

# 476 WILBROD APARTMENTS

SITE PLAN APPROVAL

## WILBROD APARTMENTS DESIGN BRIEF PACKAGE



IE FR S E S RNER

## WILBROD APARTMENTS SITE PLAN APPROVAL COVER PAGE

SCALE:  
MARCH 25TH, 2022

11x17 SHEET SIZE



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**DB-00**

DESIGN NARRATIVE

Taking guidance from the existing structure, ARCA-VERDE's intention for the design of the "Wilbrod Apartments - Renovation and Addition" is to respect the characteristics of the existing structure nearest to Wilbrod Street. The stone, yellow brick, and cedar shakes dictate the design decisions impacting the rear yard addition. The roof lines are intended to align with the existing and the façade locations adhere to the Heritage setbacks ensuring the original structure presents as the primary structure on the site.

Attempting to ensure what is built is better for the neighbourhood than what was first found, the design harmonizes with the neighbourhood, site and existing structure. A secondary achievement is the transformation of the rooming house to a 20 unit (1-bedroom) rental apartments.

In regards to our approach towards the heritage value, ARCA-VERDE made every attempt to respect the value of the site and existing structure while providing the additional rental units needed to make the project viable for the client. Additionally, we arranged elements on site to maximize the opportunities afforded by the boundaries, vegetation, and neighbouring structures.

Finally, we addressed the site planning requirements by ensuring the parking, the garbage enclosure, bike parking, vegetation, allocation of amenity space, provision of landscape area are not only in keeping with the City of Ottawa requirements but are arranged to enrich the lives of the building inhabitants and the neighbours of the site as well.

