

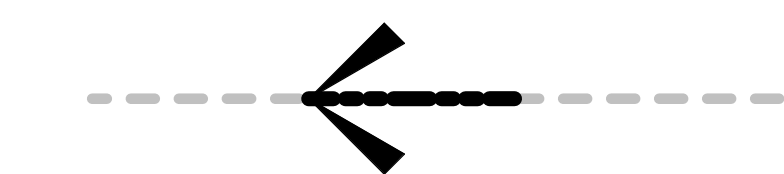






**SITE PLAN LEGEND**

-  EXISTING BUILDING
-  PROPOSED BUILDING
-  NEW FIRE ROUTE

**SITE STATISTICS**

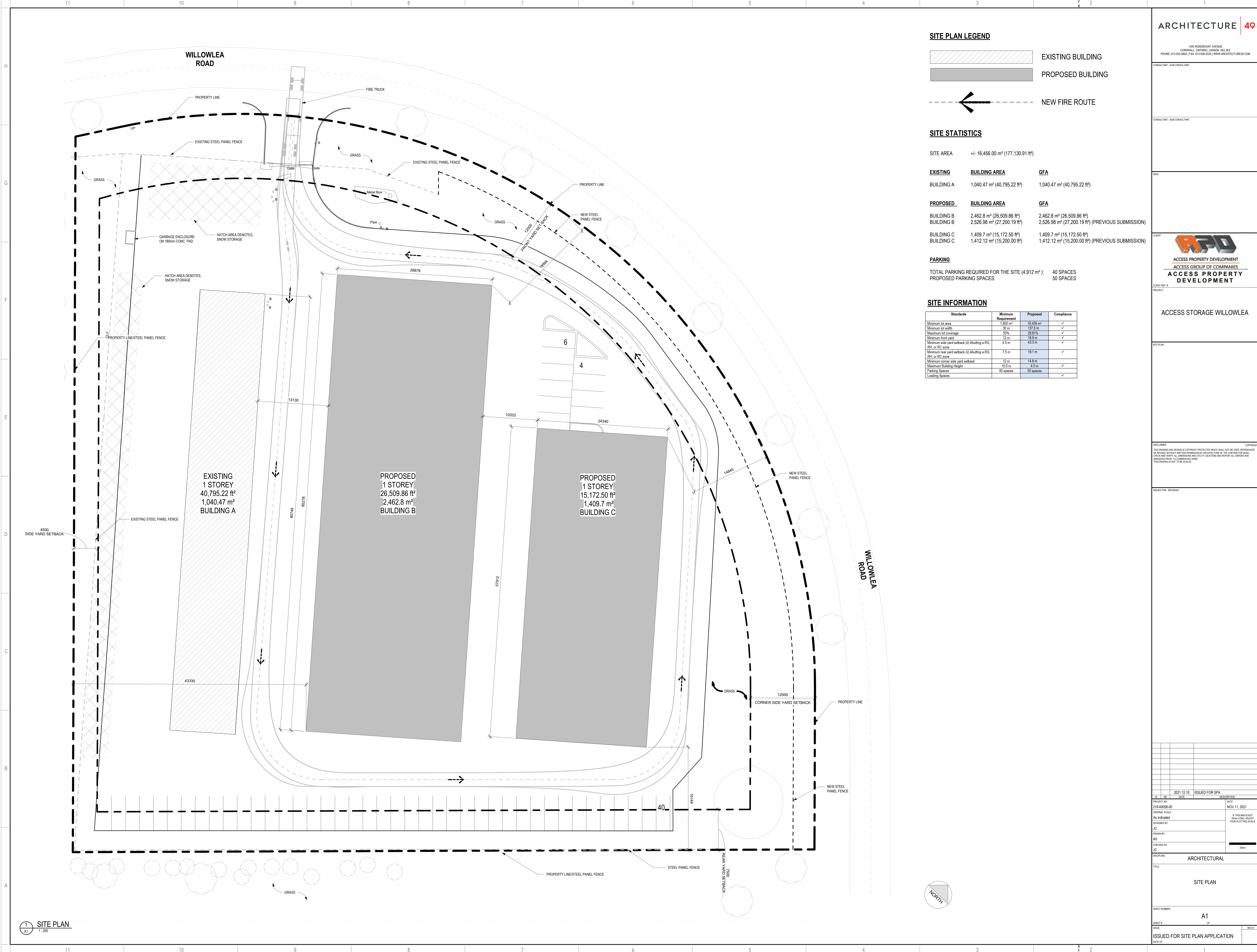
SITE AREA	+/- 16,456.00 m <sup>2</sup> (177,130.91 ft <sup>2</sup> )	
<b>EXISTING</b>	<b>BUILDING AREA</b>	<b>GFA</b>
BUILDING A	1,040.47 m <sup>2</sup> (40,795.22 ft <sup>2</sup> )	1,040.47 m <sup>2</sup> (40,795.22 ft <sup>2</sup> )
<b>PROPOSED</b>	<b>BUILDING AREA</b>	<b>GFA</b>
BUILDING B	2,462.8 m <sup>2</sup> (26,509.86 ft <sup>2</sup> )	2,462.8 m <sup>2</sup> (26,509.86 ft <sup>2</sup> )
BUILDING C	2,526.98 m <sup>2</sup> (27,200.19 ft <sup>2</sup> )	2,526.98 m <sup>2</sup> (27,200.19 ft <sup>2</sup> ) (PREVIOUS SUBMISSION)
BUILDING B	1,409.7 m <sup>2</sup> (15,172.50 ft <sup>2</sup> )	1,409.7 m <sup>2</sup> (15,172.50 ft <sup>2</sup> )
BUILDING C	1,412.12 m <sup>2</sup> (15,200.00 ft <sup>2</sup> )	1,412.12 m <sup>2</sup> (15,200.00 ft <sup>2</sup> ) (PREVIOUS SUBMISSION)

**PARKING**

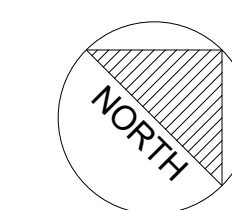
TOTAL PARKING REQUIRED FOR THE SITE (4,912 m<sup>2</sup>): 40 SPACES  
PROPOSED PARKING SPACES: 50 SPACES

**SITE INFORMATION**

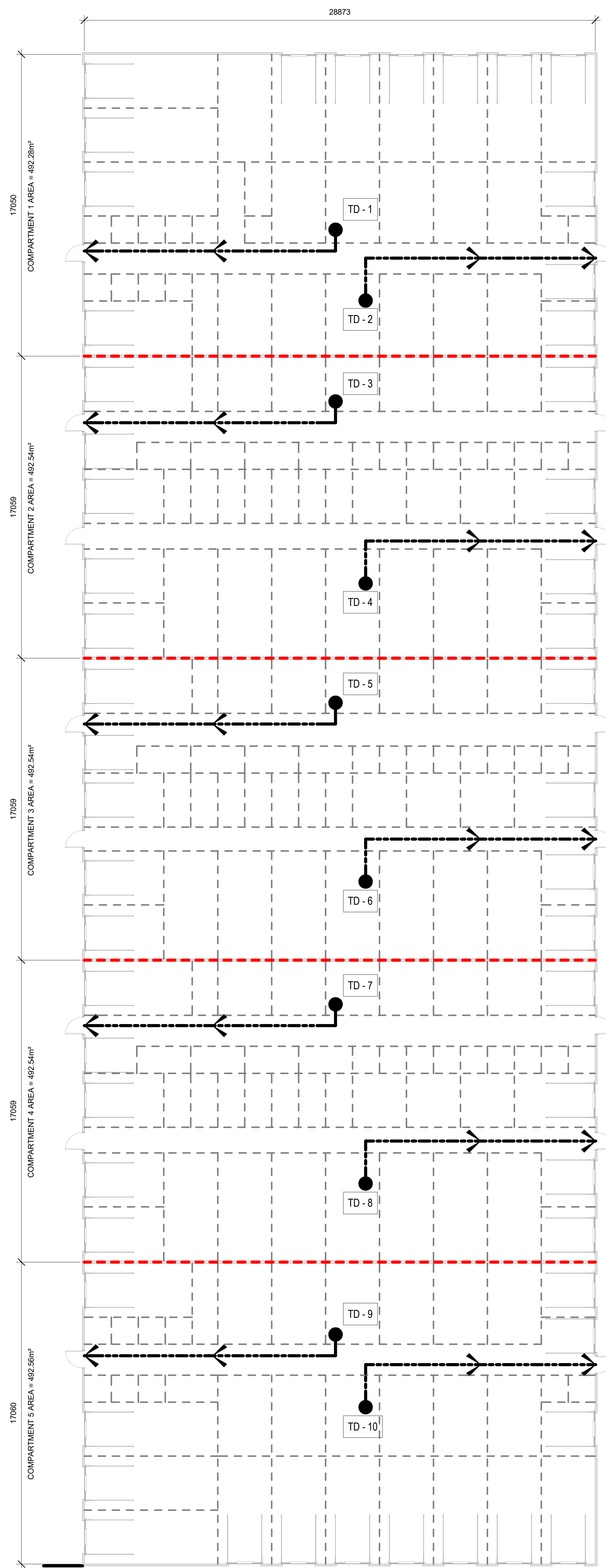
Standards	Minimum Requirement	Proposed	Compliance
Minimum lot area	1,800 m <sup>2</sup>	16,456 m <sup>2</sup>	✓
Minimum lot width	30 m	33.2 m	✓
Maximum lot coverage	50%	29.81%	✓
Minimum front yard	12 m	18.9 m	✓
Minimum side yard setback (i) Abutting a RD, RH, or RC zone	4.5 m	43.3 m	✓
Minimum rear yard setback (ii) Abutting a RD, RH, or RC zone	7.5 m	18.1 m	✓
Minimum corner side yard setback	12 m	14.8 m	✓
Maximum building height	15.0 m	4.0 m	✓
Parking Spaces	40 spaces	50 spaces	✓
Loading Spaces			✓



