

STITTSVILLE APARTMENT BUILDING

ADDRESS: 1364-1370 Stittsville Main St, Stittsville, ON K2S 1V4

ISSUED FOR SITE PLAN APPLICATION - March 25, 2022

ARCHITECTURAL	
ASP-1	SITE PLAN-ROOF LEVEL
ASP-2	SITE PLAN-GRADE LEVEL
ASP-3	SITE PLAN-LOADING SPACE TRUCK MANEUVERING
ASP-4	SITE PLAN-DETAILS
A003	BUILDING CODE MATRIX & ROOM MIX COUNT
A200	OVERALL GROUND FLOOR PLAN
A201	GROUND FLOOR PLAN
A202	TYPICAL FLOOR PLAN (2ND-3RD)
A203	TOP FLOOR PLAN (4TH)
A204	ROOF PLAN & MECH. PENTHOUSE
A301	EAST & WEST ELEVATIONS
A302	NORTH & SOUTH ELEVATIONS
A303	TRESPECTIVE VIEWS
A304	3D BIRD VIEWS
A305	3D Renders
A306	3D Renders
A401	SITE SECTIONS
SS01	SHADOW STUDY - JUNE 21
SS02	SHADOW STUDY - SEP. 21
SS03	SHADOW STUDY - DEC. 21
ELECTRICAL DRAWING LIST	
E1.0	Electrical Site Plan
E2.0	Site Lighting Photometrics and Lighting Calculation
E3.0	Lighting Specifications
LANDSCAPE DRAWING LIST	
L.1	TREE CONSERVATION REPORT & LANDSCAPE PLAN
CIVIL DRAWING LIST	
SSP-1	SITE SERVICING PLAN
GP-1	GRADING PLAN



CLIENT:

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ARCHITECTURAL

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ELECTRICAL

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phone: +1 780 814 5533



LANDSCAPE:

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CIVIL ENGINEER:

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Ottawa, ON K2C 3G4

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COVER SHEET



SITE PLAN LEGEND

PROPERTY LINE	WALL MOUNTED HYDRO LIGHT REFER TO ELECTRICAL DWG
BUILDING SETBACK LINE	RECESSED EXTERIOR LIGHT FIXTURE 8" SOFFIT & PROTE COCHERE REFER TO ELECTRICAL DWG
LANDSCAPE BUFFER	NEW HEAVY DUTY ASPHALT PAVING (MINIMUM OF 3" SITE TO RECEIVE LIGHT OILY ASPHALT PAVING)
CURB DEPRESSION	DECORATIVE NON-SIP SURFACE PAVING UNDER PORTE COCHERE REFER TO LANDSCAPE DWG
ENTRY EXIT ACCESS POINT	LANDSCAPED AREA
EXISTING TOWN HYDRANT	FOUNDED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWG	STEEL BOLLARD (REFER TO DETAIL 1X14)
FIRE DEPARTMENT CONNECTION	PARKING COAT
HOSE BR (REFER TO MECHANICAL DWG)	FIRE HOSE SIGN TO BE PLACED UNDER DESIGNATED MAINFOLD BYLAW 200-47, REFER TO DETAIL 1X14
PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	PROPOSED GRADING (REFER TO CIVIL DWG)
DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWG)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY)
SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL COVER REFER TO ELECTRICAL DWG	

CREDIT NOTES

THE SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, COMPLETENESS OR QUALITY OF THE DATA SUPPLIED AND SUCH DATA DOES NOT INCLUDE UNDER THE SCOPE OF THIS CERTIFICATION, IF ANY.

LEGAL LAND DESCRIPTION:

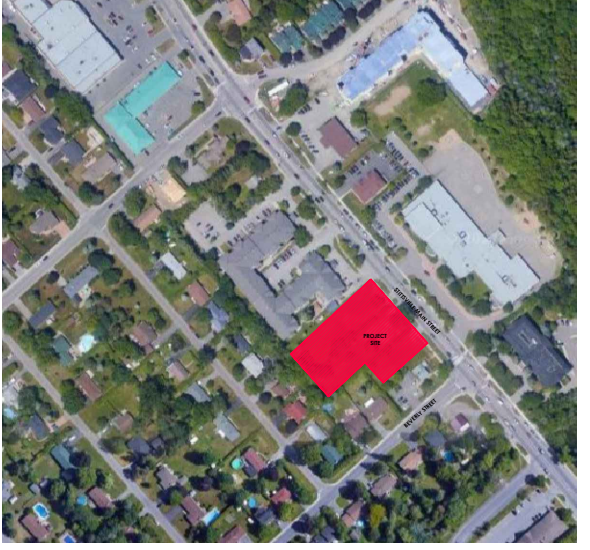
PART OF LOT 23 CONSERVATION TOWNSHIP OF CHATHAM, CITY OF CHATHAM

TOPIC SURVEYORS INFO:

CHATHAM LAND SURVEYORS
ARNE, D'OLIVIER, VOLBERG LTD
14 CONROSE CIRCLE SUITE 300
NORFOLK, ONTARIO K2S 7S4
(416) 777-8800
EMAIL: info@chathamland.com

SITE PLAN - GENERAL NOTES

- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS AREAS DETERMINED BY THE CONTRACTOR SHALL BE RECONSTRUCTED TO THE SATISFACTION OF THE TOWN.
- A 4" MINIMUM SETBACK OF 1.5m FROM EXISTING UTILITIES TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING UTILITIES SHALL BE RELOCATED BY THE CONTRACTOR/OWNER TO A STRIKE OF 1.5m, THE COST OF RECONSTRUCTION AND UTILITIES IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR OWNER IS RESPONSIBLE FOR ALL UTILITY LOCALS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.
- ALL BARBER FREE ENTRANCES AND BARBER FREE PAVING OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS SHAWED AND DESIGNED TO HARMONIZE WITH EXISTING LIGHTING SCHEMES AT THE PROPERTY LINE.
- ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY STORAGE ON THE PROPERTY.
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



SITE STATISTICS

ZONING: TM9 H(15)
TRADITIONAL MAIN STREET ZONE

COVERAGE CALCULATIONS	SM	SF	ACRES
TOTAL SITE AREA	5008.0	53905.6	1.238
BUILDING AREA	1840.7	19812.6	
Building coverage as a percentage of property area	36.75%		

SETBACKS	REQ'D (m)	PROVIDED (m)
MAX FRONT YARD	3.0	2.00
MIN REAR YARD	10.0	17.95
MIN REAR 45d ANGULAR PLANE	12.85	13.15
MIN SIDE YARD SECTION 197(3)(d)	3.0	3.45
MIN INTERIOR SIDE ABUTTING A RESIDENTIAL ZONE	7.5	10.15
WIDTH OF LANDSCAPE STRIP		1.43m / (this requirement has been met by keeping the existing cedar hedge which is playing the role of 1.4m high opaque fence.)
(i) ABUTTING A RESIDENTIAL MAY BE REDUCED TO 1m WHERE A MINIMUM 1.4m HIGH OPAQUE FENCE IS PROVIDED	1m	
(ii) IN ALL OTHER CASES	NO MIN	VARIES (1.5m to 2m)

HEIGHT OF BUILDING	MAX	PROVIDED
(MEASURED TO 1/0 ROOF DECK)	15m	13.72m

GROSS FLOOR AREA (GFA) WITHOUT BALCONIES	SM	SF
GROUND FLOOR	1,101.54	11,856.9
SECOND FLOOR	1,840.65	19,812.6
THIRD FLOOR	1,840.65	19,812.6
FOURTH FLOOR	1,753.00	18,869.1
TOTAL GFA	6,535.8	70,351.2

PARKING REQUIREMENTS	REQ'D	PROVIDED
Residential use		
1.0 PARKING/UNIT	71	72
VISITOR PARKING-0.2 PARKING /UNIT	14.2	15
TOTAL NO. OF SPACES	85	87
BIKE RACKS		
0.5 PARKING/UNIT	35.5	36

Amenities REQUIREMENTS	REQ'D	PROVIDED
Residential use		
6 sq m /UNIT	426	458.29

ACCESSIBLE PARKING	REQ'D	PROVIDED
20-99 PARKING SPACES, THEN 1 ACCESSIBLE SPACE REQ'D	1	1

DRIVEWAYS AND AISLE REQUIREMENTS	REQ'D (MIN)	PROVIDED
TWO-WAY DRIVEWAY	6.7	6.7
TWO-WAY PARKING AISLE	6.7	6.7

LOADING REQUIREMENTS	REQ'D	PROVIDED
IN THE TM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ M OR MORE	1	1

2 ASP-1 SITE STATISTICS

N.T.S.