**WILBROD APARTMENTS****DESIGN BRIEF**

R I N E S      R    DESIGN NARRATIVE

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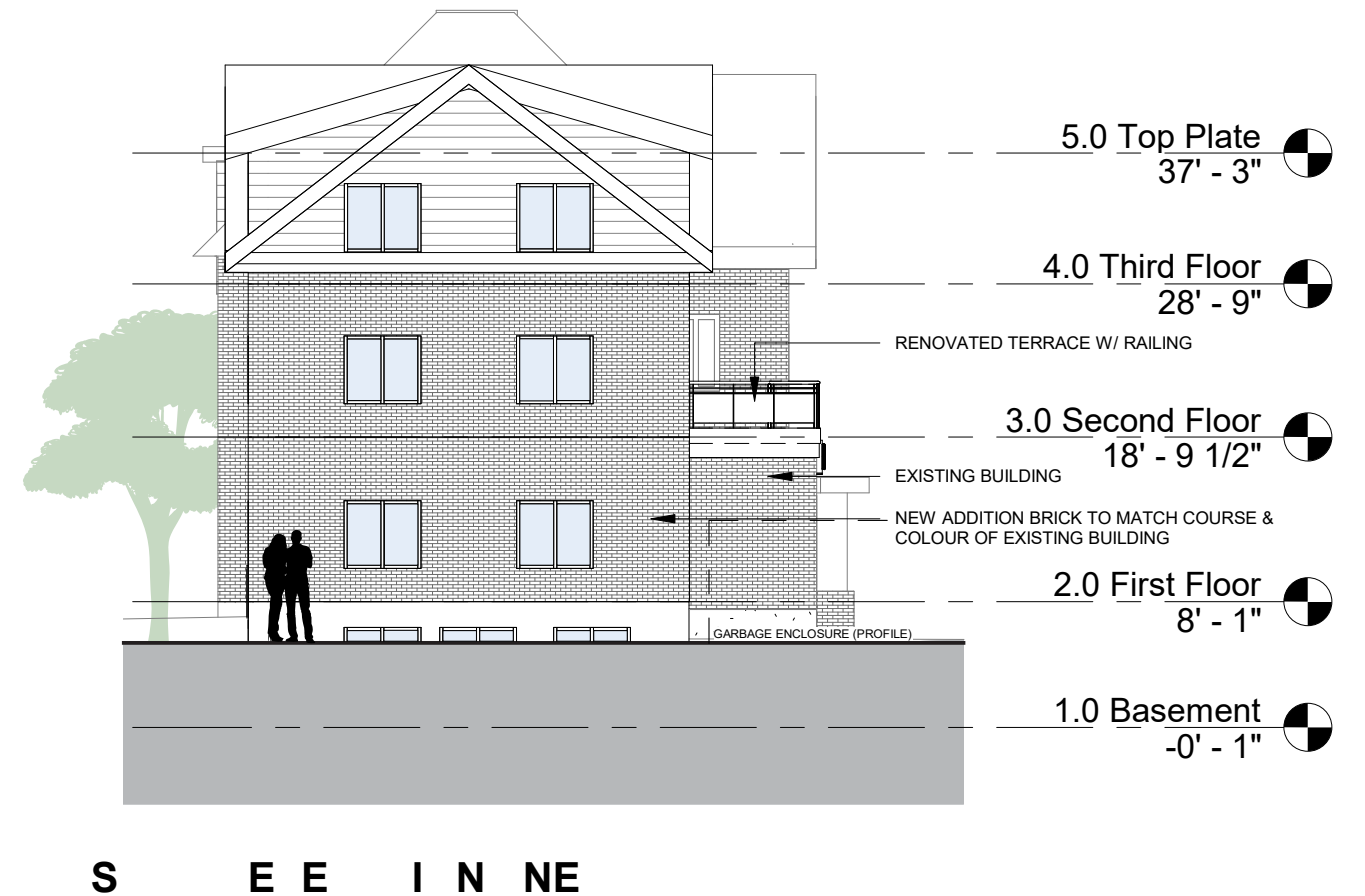
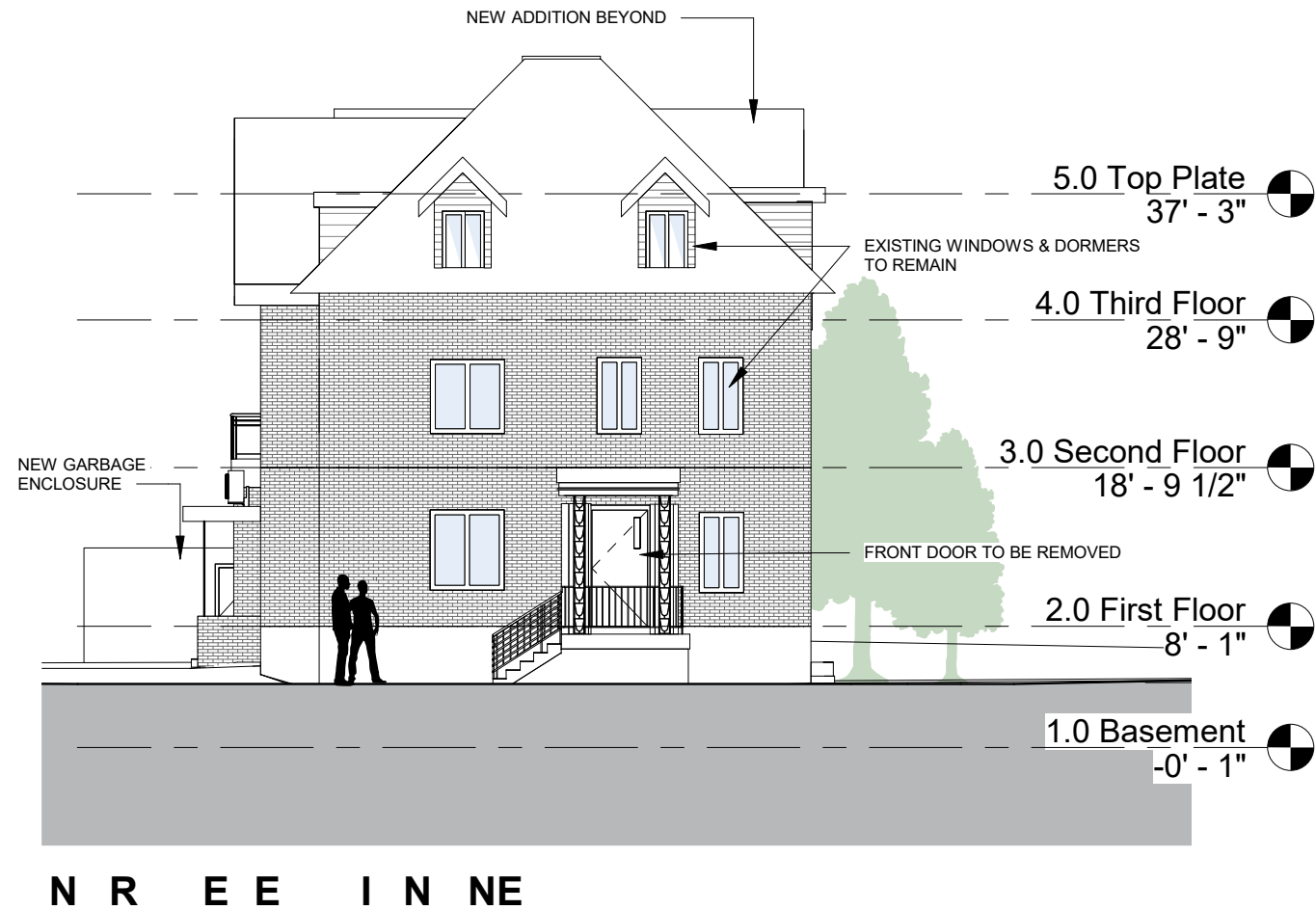