**SITE PLAN**  
1/200







**TRAVEL DISTANCE LEGEND - BUILDING B**

- TD-1 - 15M
- TD-2 - 15M
- TD-3 - 15M
- TD-4 - 15M
- TD-5 - 15M
- TD-6 - 15M
- TD-7 - 15M
- TD-8 - 15M
- TD-9 - 15M
- TD-10 - 15M

**LIFE SAFETY LEGEND**

- PATH OF TRAVEL
- TRAVEL DISTANCE
- FIRE SEPARATION

**1 TRAVEL DISTANCE PLAN**  
A1.1-B

<b>Firm Name: ARCHITECTURE 49 INC.</b> <b>Certificate of Practice Number:</b>		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.	
<b>Name of Project:</b> WILLOWLEA ACCESS STORAGE - BUILDING B		<b>Location:</b> STITTSVILLE, ON	
<b>Item</b>		<b>Ontario's 2012 Building Code Data Matrix Part 3 or 9</b>	
<b>1 Project Description:</b>		<b>IBC Reference</b> References are to Division unless noted (A) for Division A or (C) for Division C.	
■ New □ Addition □ Alteration □ Change of Use		<input type="checkbox"/> Part 11 <input type="checkbox"/> Part 11.4	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 1.1.2 (A) & 9.10.1.3.
<b>2 Major Occupancy(s)</b> Group F Div. 2		3.1.2.1 (1) 9.10.2	
<b>3 Building Area (m<sup>2</sup>)</b> Existing 1047.47 m <sup>2</sup> New 2462.8 m <sup>2</sup> Total 2462.8 m <sup>2</sup>		1.4.1.2 (A) 1.4.1.2 (A)	
<b>4 Gross Area</b> Existing 2462.8 m <sup>2</sup> New 2462.8 m <sup>2</sup> Total 2462.8 m <sup>2</sup>		1.4.1.2 (A) 1.4.1.2 (A)	
<b>5 Number of Storeys</b> Above Grade 1 Below Grade 0		1.4.1.2 (A) & 3.2.1.1. 1.4.1.2 (A) & 9.10.4	
<b>6 Number of Streets/Fire Fighter Access</b> 1		3.2.2.10 & 3.2.5. 9.10.20	
<b>7 Building Classification</b> Group F Div. 2		3.2.2.31 9.10.2	
<b>8 Sprinkler System Proposed</b>		3.2.2.20 - 83 9.10.8.2	
<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required		3.2.1.5. 3.2.2.17. INDEX INDEX	
<b>9 Stairways Required</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.9. N/A	
<b>10 Fire Alarm Required</b>		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.4. 9.10.18	
<b>11 Water Service/Supply is Adequate</b>		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7. N/A	
<b>12 High Building</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.6. N/A	
<b>13 Construction Restrictions</b>		<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible permitted <input checked="" type="checkbox"/> Both 3.2.2.20 - 83 9.10.6	
<b>Actual Construction</b>		<input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	
<b>14 Mezzanine(s) Area m<sup>2</sup></b>		3.2.1.1 (3)(b) 9.10.4.1	
<b>15 Occupant Load Based on</b>		<input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building 3.1.17. 9.8.1.3.	
Floor Occupancy Load persons Floor Occupancy Load persons Floor Occupancy Load persons		<input type="checkbox"/> design of building persons	
<b>16 (Additional floor areas continued below)</b>		3.8. 9.5.2	
<b>17 Hazardous Substances</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) 3.8. 9.5.2	
<b>18 Required Fire Resistance Rating (FRR)</b>		3.3.1.2 & 3.3.1.19 9.10.1.3 (4)	
Horizontal Assemblies FRR (Hours)		Listed Design No. or Description (SIC-2) 9.10.8 9.10.9	
Floors Hours Roof Hours Mezzanine Hours		FRR of Supporting Members Listed Design No. or Description (SIC-2)	
Floors Hours Roof Hours Mezzanine Hours		3.2.3. 9.10.14	
<b>19 Spatial Separation - Construction of Exterior Walls</b>		3.2.3. 9.10.14	
Wall	Area of EBF (m <sup>2</sup> ) Max/Comp	L.D. (m) Min/Comp	L.H. or H.L. Max/Comp Permitted Max % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Comb Const. Comb Nonc. Cladding Non-Comb Const.
North			
South			
East	43.1 m <sup>2</sup>	8 m	6.7 : 1 50% 48.6%
West	43.6 m <sup>2</sup>	9 m	6.7 : 1 63% 58%

1345 ROSEMOUNT AVENUE  
 CORNWALL, ONTARIO, CANADA, K6G 3E5  
 PHONE: 613 933-9904 | FAX: 613 936-0335 | WWW.ARCHITECTURE49.COM

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SEALED

SEALED



CLIENT REF. # PROJECT:

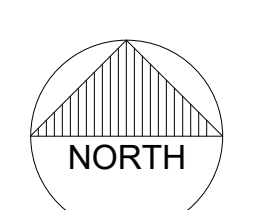
**ACCESS STORAGE WILLOWLEA**

REV. MARK

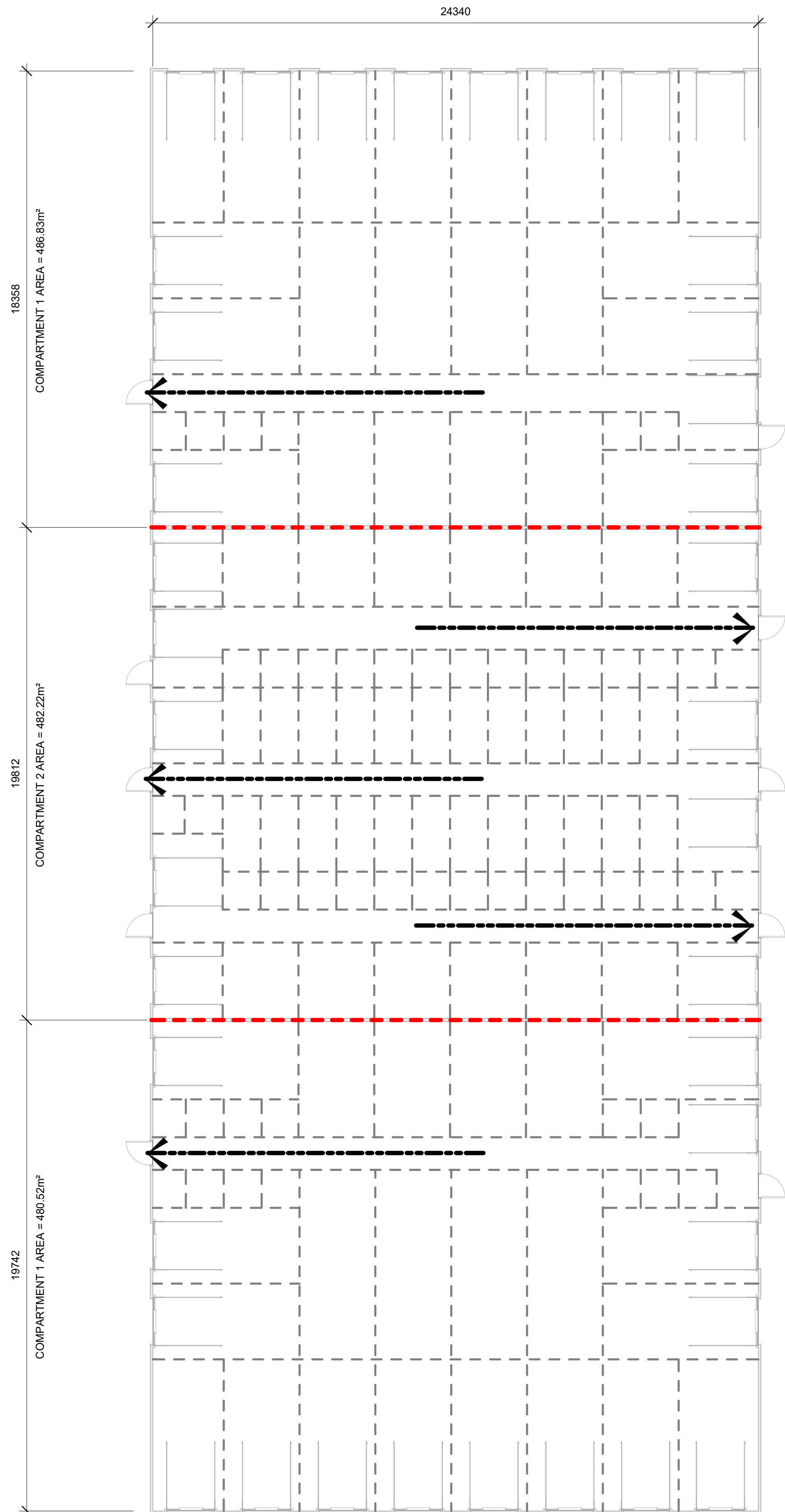
DISCLAIMER COPYRIGHT  
 THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49 INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE 49 INC. IMMEDIATELY.  
 THIS DRAWING IS NOT TO BE SCALED.

