

PROJECT INFORMATION	
ZONING BY-LAW 2008-250	TM (Z20) S444
SITE AREA	2,610.7 sq. m. 28,102 sq. ft.
TM - ZONING REQUIREMENT	9 STOREYS & 31 m.
BUILDING HEIGHT	9 STOREYS & 31 m.
AMENITY AREA - 6m <sup>2</sup> PER UNIT (141 units)	846 sq. m.
FRONT YARD SETBACK	1.4 m.
FRONT YARD SETBACK - ABOVE 15m HT. OR 4th STOREY	+ 2.0 m.
INTERIOR YARD SETBACK - ABUTTING R ZONE	6.0 m.
CORNER YARD SETBACK	3.0 m.
CORNER YARD SETBACK - ABOVE 15m HT.	+ 2.0 m.
REAR YARD SETBACK	7.5 m.
PARKING - PER UNIT (AFTER 12)	0.5
VISITOR PARKING - PER UNIT (AFTER 12)	0.1
BICYCLE PARKING - RESIDENTIAL - PER UNIT	0.5
BICYCLE PARKING - COMMERCIAL	1 PER 250m <sup>2</sup> GFA

PROJECT STATISTICS	
GRADE (GEODETIC ELEVATION)	67.30 m. aasl
BUILDING HEIGHT	31.0 m.
AMENITY LEVEL - BUILDING HEIGHT	5.0 m.
FRONT YARD SETBACK - LOWER	1.5 m.
FRONT YARD SETBACK - ABOVE 16m HT. OR 4th STOREY	3.5 m.
INTERIOR YARD SETBACK - ABUTTING TM	0.0 m.
INTERIOR YARD SETBACK - ABUTTING R3	6.0 m.
CORNER YARD SETBACK - LOWER	3.0 m.
CORNER YARD SETBACK - ABOVE 16m HT. OR 4th STOREY	5.0 m.
REAR YARD SETBACK - LOWER	7.5 m.
REAR YARD SETBACK - UPPER	16.6 m.
STANDARD PARKING SPACE	2.6m X 5.2m
SMALL CAR PARKING SPACE	2.4m X 4.6m
DRIVEWAY & AISLE	6.7m
BICYCLE AISLE	1.1m

GROSS BUILDING FLOOR AREA	
(OTTAWA ZONING DEFINITION)	000 sq. ft.
LUG PARKING LEVELS	000 sq. ft.
GROUND FLOOR	769.0 sq. ft.
MEZZANINE	371.9 sq. ft.
2nd - 4th FLOOR	3 x 1,301.4 sq. ft. 3 x (14,008) sq. ft. = 42,024 sq. ft.
5th to 7th FLOOR	3 x 992.5 sq. ft. 3 x (10,663) sq. ft. = 32,049 sq. ft.
8th FLOOR	810.0 sq. ft.
9th FLOOR	821.9 sq. ft.
AMENITY / MECHANICAL FLOOR	0.0 sq. ft.
TOTAL AREA ABOVE GRADE	9,666.3 sq. ft.
	104,047 sq. ft.

UNIT STATISTICS	
1 BEDROOM UNIT	21
1 BEDROOM + UNIT	70
2 BEDROOM UNIT	25
2 BEDROOM + UNIT	16
3 BEDROOM UNIT	4
3 BEDROOM + UNIT	1
TOTAL	141
COMMERCIAL RETAIL UNIT	494.4 sq. m. 5,214 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT AFTER 12 UNITS 65
VISITOR	-0.1 PER UNIT AFTER 12 UNITS 13
COMMERCIAL	- UNDER 500m <sup>2</sup> NON REQUIRED 0
TOTAL	78
MAXIMUM PARKING AS PER TABLE 103 = 1.75 PER UNIT	247
PROVIDED	
RESIDENCE	-0.58 PER UNIT (141 UNITS) 93
VISITOR	-0.1 PER UNIT (141 UNITS) 16
COMMERCIAL	- UNDER 500m <sup>2</sup> NON REQUIRED 0
TOTAL	151
STANDARD PARKING SPACE	2.6m X 5.2m
SMALL CAR PARKING SPACE	2.4m X 4.6m

BICYCLE PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT (141 UNITS) 71
COMMERCIAL RETAIL	-1.0 PER 250m <sup>2</sup> OF G.F.A. 2
TOTAL	73
PROVIDED	
BELOW GRADE LEVEL	140
EXTERIOR	16
TOTAL	146