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**DB-**





EXISTING BUILDING HEIGHT: 12.0m  
 NEW ADDITION HEIGHT: 12.0m

# WILBROD APARTMENTS

## SITE PLAN APPROVAL

### ELEVATION - NORTH & SOUTH

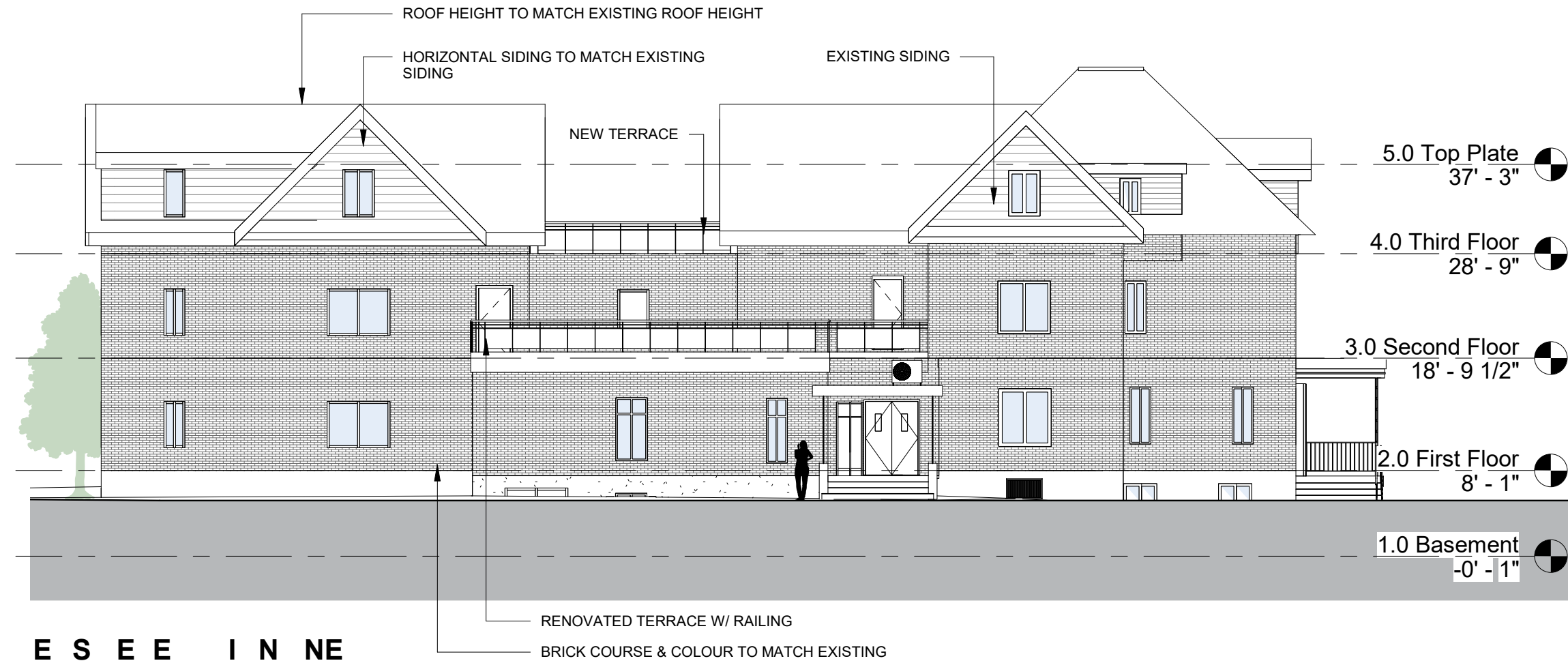
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**DB-03**