REVISED FOR REVISION

IS	RE	DATE	DESCRIPTION
		2021.12.10	ISSUED FOR SPA
PROJECT NO.	DATE		
219-0005-00	NOV 11, 2021		
ORIGINAL SCALE	AS INDICATED		
DESIGNED BY:	J.C.		
DRAWN BY:	AS		
CHECKED BY:	M.G.		
DISCIPLINE	ARCHITECTURAL		
TITLE	TRAVEL DISTANCE PLAN AND CODE MATRIX		
SHEET NUMBER	A1.1-B		
SHEET #	OF		
ISSUED FOR	SITE PLAN APPLICATION		
DATE OF			



ISSUED FOR SITE PLAN APPLICATION



**TRAVEL DISTANCE LEGEND - BUILDING C**

- TD-1 - 15 M
- TD-2 - 15 M
- TD-3 - 15 M
- TD-4 - 15 M
- TD-5 - 15 M

**LIFE SAFETY LEGEND**

- PATH OF TRAVEL
- TRAVEL DISTANCE
- 1hr FIRE SEPARATION

Firm Name: ARCHITECTURE 49 INC. Certificate of Practice Number:		Ontario's 2012 Building Code Data Matrix Part 3 or 9		OBC Reference	
		References are to Division unless noted (A) for Division A or (C) for Division C.			
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9				
2	Major Occupancy(s) Group F Div. 2 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	11.1 to 11.4		1.1.2 (A)	
3	Building Area (m <sup>2</sup> ) Existing 1040.47 m <sup>2</sup> New 1409.7 m <sup>2</sup> Total 1409.7 m <sup>2</sup>	1.4.1.2 (A)		1.1.2 (A) & 9.10.1.3	
4	Gross Area Existing 1409.7 m <sup>2</sup> New 1409.7 m <sup>2</sup> Total 1409.7 m <sup>2</sup>	1.4.1.2 (A)		1.4.1.2 (A)	
5	Number of Storeys Above Grade 1 Below Grade 0	1.4.1.2 (A) & 3.2.1.1		1.4.1.2 (A) & 9.10.4	
6	Number of Streets/Fire Fighter Access 1	3.2.2.10 & 3.2.5		9.10.20	
7	Building classification Group F Div. 2	3.2.2.7		3.2.2.31	
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-.83		3.2.2.15	
9	Standpipe Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9		N/A	
10	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4		9.10.18	
11	Water Service/Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7		N/A	
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6		N/A	
13	Construction Restrictions <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	3.2.2.20-.83		9.10.6	
14	Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	3.2.1.1 (3)-(5)		9.10.4.1	
15	Occupant Load Based on <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building	3.1.17		9.9.1.3	
16	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8		9.5.2	
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19		9.10.1.3 (4)	
18	Required Fire Resistance Rating (FRR) <input type="checkbox"/> Horizontal Assemblies <input type="checkbox"/> Vertical Assemblies	Listed Design No. or Description (SS-2)		3.2.2.20-.83 & 3.2.1.4	
19	Spatial Separation - Construction of Exterior Walls	Listed Design No. or Description (SS-2)		3.2.3	
	North				
	South				
	East				
	West	50.3 m <sup>2</sup>	9 m	7.8:1	54 %

**LOCKER LAYOUT**  
1:125

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT



CLIENT REF #

PROJECT

**ACCESS STORAGE WILLOWLEA**

KEY PLAN

DISCLAIMER

COPYRIGHT

THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE 49 INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITIES LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE 49 INC. IMMEDIATELY UPON DISCOVERY.

THIS DRAWING IS NOT TO BE SCALED.

REVISED FOR REVISION

DATE

DESCRIPTION

PROJECT NO.

DATE

DESIGNED BY

DRAWN BY

CHECKED BY

DISCIPLINE

TITLE

**TRAVEL DISTANCE PLAN AND CODE MATRIX**

SHEET NUMBER

**A1.1-C**

ISSUED FOR SITE PLAN APPLICATION

DATE OF

DATE OF

DATE OF



GENERAL NOTES

1. ALL DIMENSIONS IN MILLIMETERS UNLESS NOTED OTHERWISE.
2. SITE CONFIRM ALL EXISTING SITE CONDITIONS. VERIFY DIMENSIONS AS REQUIRED BEFORE COMMENCING WORK.
3. ALL DIMENSIONS TAKEN TO FINISHED FACE OF PARTITION, FACE OF CONCRETE BLOCK, OR TO FACE OF CAST IN PLACE CONCRETE UNLESS NOTED OTHERWISE.
4. WHERE DOOR JAMBES IN STUD PARTITIONS ARE CLOSE TO ADJACENT PERPENDICULAR WALL EDGE - OFFSET MINIMUM 150mm FROM WALLS UNLESS OTHERWISE NOTED. ALL BUILDING ASSEMBLIES TO BE READ IN CONJUNCTION WITH LIFE SAFETY PLANS A0.11 AND A0.12.

- SELF STORAGE
- A 5X5
- B 10X5
- C 10X10
- D 10X15
- E 10X20
- F 10X25
- F 10X24'9"
- G 15X5

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SEA

CLIENT

**APD**  
 ACCESS PROPERTY DEVELOPMENT  
 ACCESS GROUP OF COMPANIES  
 ACCESS PROPERTY DEVELOPMENT

PROJECT ACCESS STORAGE WILLOWLEA

KEY PLAN

DISCLAIMER COPYRIGHT  
 THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR REVIEW

IS	RE	DATE	DESCRIPTION
		2021.12.10	ISSUED FOR SPA

PROJECT NO: 219-00059-00	DATE: NOV 11, 2021
DESIGNED BY: JIC	IF THIS BAR IS NOT SHOWN, PLEASE YOUR PLOTTING SCALE.
DRAWN BY: AS	
CHECKED BY: JIC	

DISCIPLINE: ARCHITECTURAL

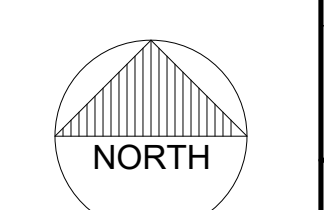
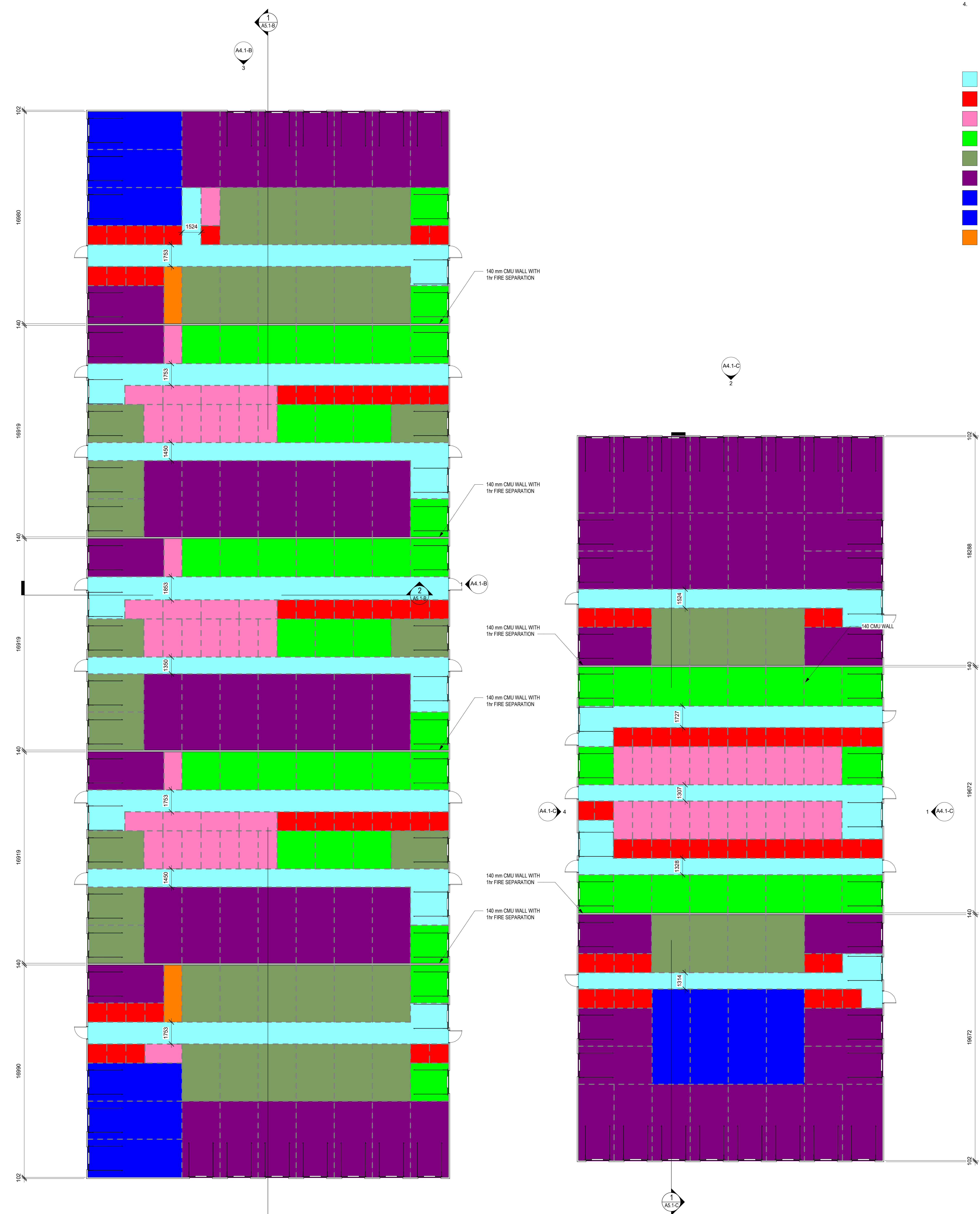
TITLE: LOCKER FLOOR PLANS