AMENITY SPACE	
AT GRADE EXTERIOR COMMUNAL	200.0 sq. m.
AT GRADE EXTERIOR PRIVATE YARDS	200.0 sq. m.
2nd FLOOR - PRIVATE EXTERIOR	25.0 sq. m.
5th FLOOR - PRIVATE EXTERIOR	290.0 sq. m.
8th FLOOR - COMMUNAL EXTERIOR	135.0 sq. m.
AMENITY LEVEL - COMMUNAL INTERIOR	405.0 sq. m.
AMENITY LEVEL - COMMUNAL EXTERIOR	290.0 sq. m.
TOTAL	1,545.0 sq. m.
TOTAL COMMUNAL	1,030.0 sq. m.
REQUIRED - 6.9M <sup>2</sup> PER UNIT (141)	846 sq. m.
REQUIRED COMMUNAL @ 95%	433 sq. m.

LOT COVERAGE	
PAVED SURFACE	439.2 sq. m. 16.8%
BUILDING FOOTPRINT	1,402.3 sq. m. 53.7%
LANDSCAPE OPEN SPACE	769.2 sq. m. 29.5%
TOTAL	2,610.7 sq. m. 100.0%

REFUGE REQUIREMENT (141 UNITS)	
GARBAGE	-0.11 PER UNIT 16 YARDS
RECYCLING GMP	-0.019 PER UNIT 3 YARDS
RECYCLING FIBER	-0.038 PER UNIT 5 YARDS
COMPOST	-240L PER 50 UNITS 3

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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**NOTATION SYMBOLS:**

① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

Ⓜ INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

Ⓜ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.

Ⓜ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.

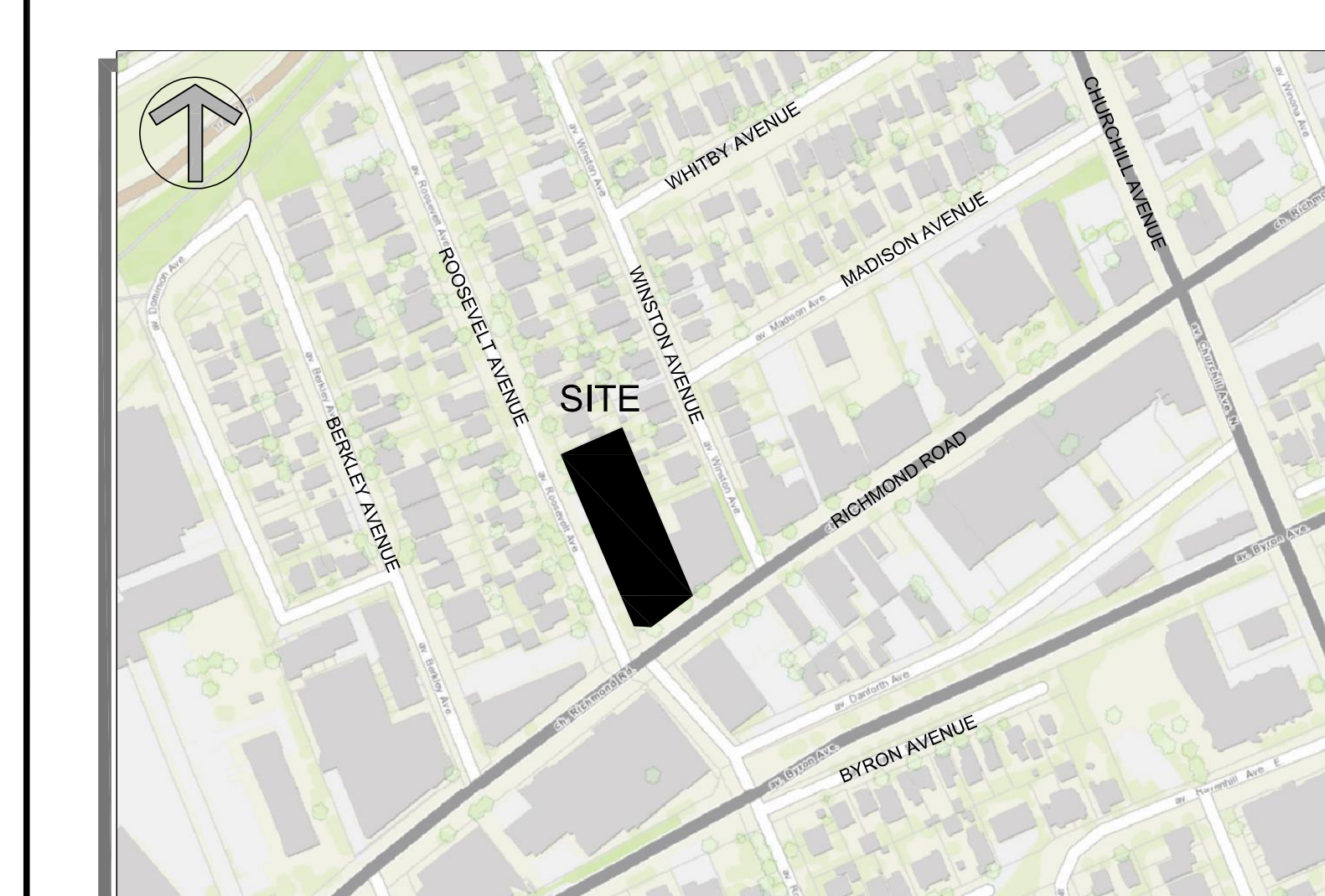
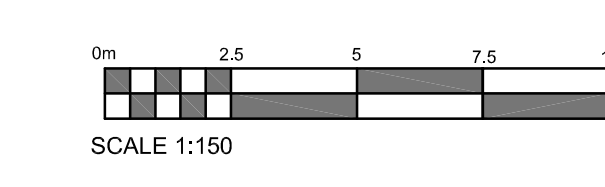
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○ TITLE