EXISTING BUILDING HEIGHT: 12.0m  
 NEW ADDITION HEIGHT: 12.0m

# WILBROD APARTMENTS

## SITE PLAN APPROVAL

### ELEVATION - EAST

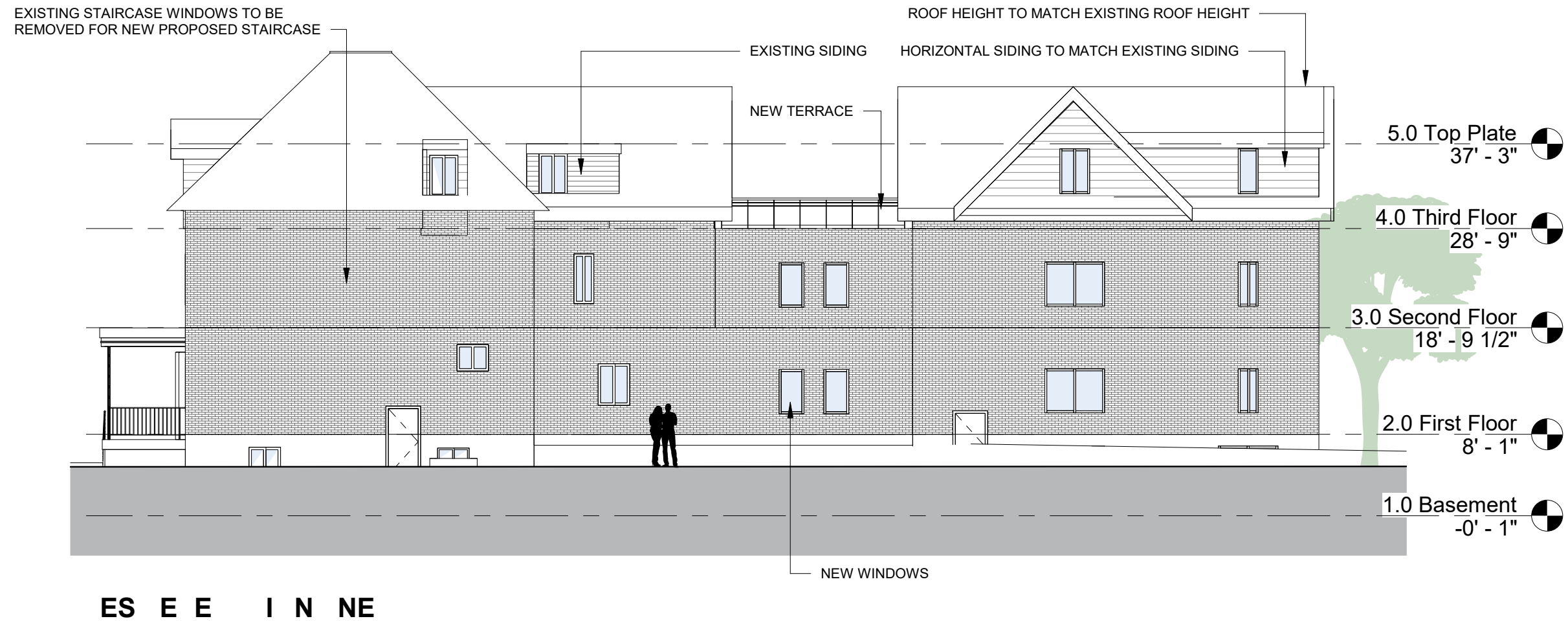
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EXISTING BUILDING HEIGHT: 12.0m  
 NEW ADDITION HEIGHT: 12.0m

# WILBROD APARTMENTS

## SITE PLAN APPROVAL

### ELEVATION - WEST

SCALE: 1 : 150  
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**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**ENGINEERING RENDERINGS**

SCALE:  
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**DB-06**



**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**NE RENDERINGS**

SCALE:  
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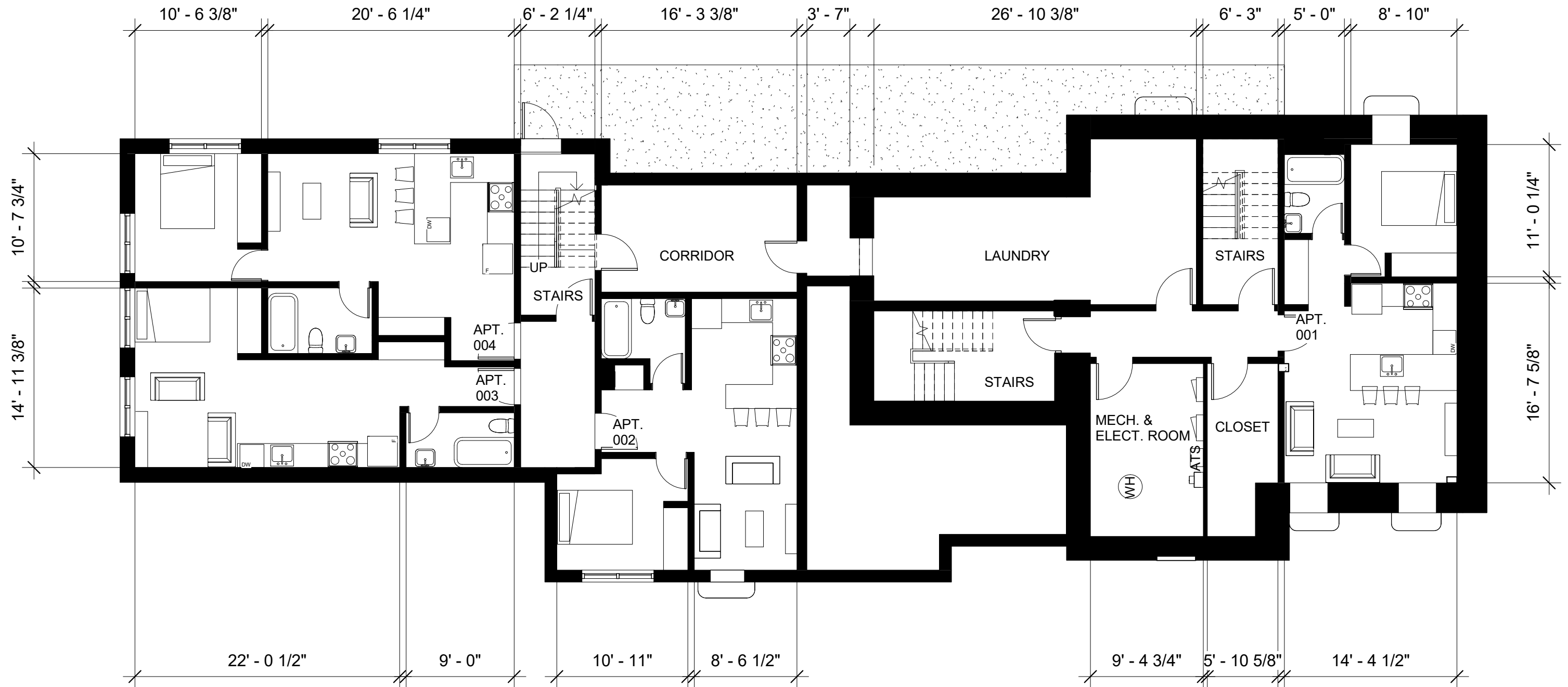
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**DB-07**