SHEET NUMBER: A2.1-B/C

ISSUED FOR SITE PLAN APPLICATION

1 GROUND FLOOR PLAN  
A2.1-B/C 1:125

H  
G  
F  
E  
D  
C  
B  
A



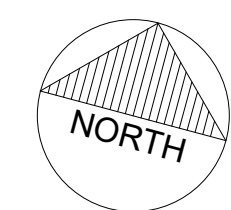
GENERAL ROOF NOTES

- DO NOT SCALE DRAWINGS AND DETAILS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK IN THE CONTRACT.
- CONTRACTOR IS RESPONSIBLE TO IDENTIFY THE LOCATION OF ELECTRICAL, MECHANICAL, CONDUITS RUNNING INSIDE, ALONG AND/OR THE UNDERSIDE OF THE STRUCTURAL DECK BEFORE ANY ROOFING COMPONENTS ARE MECHANICALLY SECURED.
- CONTRACTOR IS RESPONSIBLE TO ENSURE ALL HEALTH AND SAFETY REGULATIONS ARE FOLLOWED DURING ROOF INSTALLATION AND FALL ARREST EQUIPMENT IS INSTALLED AND UTILIZED.
- COMMENCEMENT OF ANY WORK IS ONLY TO BE STARTED WHEN CONTRACTOR HAS RECEIVED REVIEWED AND/OR REVIEWED AS NOTED ROOFING SHOP DRAWINGS FROM THE CONSULTANT. PROVIDE ENLARGED DETAILED SECTION VIEWS AT MIN. 1:10 SCALE OF ROOFING SHOP DRAWINGS, INCLUDING BUT NOT LIMITED TO: ROOF DRAINS, ROOF DOWL, ROOF EXHAUST, MECHANICAL ROOF TOP UNIT CURBS, SLEEPERS, CURBS, CURBS, PARAPETS, HISS UNIT OR EQUIPMENT SUPPORTS, GAS PIPE SUPPORT, PERIMETER PARAPETS AND/OR CURBS, VENTS, FLASHINGS, AND ANY PENETRATIONS THRU NEW ROOFING SYSTEM. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS AND DETAILS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK IN THE CONTRACT.
- COMMENCEMENT OF ANY WORK IS ONLY TO BE STARTED WHEN CONTRACTOR HAS RECEIVED REVIEWED AND/OR REVIEWED AS NOTED FROM THE CONSULTANT OF AN ENLARGED ASSEMBLY VIEW OF THE NEW ROOF SYSTEM. THIS SKETCH IS TO BE SUBMITTED IN COLOR FORMAT AND DESCRIBES ALL COMPONENTS OF THE ROOFING SYSTEM INCLUDING BUT NOT LIMITED TO: CAP SHEET MEMBRANE, BASE SHEET MEMBRANE, FIBREBOARD, SLOPED INSULATION, INSULATIONS, VAPOUR RETARDER, PRIMERS, ALL FASTENERS, ETC., DIFFERENTIATE EACH ROOFING COMPONENT IN CONTRASTING COLOR. ALSO, PROVIDE DATA CUT SHEETS OF EACH ROOFING COMPONENT TO BE LISTED AND USED.
- INSTALL ROOF ASSEMBLY IN STRICT ACCORDANCE WITH ROOFING MANUFACTURERS MOST RECENT PRINTED BEST PRACTICES, SPECIFICATIONS AND/OR DETAILS.
- REFER TO SPECIFICATIONS SECTION "MODIFIED BITUMINOUS MEMBRANE ROOFING" SYSTEM.
- PROVIDE 100 WIDE METAL CLEATS AT 300 C.C. FOR SUPPORT OF MAIN PREFINISHED CAP FLASHINGS FOR TOPS OF ALL PARAPETS AND UPSTANDS (TYP. FOR EXTERIOR SIDES OF PARAPET AND ON THE INTERIOR SIDE OF PARAPETS USE ADHESIVE RECOMMENDED BY ROOFING MANUFACTURER).
- BENEATH PREFINISHED METAL CAP FLASHINGS, EXTEND ROOFING MEMBRANES UP AND OVER CURBS AND UPSTANDS (I.E. DO NOT TERMINATE ROOFING MEMBRANES AT THE BOTTOM OF ANY PARAPETS, UPSTANDS AND/OR EQUIPMENT FLASHINGS). PROVIDE SPACE AS REQ'D BETWEEN PREFINISHED FLASHINGS AND THE FACE OF ANY EQUIPMENT CURBS TO ENSURE A WATERTIGHT SEAL.
- ROOF PLAN DRAWING AT 3 SHOWS THE APPROXIMATE NUMBER AND LOCATION OF ROOFING CONDITIONS DETAILED THAT WILL BE REQUIRED IN THE AREA OF ROOFING. DETERMINE THE EXACT NUMBER AND LOCATION OF EACH DETAIL REQUIRED ON SITE AND COORDINATE WITH I.C., ROOFER, MECH. AND ELEC'T.
- NO SPRAYFOAM INSULATION IS TO BE APPLIED AT EXPOSED ROOF PENETRATIONS AT MULTIPURPOSE ROOF DECK. NEATLY INSTALL SEALANT AND INSULATION AROUND PENETRATION READY TO RECEIVE PAINT FINISH.

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SCALE



CLIENT REF. #

PROJECT

ACCESS STORAGE WILLOWLEA

REV. MARK

DISCLAIMER COPYRIGHT  
THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.  
THIS DRAWING IS NOT TO BE SCALED.

REVISED FOR: REVISION

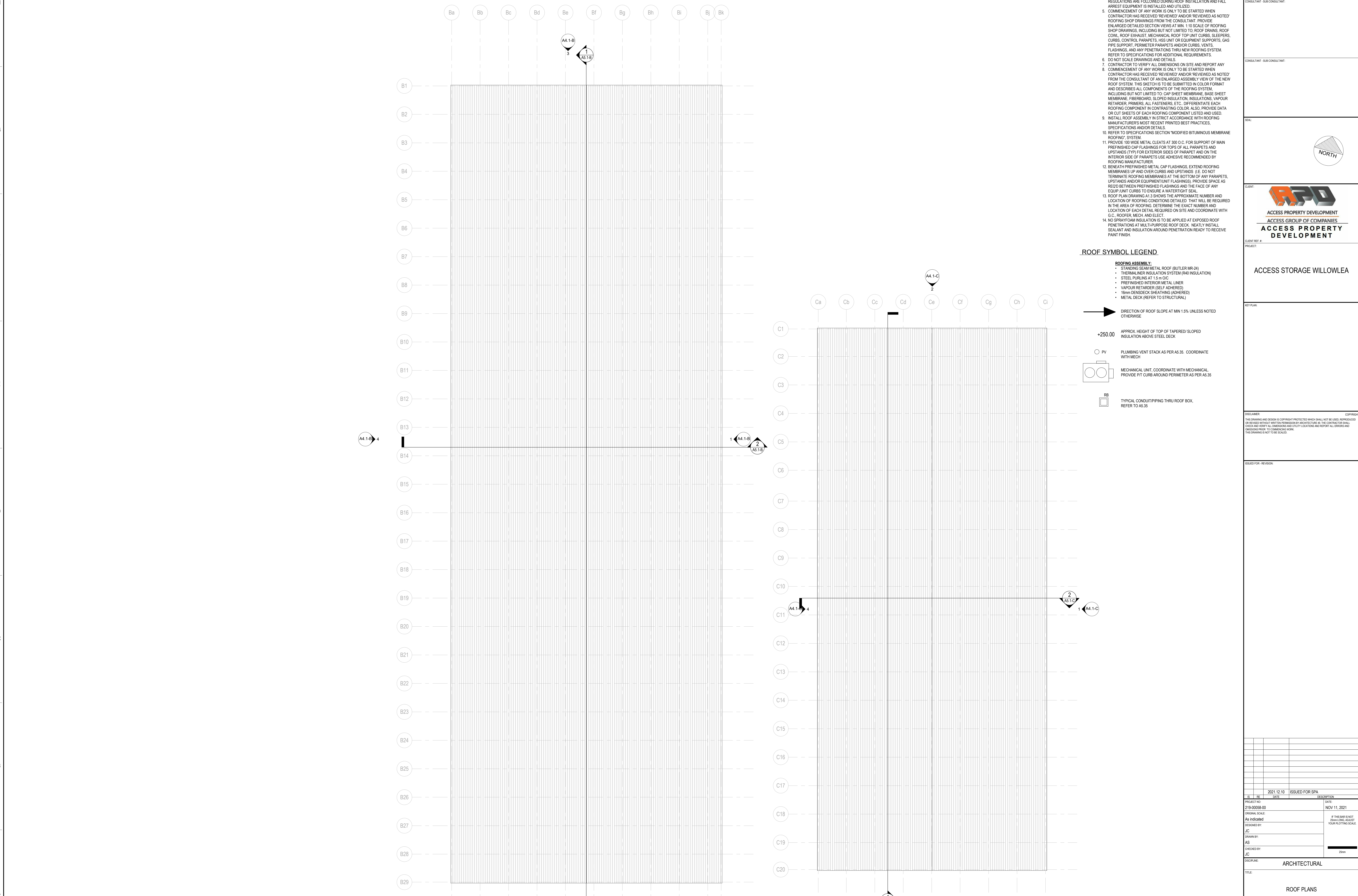
2021.12.10 ISSUED FOR S/P

IS	RE	DATE	DESCRIPTION
		2021.12.10	ISSUED FOR S/P

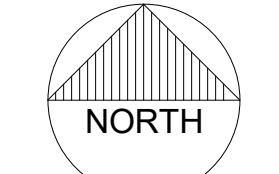
PROJECT NO:	219-00058-00	DATE:	NOV 11, 2021
ORIGIN. SCALE:	As indicated	IF THIS BAR IS NOT SHOWN, ADJUST YOUR PLOTTING SCALE.	
DESIGNED BY:	J.C.	DRAWN BY:	AS
CHECKED BY:	J.C.	DATE:	
DISCIPLINE: ARCHITECTURAL			
TITLE: ROOF PLANS			
SHEET NUMBER: A2.2-B/C			
ISSUED FOR SITE PLAN APPLICATION			

ROOF SYMBOL LEGEND

- ROOFING ASSEMBLY:**
- STANDING SEAM METAL ROOF (BUTLER MR-24)
  - THERMALBARRIER INSULATION SYSTEM (R40 INSULATION)
  - STEEL PURLINS AT 1.5m O.C.
  - PREFINISHED INTERIOR METAL LINER
  - VAPOUR RETARDER (SELF ADHERED)
  - 16mm DENSDECK SHEATHING (ADHERED)
  - METAL DECK (REFER TO STRUCTURAL)
- ➔ DIRECTION OF ROOF SLOPE AT MIN 1.5% UNLESS NOTED OTHERWISE
- ➔ +250.00 APPROX. HEIGHT OF TOP OF TAPERED SLOPED INSULATION ABOVE STEEL DECK
- PV PLUMBING VENT STACK AS PER AS.35. COORDINATE WITH MECH.
- ⊗ MECHANICAL UNIT, COORDINATE WITH MECHANICAL. PROVIDE FT CURB AROUND PERIMETER AS PER AS.35.
- ⊞ TYPICAL CONDUIT/PIPPING THRU ROOF BOX. REFER TO AS.35.



