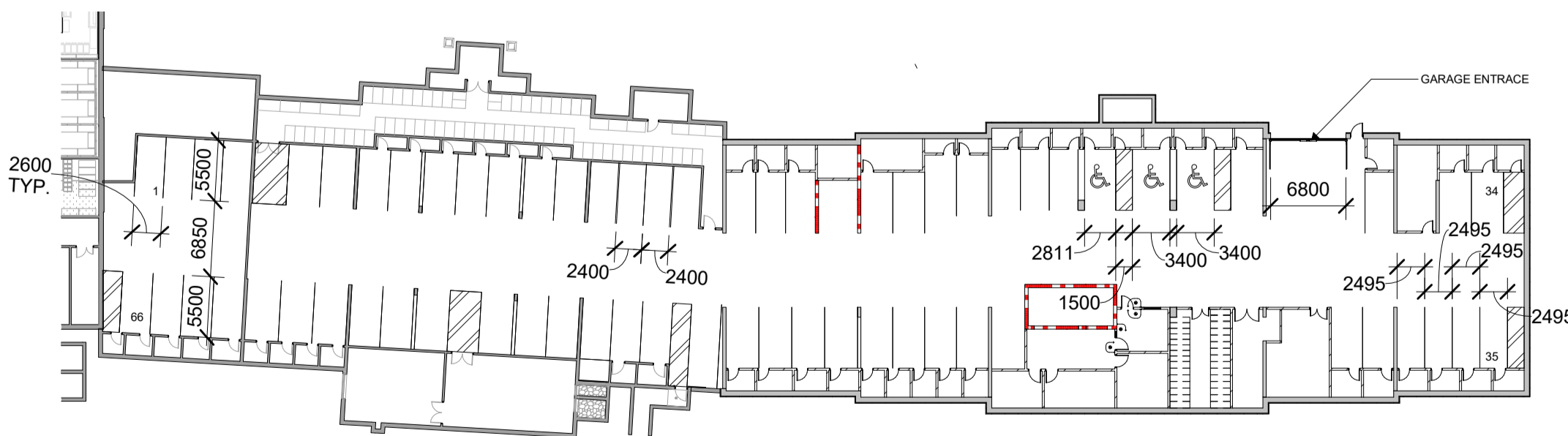
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SITE PLAN LEGEND:

- EXISTING BUILDING
- EXISTING GRASS/SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- EXISTING SIDEWALK
- NEW ASPHALT PAVING
- NEW GRASS / SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- CONCRETE SIDEWALK
- CONCRETE PAD
- STONE DUST/SAND
- PEDESTRIAN CROSSWALK
- EXISTING PAVERS
- FIRE ROUTE
- FIRE ROUTE
- OTHER ENTRANCE / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE - REFER TO LANDSCAPE PLANS
- RELOCATED UNDERGROUND SERVICES - REFER TO CIVIL FOR DETAILS
- LIMIT OF WORK
- EXISTING LIGHT STANDARD
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING TRAFFIC LIGHT POLE
- FIRE ROUTE SIGN
- SIAMESE CONNECTION
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- EXISTING UTILITY COVER AT SURFACE
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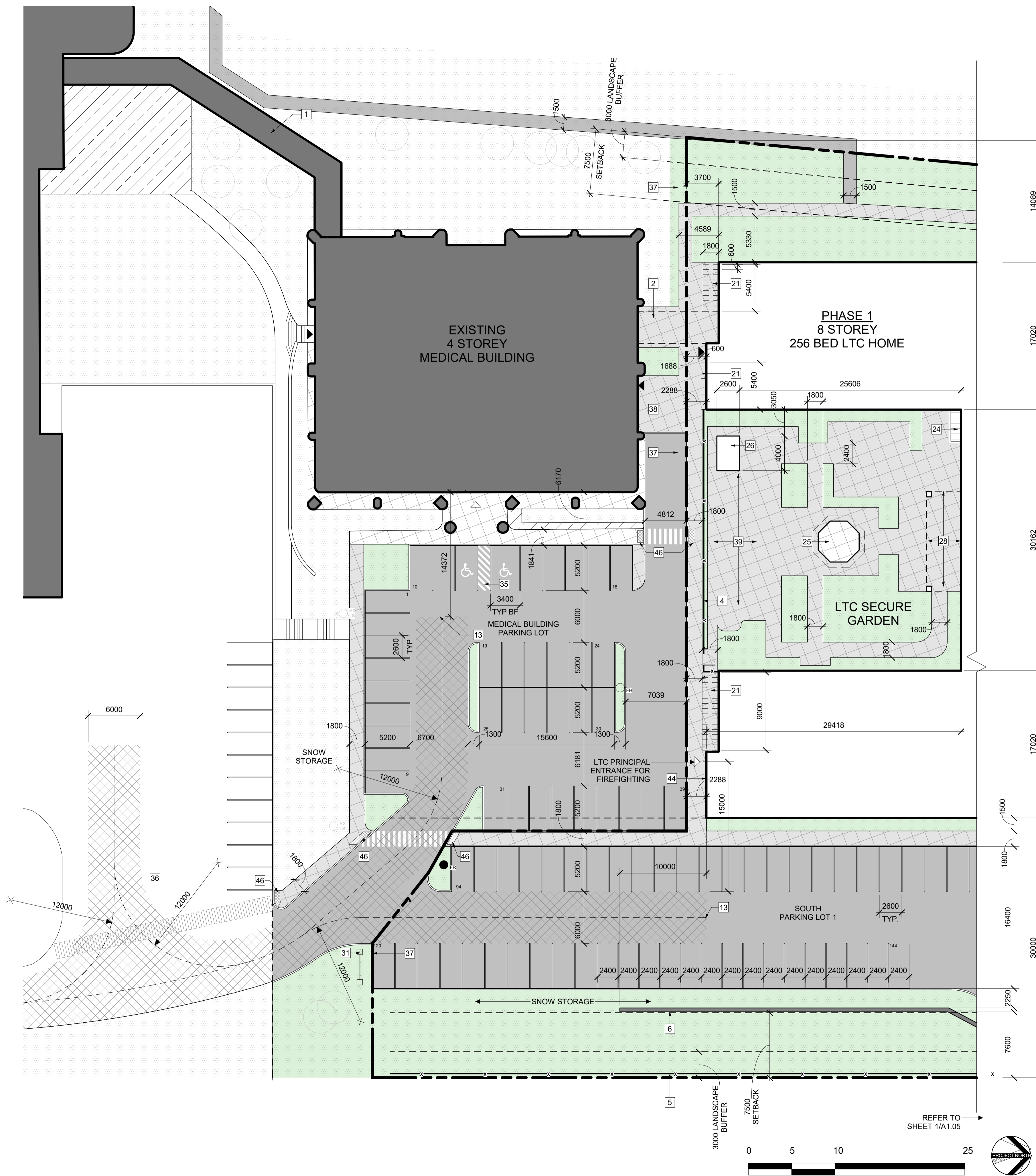
1 SITE PLAN - MASTER PLAN
A1.02 | 1 : 500 (WHEN PLOTTED ON A1 SIZED SHEET)



2 PARKING LAYOUT
A1.02 | 1 : 500 (WHEN PLOTTED ON A1 SIZED SHEET)

SITE PLAN LEGEND:

- 1 EXISTING RAISED PEDESTRIAN LINK
- 2 POTENTIAL PEDESTRIAN LINK
- 3 LTC PORCH
- 4 NEW FENCE AND GATE
- 5 NEW 1829mm HIGH CHAIN LINK FENCE
- 6 NEW 450mm THICK, 2135mm HIGH CONCRETE CRASH WALL
- 7 EXISTING BUS SHELTER (RELOCATED)
- 8 NEW BIKE PATH
- 9 END OF FUTURE BIKE LANE
- 11 LAY-BY
- 13 END OF FIRE ROUTE
- 20 LOOKOUT
- 21 BICYCLE PARKING
- 22 RETAINING WALL
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- 25 GAZEBO
- 26 SHED
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- 31 SIGNAGE
- 32 EXISTING ROAD BARRIER
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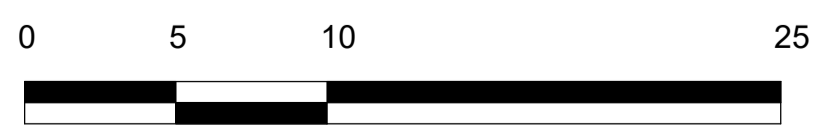
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A1.04 1 : 250 (WHEN PLOTTED ON A1 SIZED SHEET)



SCHLEGEL VILLAGES OTTAWA
SMYTH ROAD & RIVERSIDE DRIVE, OTTAWA, ONTARIO

MASTER PLAN

A1.04

100-190 O'Connor St., Ottawa ON Canada K 5C7
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Project No.: 202090
Drawn By: Author
Plot Date: 2022-04-06
2022-07-15PM

City Project Number: D07-12-21-0170



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