**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**BASEMENT PLAN**

SCALE: 1 : 100

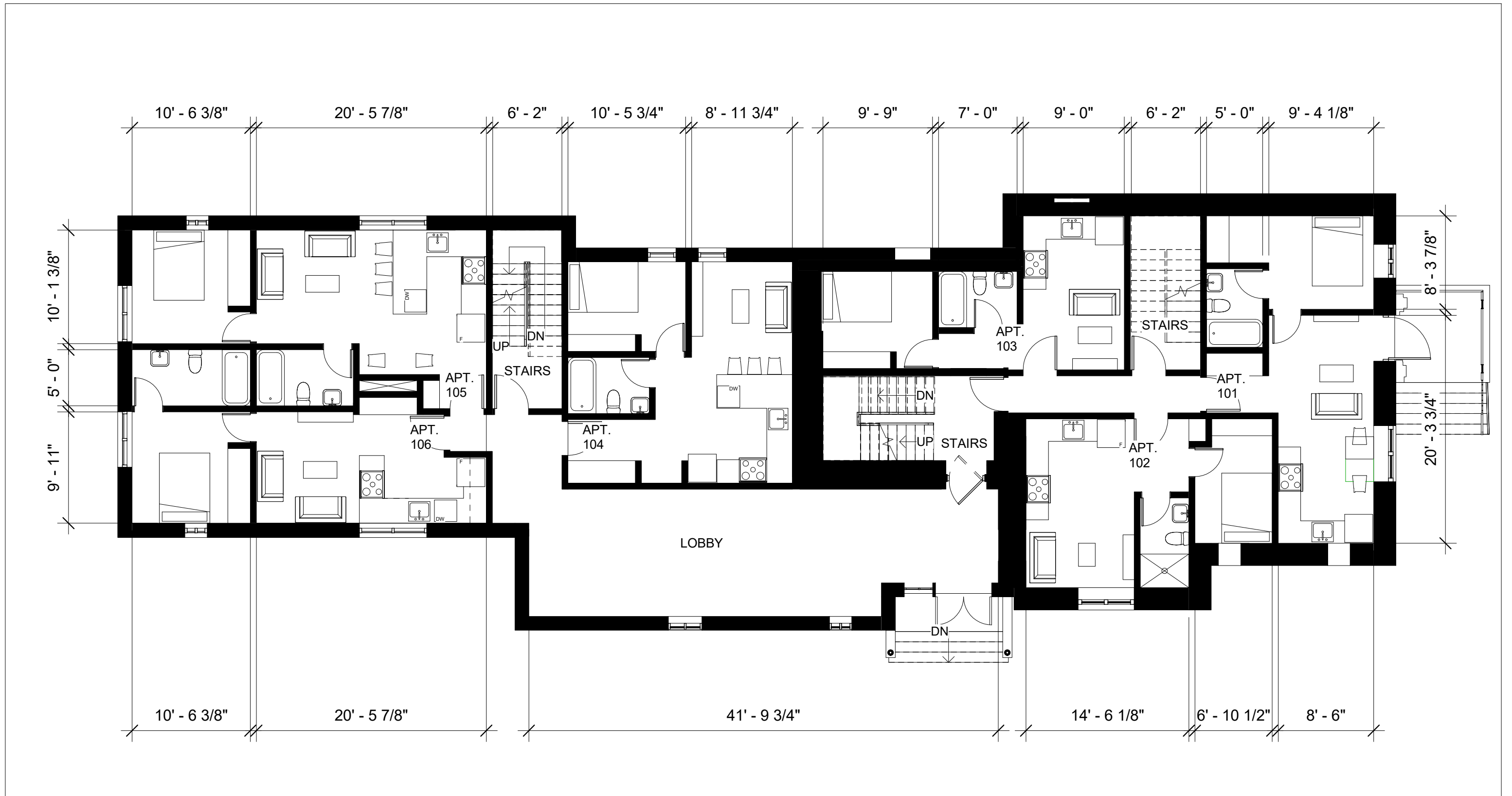
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**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**GROUND FLOOR PLAN**