1 T/O ROOF PEAK  
2 2.8/9 1:125





CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT



CLIENT REF. #

PROJECT

ACCESS STORAGE WILLOWLEA

KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE 49 IMMEDIATELY UPON DISCOVERY. THE DRAWING IS NOT TO BE SCALED.

REVISIONS FOR REVISION

NO.	DATE	DESCRIPTION
1	2021.12.10	ISSUED FOR SPA

PROJECT NO:	219-00059-00	DATE:	NOV 11, 2021
ORIGINAL SCALE:	1:100	IF THIS BAR IS NOT	YOUR PLOTTING SCALE
DESIGNED BY:	JIC	DRAWN BY:	AS
CHECKED BY:	JIC	DATE:	2021
DISCIPLINE: ARCHITECTURAL			
TITLE: EXTERIOR ELEVATIONS			
SHEET NUMBER: A4.1-B			
ISSUED FOR SITE PLAN APPLICATION			

T/O ROOF PEAK 3756  
 T/O WALL 2540  
 T/O MAIN SLAB 0

1 EXTERIOR ELEVATION - EAST - BUILDING B  
 1/4" = 1'-0"

2 AS 1/8"

1 AS 1/8"

2 EXTERIOR ELEVATION - SOUTH - BUILDING B  
 1/4" = 1'-0"

1 AS 1/8"

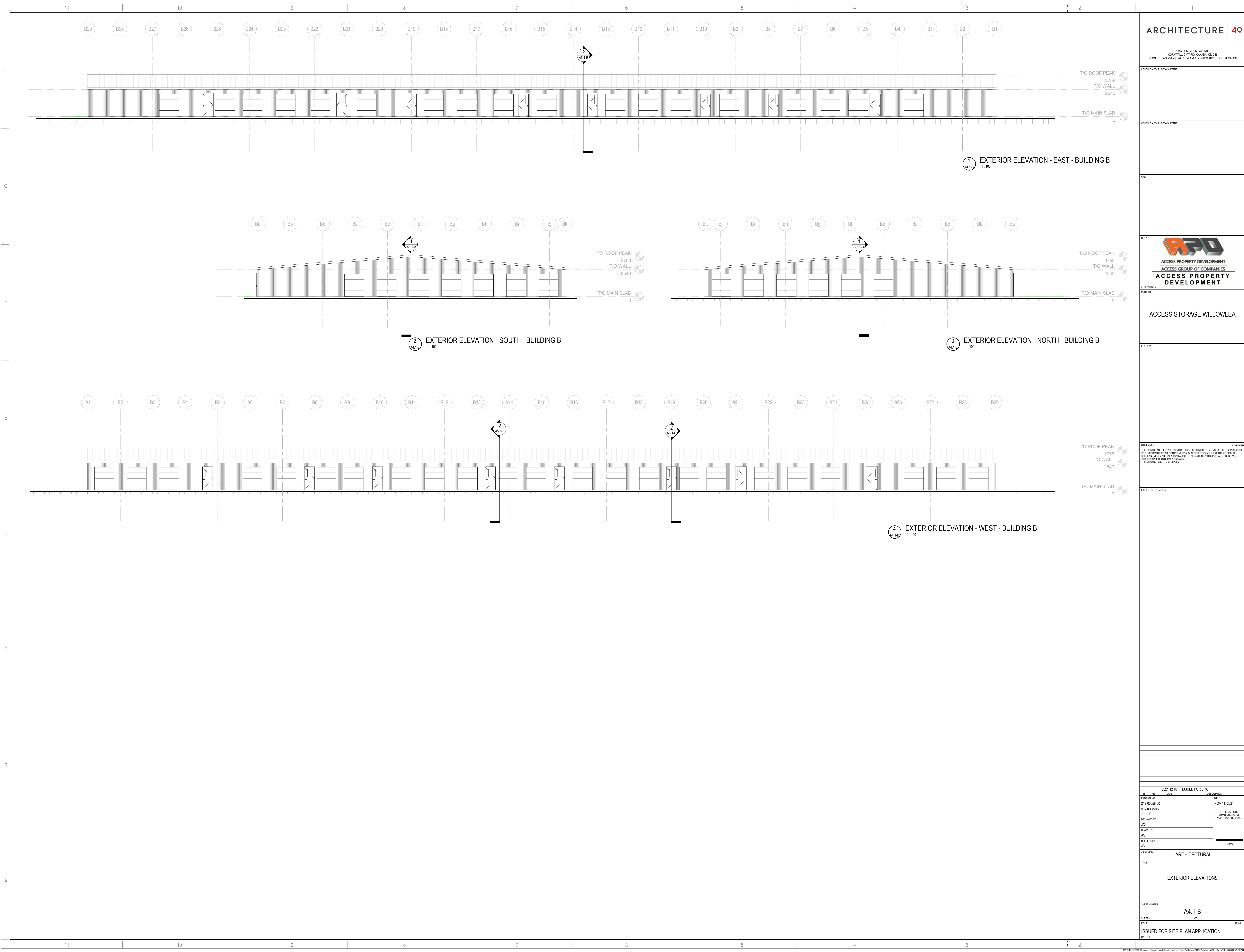
3 EXTERIOR ELEVATION - NORTH - BUILDING B  
 1/4" = 1'-0"

2 AS 1/8"

2 AS 1/8"

T/O ROOF PEAK 3756  
 T/O WALL 2540  
 T/O MAIN SLAB 0

4 EXTERIOR ELEVATION - WEST - BUILDING B  
 1/4" = 1'-0"



CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SKA



CLIENT REF #

PROJECT

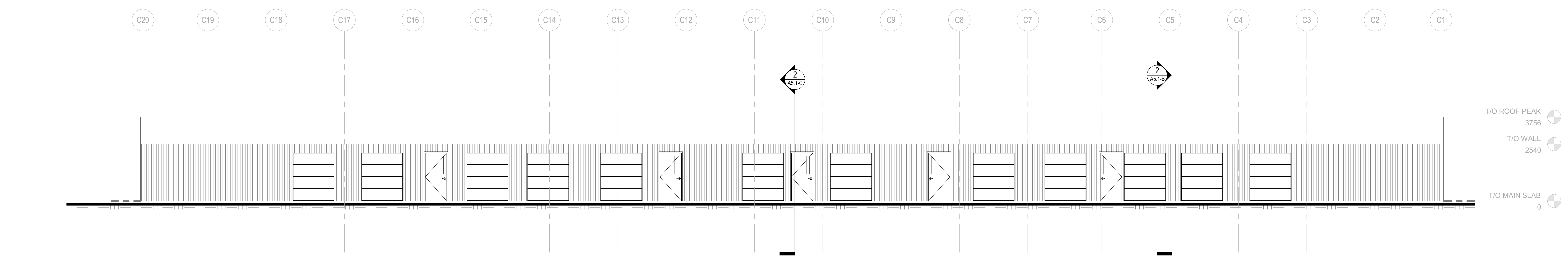
ACCESS STORAGE WILLOWLEA

REV MARK

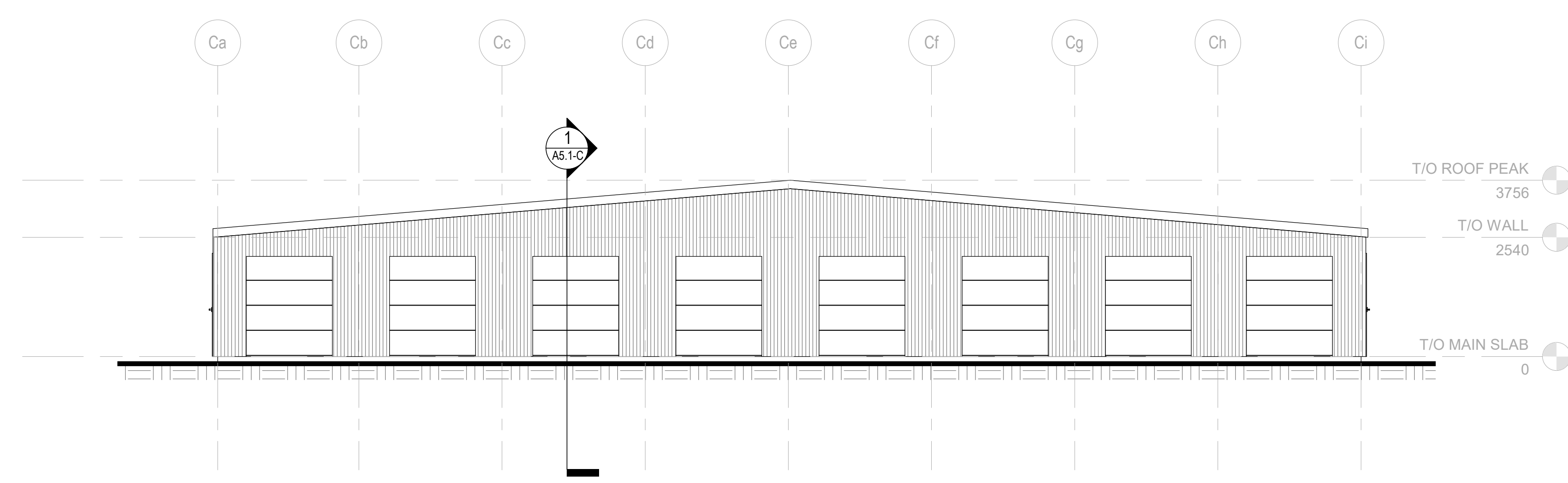
DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR EXCEED WITHOUT PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO THE ARCHITECTURE 49. THIS DRAWING IS NOT TO BE SCALED.