○ DETAIL REFERENCE PAGE

○ DETAIL CROSS REFERENCE PAGE

**1 SITE PLAN**  
SCALE 1:150



- DRAWING NOTES**
- PROPERTY LINE
  - BUILDING SETBACKS AT GRADE - SEE SCHEDULE S444
  - CORNER SITE TRIANGLE, TO BE CONFIRMED
  - HARD SURFACE PAVING, SEE LANDSCAPE PLAN
  - CONTINUOUS DEPRESSED SIDEWALK THROUGH DRIVE
  - EXISTING DEPRESSED SIDEWALK TO BE REPLACED WITH BARRIER CURB AND WALK
  - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
  - 6.0m WIDE GARAGE ENTRY RAMP WITH TRENCH DRAIN
  - OUTLINE OF BELOW GRADE PARKING GARAGE
  - OUTLINE OF UPPER FLOORS
  - OUTLINE OF AMENITY / MECHANICAL LEVEL
  - OUTLINE OF PRIVATE TERRACE ABOVE
  - RETAINING WALL WITH GUARD RAIL AS REQUIRED
  - PRIVATE WALKWAY TO GROUND FLOOR UNIT
  - EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
  - EXISTING FIRE HYDRANT
  - VENTILATION GRILL
  - SIAMESE CONNECTION
  - ENTRANCE DRIVEWAY WITH BARRIER CURB
  - EXISTING TREE TO BE REMOVED
  - EXISTING BUILDING TO BE REMOVED
  - EXISTING CITY SIDEWALK
  - PRIVACY SCREEN
  - PROPOSED SERVICES
  - GAS EQUIPMENT LOCATION
  - EXISTING STREET LIGHT / TRAFFIC POLE
  - SEAT WALL, SEE LANDSCAPE FOR DETAILS
  - BICYCLE PARKING SPACE WITH RACK
  - EXISTING CITY PAVERS, RE-INSTATE AS REQUIRED
  - CITY OWNED BOLLARD BICYCLE RACKS
  - SHORT TERM PARKING SURFACE PARKING SPACE
  - 150mm WIDE BARRIER CURB, DEPRESSED AT ENTRY

- SITE PLAN SYMBOLS**
- CITY BOULEVARD PAVERS
  - CONCRETE / ASPHALT DRIVING SURFACE
  - CONCRETE SIDEWALK / WALK
  - UNIT PAVERS AT PRIVATE TERRACE
  - SOFT LANDSCAPING
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - 1.2m HT. METAL PICKET FENCE
  - BIKE RACK
  - ENTRANCE / EXIT DOOR
  - FIRE HYDRANT
  - VEHICULAR DIRECTION
  - EXISTING TREES
  - SIAMESE CONNECTION
  - SITE LIGHTING
- NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

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**LEGAL DESCRIPTION**  
**PART 1 Plan of LOTS 7, 9, 11 AND 13 PART OF LOTS 3 AND 4 REGISTERED PLAN 114 CITY OF OTTAWA**  
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

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**ARCHITECT SEAL:**  
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**CLIENT:**  
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**PROJECT TITLE:**  
**The Hazelton**  
Westboro  
403 RICHMOND ROAD & 389 ROOSEVELT AVENUE  
OTTAWA ONTARIO

**SHEET TITLE:**  
**SITE PLAN**

**DRAWN:** R.V. **CHECKED:** S.S.  
**SCALE:** 1:150 **SHEET No.:** SP-1  
**PROJECT No.:** 1942