SCALE: 1 : 100

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**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**SECOND FLOOR PLAN**

SCALE: 1 : 100

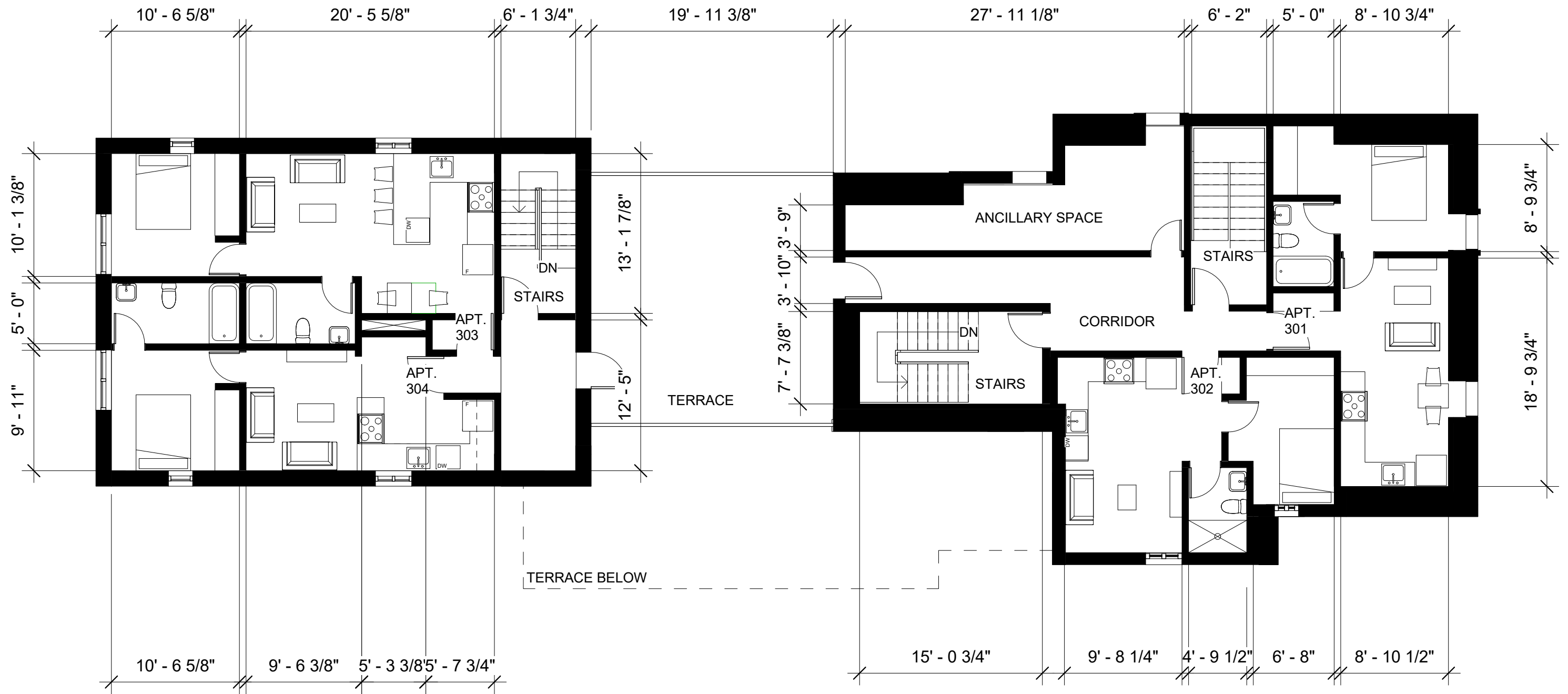
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**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**THIRD FLOOR PLAN**

SCALE: 1 : 100

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**DB-11**

ACCORDANCE WITH CITY'S OFFICIAL PLAN - 5.2.1

AS PER SENTENCE 7: A SITE PLAN CONTROL APPLICATION WILL BE SUBMITTED ALONG WITH THIS PROJECT WHICH INCLUDES ALL THE REQUIRED INFORMATION AND DRAWINGS HIGHLIGHTED BY THE CITY IN THE PRE-APPLICATION CONSULTATION MEETING.