NEEDS FOR REVISION

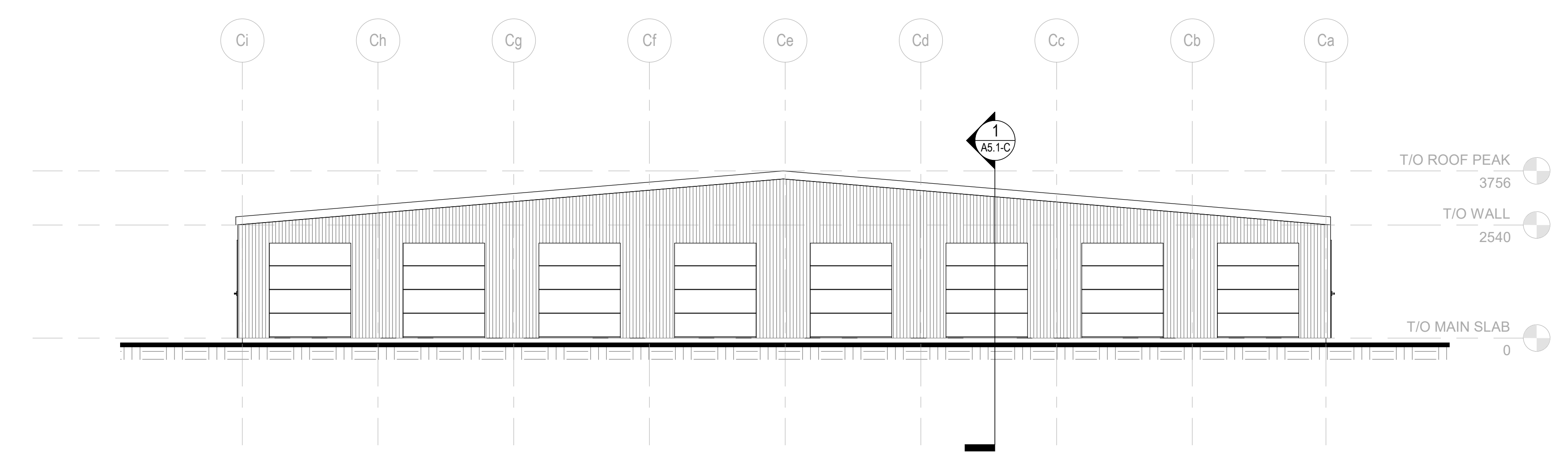
2021.12.10	ISSUED FOR SPA	
PROJECT NO:	219-00059-00	DATE: NOV 11, 2021
ORIGINAL SCALE:	1:75	IF THIS BAR IS NOT SHOWN, PLEASE YOUR PLOTTING SCALE.
DESIGNED BY:	JC	
DRAWN BY:	AS	
CHECKED BY:	JC	
DISCIPLINE:	ARCHITECTURAL	
TITLE:	EXTERIOR ELEVATIONS	
SHEET NUMBER:	A4.1-C	
ISSUED FOR:	ISSUED FOR SITE PLAN APPLICATION	



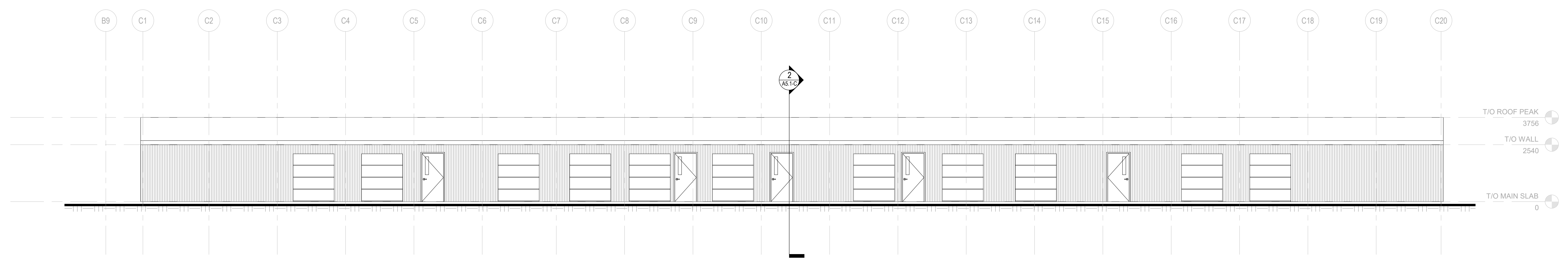
1 EXTERIOR ELEVATION - EAST - BUILDING C  
 A4.1-C 1:75



3 EXTERIOR ELEVATION - SOUTH - BUILDING C  
 A4.1-C 1:75



2 EXTERIOR ELEVATION - NORTH - BUILDING C  
 A4.1-C 1:75



4 EXTERIOR ELEVATION - WEST - BUILDING C  
 A4.1-C 1:75

11 10 9 8 7 6 5 4 3 2 1

H G F E D C B A

H G F E D C B A

11 10 9 8 7 6 5 4 3 2 1

11 10 9 8 7 6 5 4 3 2 1



CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SEA

CLIENT



ACCESS PROPERTY DEVELOPMENT

ACCESS GROUP OF COMPANIES

ACCESS PROPERTY DEVELOPMENT

CLIENT REF. #

PROJECT

ACCESS STORAGE WILLOWLEA

KEY PLAN

DISCLAIMER COPYRIGHT  
 THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR MISSED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO THE ARCHITECTURE 49. THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR REVIEW

2021.12.10 ISSUED FOR SPA

PROJECT NO. 219-00059-00 DATE NOV 11, 2021

ORIGINAL SCALE 1:100 IF THIS BAR IS NOT SHOWN, PLEASE YOUR PLOTTING SCALE.

DESIGNED BY: JIC

DRAWN BY: AS

CHECKED BY: JIC

DISCIPLINE ARCHITECTURAL

TITLE BUILDING SECTIONS

SHEET NUMBER A5.1-B

ISSUED FOR SITE PLAN APPLICATION

DATE OF

REV. #

DATE OF

DATE OF

DATE OF

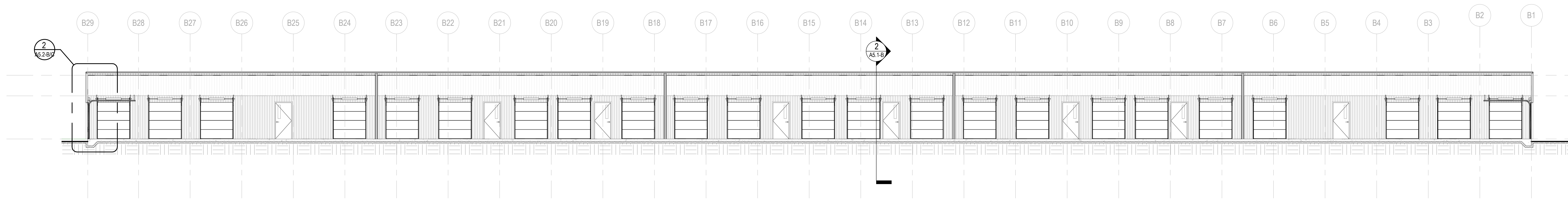
DATE OF

DATE OF

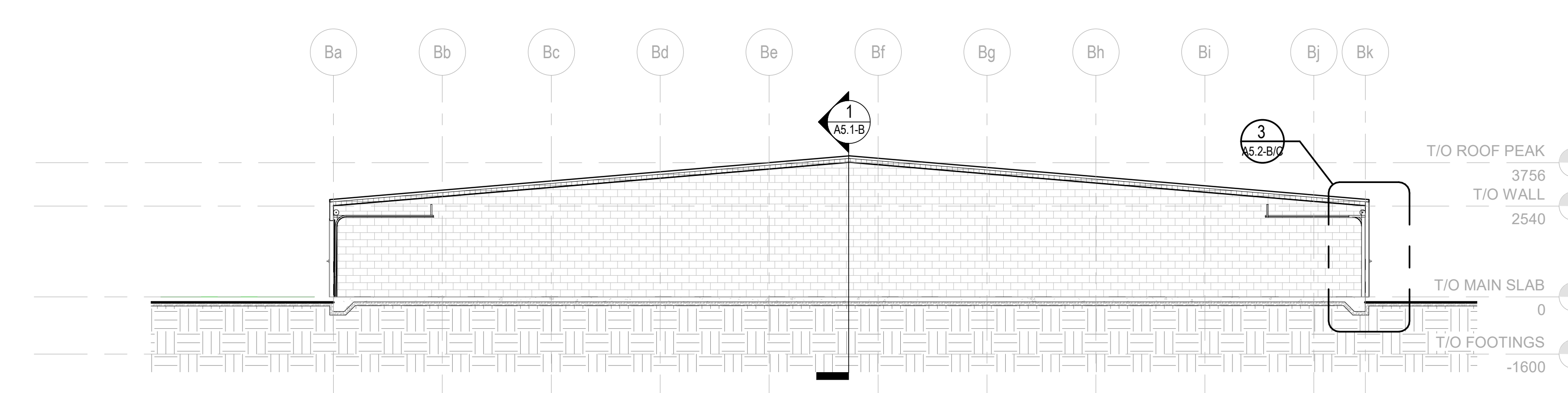
DATE OF

DATE OF

DATE OF



1 BUILDING SECTION  
 AS.1-B 1:100



2 BUILDING SECTION  
 AS.1-B 1:100



CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT



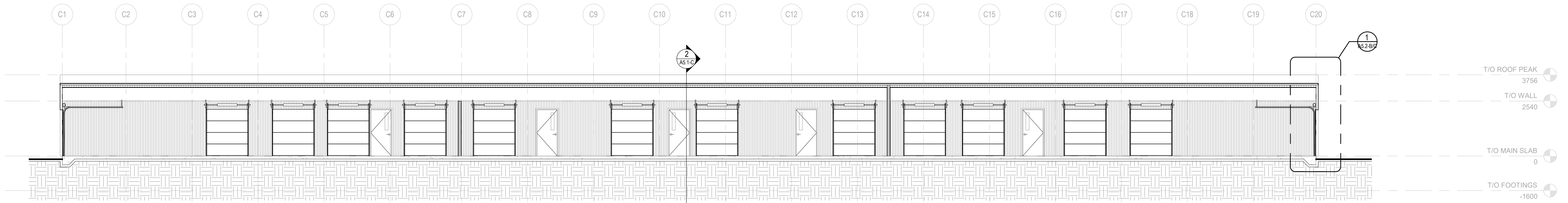
CLIENT REF. #  
 PROJECT  
**ACCESS STORAGE WILLOWLEA**

KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR REPRODUCED WITHOUT PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO CONSULTANT ASAP. THIS DRAWING IS NOT TO BE SCALED.

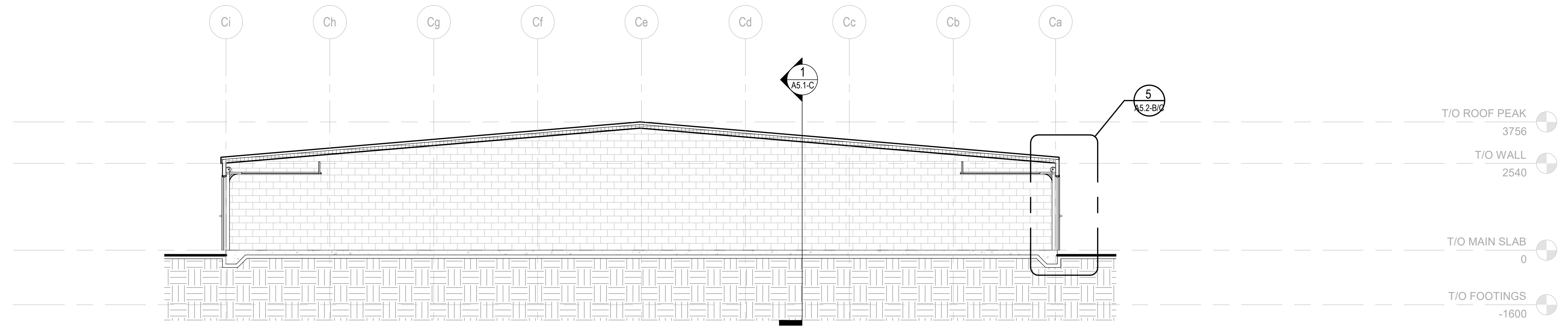
ISSUED FOR REVIEW

REV	DATE	DESCRIPTION
1	2021.12.10	ISSUED FOR SPA
PROJECT NO: 219-00059-00 ORIGINAL SCALE: 1:75 DESIGNED BY: JIC DRAWN BY: AS CHECKED BY: JIC DISCIPLINE: ARCHITECTURAL TITLE: BUILDING SECTIONS SHEET NUMBER: A5.1-C SHEET: OF ISSUED FOR SITE PLAN APPLICATION DATE OF:		



T/O ROOF PEAK 3756  
 T/O WALL 2540  
 T/O MAIN SLAB 0  
 T/O FOOTINGS -1600

**1 BUILDING SECTION**  
 1:75



T/O ROOF PEAK 3756  
 T/O WALL 2540  
 T/O MAIN SLAB 0  
 T/O FOOTINGS -1600

**2 BUILDING SECTION**  
 1:75



CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT

SKA



CLIENT REF. #

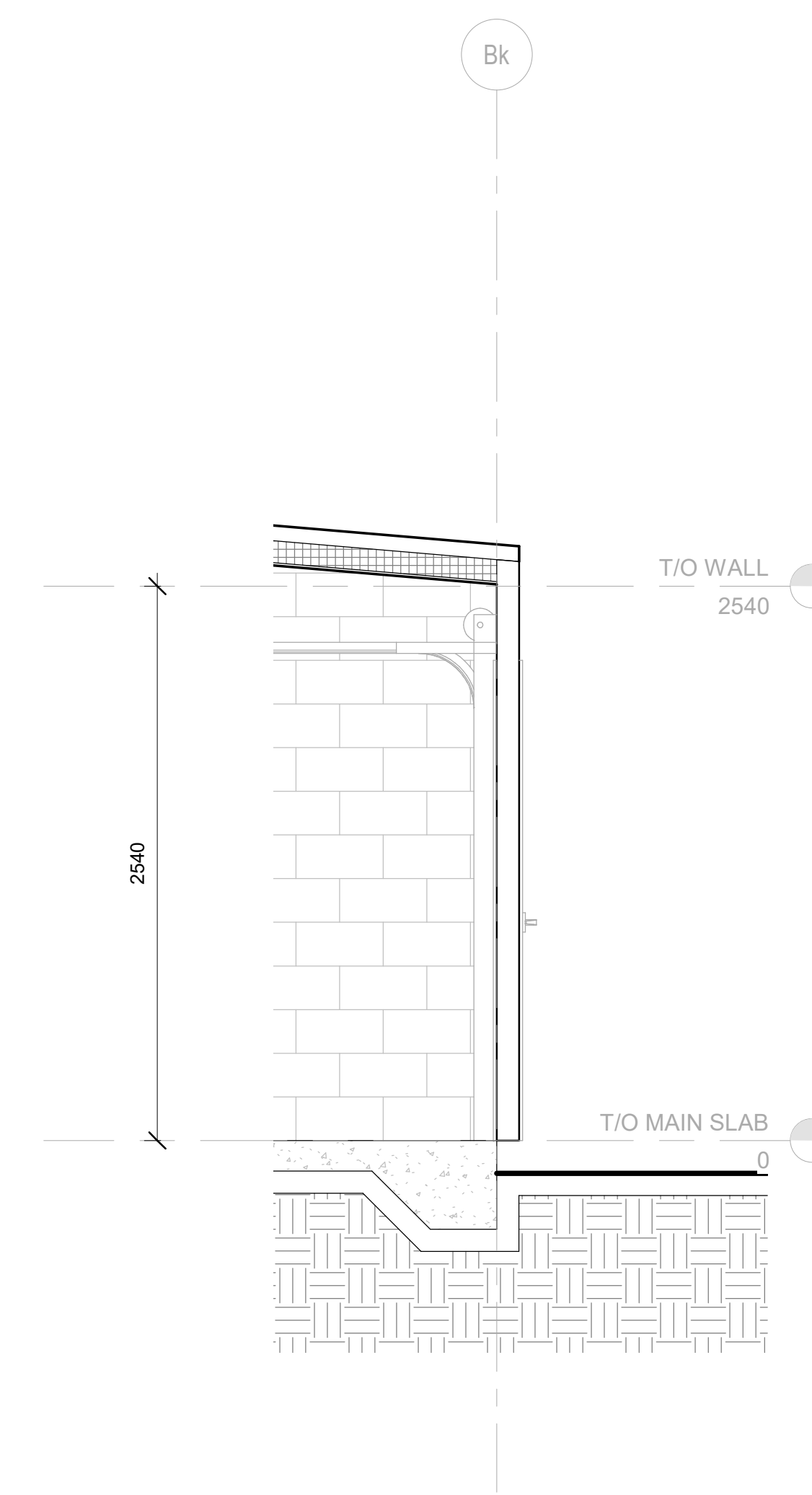
PROJECT

ACCESS STORAGE WILLOWLEA

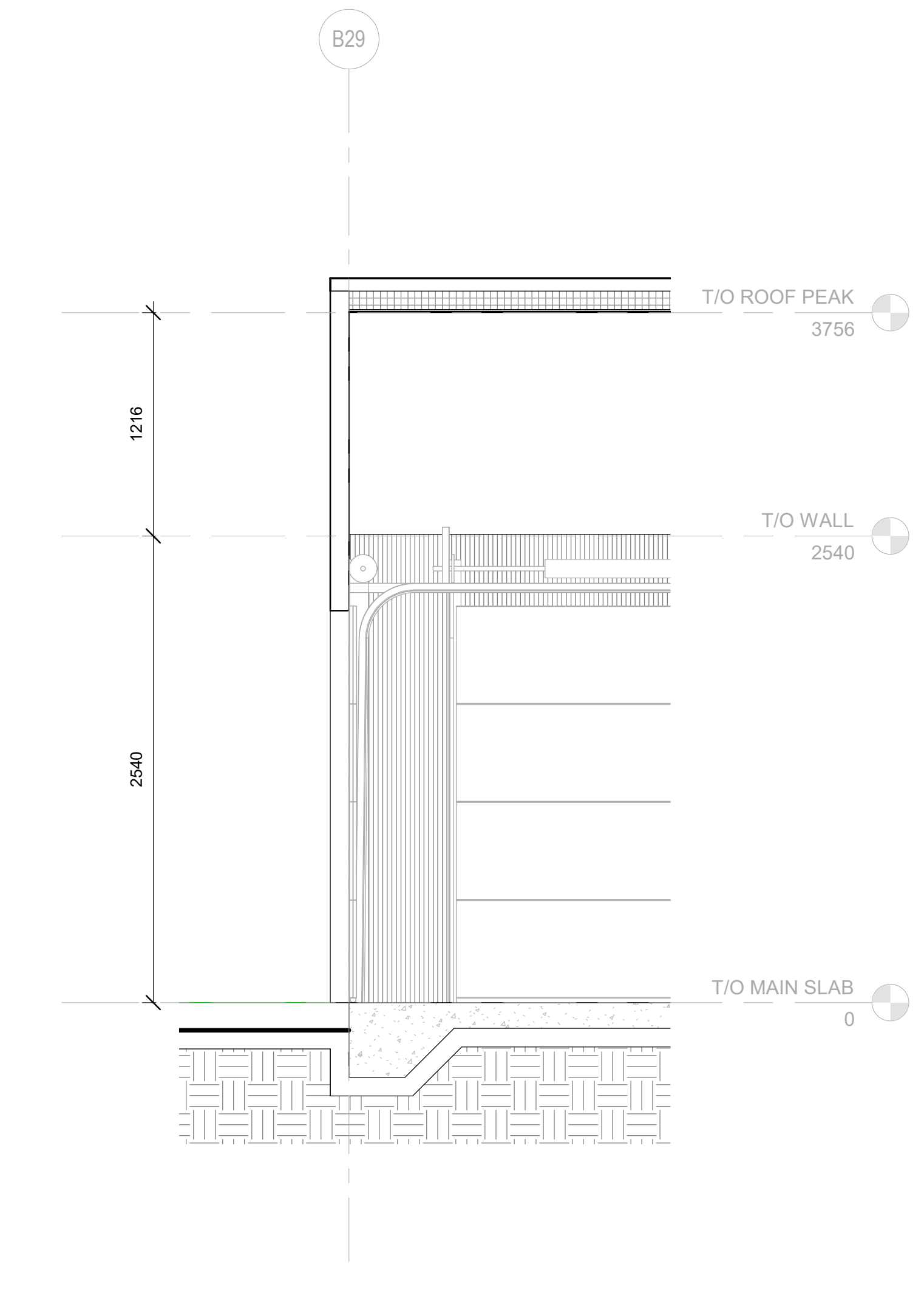
KEY PLAN

DISCLAIMER COPYRIGHT  
 THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR MISSED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO COMMERCIAL WORK. THIS DRAWING IS NOT TO BE SCALED.