AS PER CLAUSE 11, SENTENCE (C): THE 476 WILBROD PROJECT RELATES TO AN EXISTING BUILDING WHERE THE HERITAGE QUALITY OF THE BUILDING IS PRESERVED AND REVITALIZED WITH CHANGES TO THE INTERIOR, ALONG WITH AN ADDITION WITHIN THE REAR YARD.

AS PER CLAUSE 11, SENTENCE (D): THE CONSERVATION/ REPLACEMENT OF RENTAL HOUSING. THIS PROJECT CONVERTS THE EXISTING ROOMING HOUSE WITH 10 UNITS INTO AN APARTMENT COMPLEX WITH 20 UNITS. INCREASING THE DENSITY WITHIN THE AREA.

AS PER CLAUSE 11, SENTENCE (K): CONSERVATION OF GREENSPACES AND CREATING NEW GREENSPACE. NEW GREENSPACE HAS BEEN CREATED WITHIN THE SITE OF THIS PROJECT.

**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**DESIGN ACCORDANCE (CITY OFFICIAL PLAN)**

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**DB-12**

SUSTAINABLE DESIGN WITHIN 476 WILBROD

SUSTAINABLE DESIGN WITHIN THE WILBROD APARTMENTS FOCUS PRIMARILY ON THE PRESERVATION AND REVITALIZATION OF THE EXISTING STRUCTURE. THE INTENTION IS TO ACHIEVE THE DESIGN OBJECTIVE WITH AN ADDITION/ RENOVATION INSTEAD OF A FULL DEMOLITION.

THE EXISTING STRUCTURE PROVIDE ROUGHLY 66% OF THE TOTAL AREA.

THE ENVIRONMENTAL IMPACT OF THE CONSTRUCTION AS A WHOLE WILL BE GREATLY REDUCED. AS NEW MATERIAL, DEMOLITION WASTE, AND TRANSPORTATION OF THE DEMOLITION WASTE IS KEPT TO A MINIMUM.

**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**SUSTAINABLE DESIGN**

SCALE:

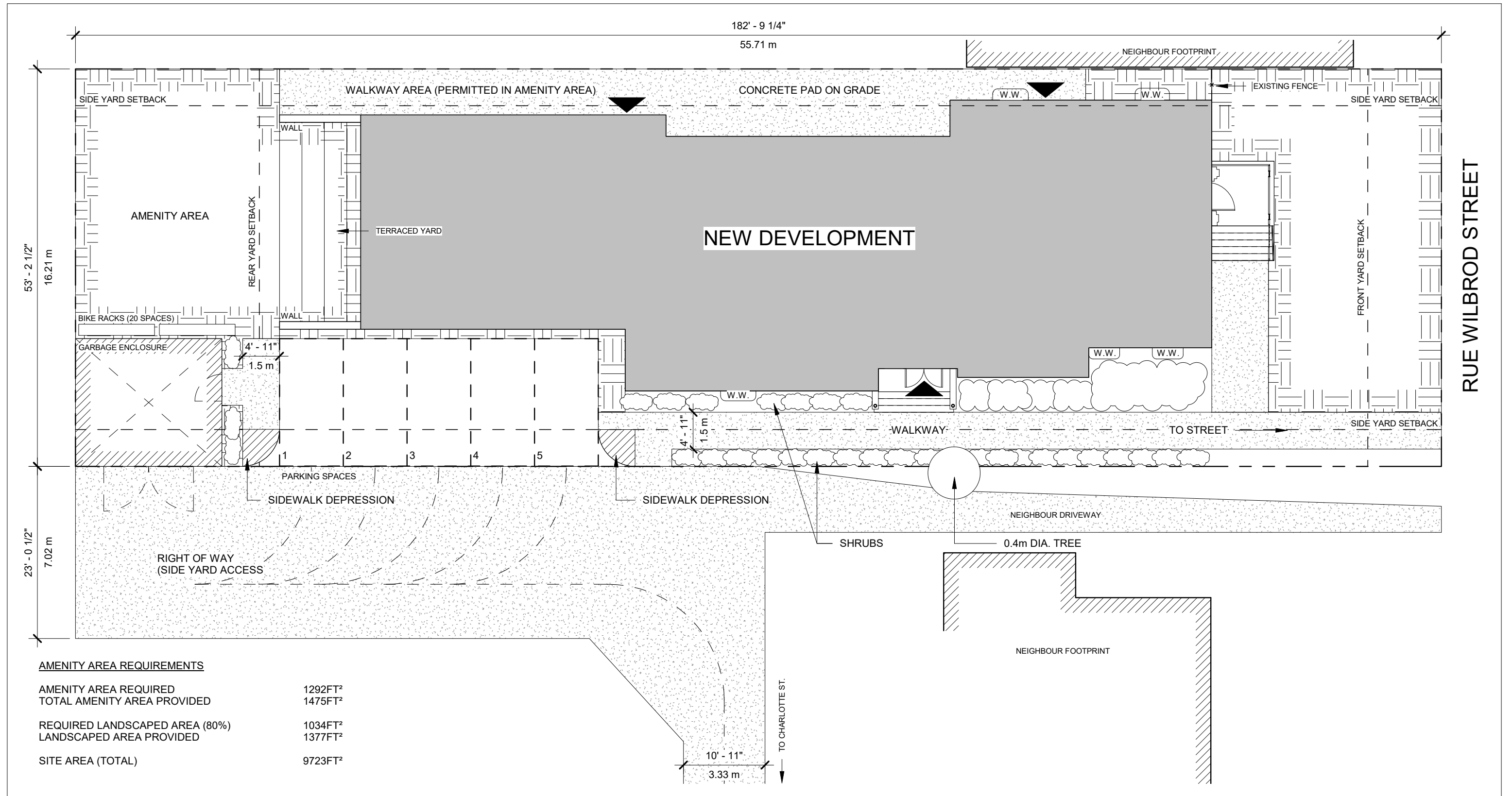
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**DB-13**