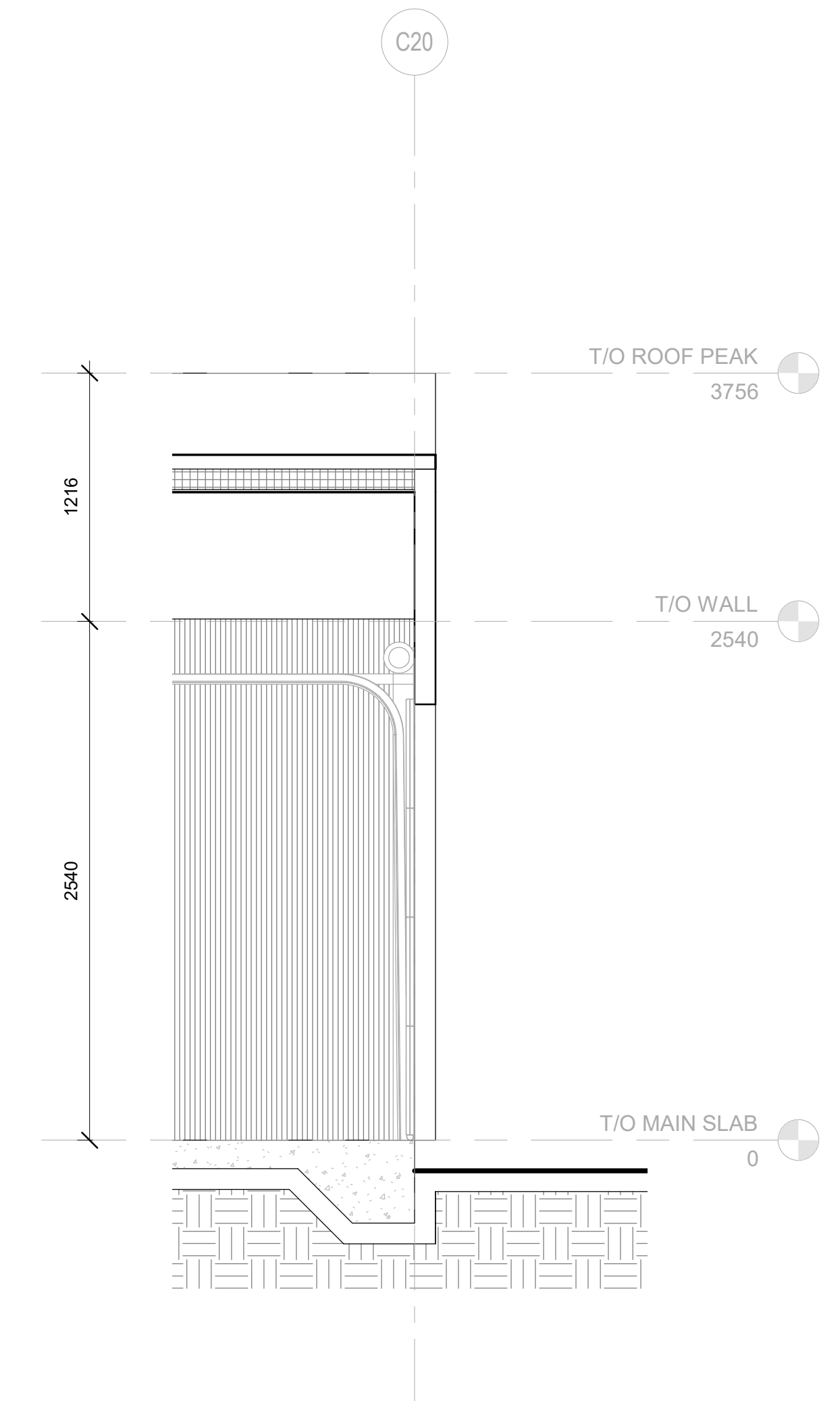
ISSUED FOR REVIEW



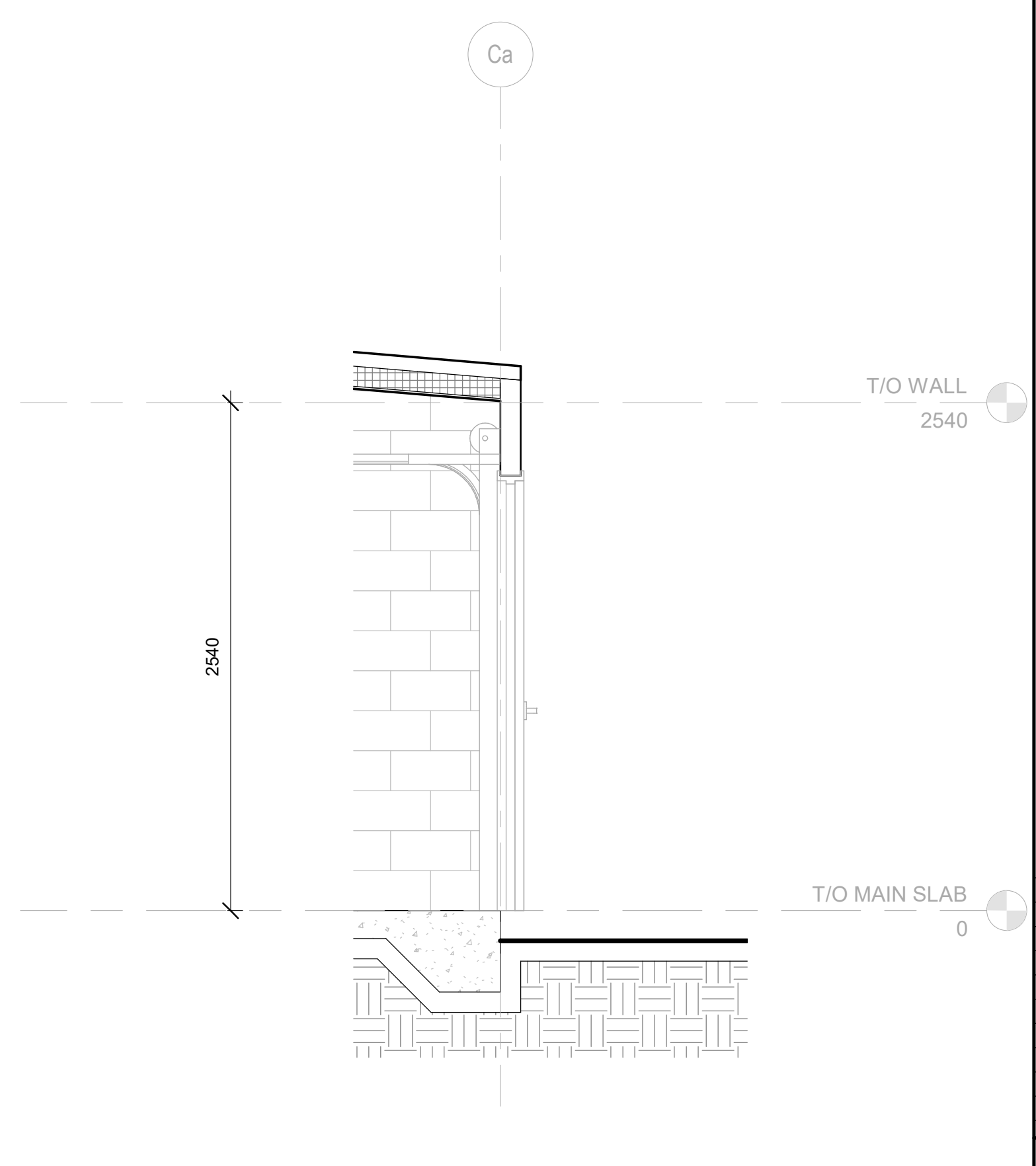
3 B - WALL SECTION  
 1:25



2 B - WALL SECTION  
 1:25



1 C - WALL SECTION  
 1:25



5 C - WALL SECTION  
 1:25

IS	RE	DATE	DESCRIPTION
		2021.12.10	ISSUED FOR SPA
PROJECT NO:		DATE	
219-00059-00		NOV 11, 2021	
ORIGINAL SCALE:		IF THIS BAR IS NOT	
1:25		DRAWN, PLEASE	
DESIGNED BY:		YOUR PLOTTING SCALE.	
DRAWN BY:			
AUP/OF			
CHECKED BY:			
CHECKER:			
DISCIPLINE			
ARCHITECTURAL			
TITLE			
WALL SECTIONS			
SHEET NUMBER			
A5.2-B/C			
ISSUED FOR SITE PLAN APPLICATION			
DATE OF			