# WILBROD APARTMENTS

## SITE PLAN APPROVAL

### LANDSCAPE PLAN

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RUE WILBROD STREET

DB-

**ZONING COMPLIANCE CHART - 476 WILBROD ADDITION**

<u>CLAUSE</u>	<u>NAME/ TOPIC</u>	<u>REQUIREMENTS</u>	<u>RESPONSE</u>
137	AMENITY AREA	- 15m <sup>2</sup> PER UNIT, UP TO 8 UNITS - PLUS 6m <sup>2</sup> PER UNIT IN EXCESS OF 8 (REQUIREMENTS FIRST 8 UNITS) WITHIN REAR YARD AT GRADE - 80% SOFT LANDSCAPED	NO ACTION SPACE IS ACCOMMODATED FOR WITHIN REAR YARD AND ROOF TOP TERRACES
111	BIKE STORAGE	- 1 BIKE STORAGE AREA PER UNIT - LOCATED WITHIN REAR YARD OR INSIDE BUILDING	20 BIKE PARKING/ STORAGE AREAS ACCOMMODATED WITHIN REAR YARD
107	PARKING CLEARANCE	FOR PARKING ARRANGED 71-90°; MINIMUM 6.7m AISLE REQUIRED	NO ACTION EXISTING AISLE EXCEEDS MINIMUM
109 (3)	PARKING LOCATION	PARKING SPACE CANNOT BE LOCATED WITHIN FRONT YARD AND CORNER SIDE	NO ACTION PROPOSED PARKING WITHIN REAR AND SIDE YARD
65	PERMITTED PROJECTIONS	1. CHIMNEY, CHIMNEY BOX, FIREPLACE 2. EAVES, EAVES-TROPHS, GUTTERS 3. ORNAMENTAL ELEMENTS 4. CANOPIES AND AWNINGS 5. FIRE ESCAPES, OPEN STAIRWAYS ETC. 6. COVERED OR UNCOVERED BALCONY 7. BAY WINDOWS 8. AIR CONDITIONER CONDENSER 9. CARPORTS (BEFORE 2008-10-08)	1. NO CHIMNEYS, ETC. IN PROPOSAL 2. EAVES-TROPH IS >0.6m TO A LOT LINE 3. NO ORNAMENTAL ELEMENTS IN PROPOSAL 4. ALL PROJECTIONS ARE WITHIN SITE SETBACKS 5. EXTERIOR STAIRS ARE LOCATED WITHIN INTERIOR SIDE YARD, NO LIMIT 6. ROOF TERRACES DO NOT PROJECT INTO SETBACKS 7. NO BAY WINDOWS IN PROPOSAL 8. NO EXTERIOR A/C UNITS 9. TBD
60	HERITAGE OVERLAY	FOR ADDITIONS; 1. HEIGHT OF WALLS AND ROOF SLOPES MATCH 2. LOCATED ENTIRELY WITHIN REAR YARD 3. ADDITIONAL SETBACK OF 60cm FROM THE NEAREST WALL TO SIDE LOT LINES	1. ADDITION MATCHES EXISTING WALL HEIGHTS AND ROOF SLOPES 2. ADDITION IS LOCATED WITHIN REAR YARD 3. ADDITION DIMENSIONS ADJUSTED TO MEET REQUIREMENT
164	SIDE SETBACKS	SETBACK WITHIN 21m = 1.5m SETBACK PAST 21m = 6.0m	MINOR VARIANCE REQUIRED

**WILBROD APARTMENTS**  
**SITE PLAN APPROVAL**  
**ZONING CHART**

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