ROOM MIX

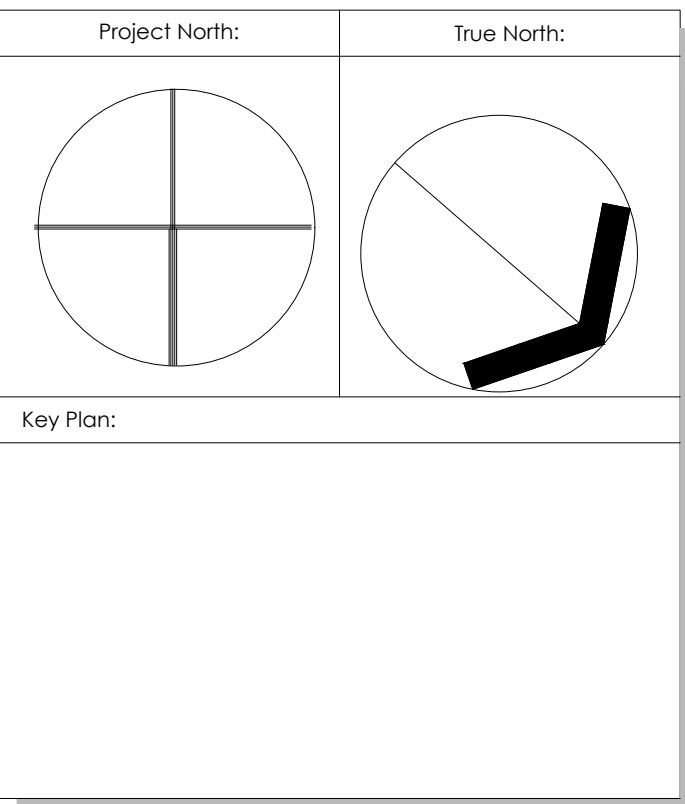
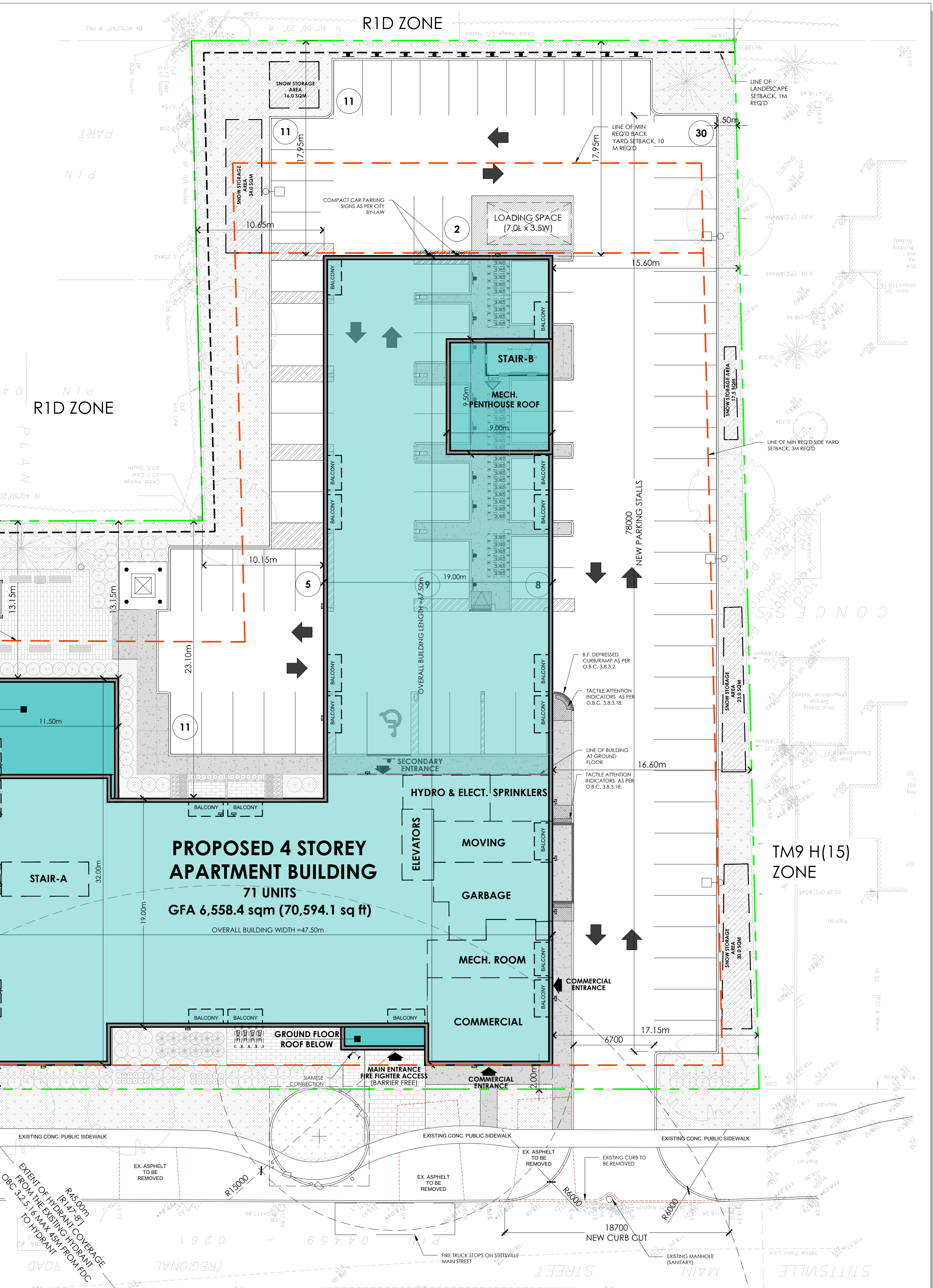
	AREA(SQ m)	AREA(SQ ft)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL	Total	PERCENTAGE
1 BDRM TYPE A	56	602	0	3	3	3	9	25	35%
1 BDRM TYPE B	56	605	0	1	1	1	3		
1 BDRM TYPE C	57	616	1	1	1	1	4		
1 BDRM TYPE D W/DEN	64	683	0	1	1	1	3		
1 BDRM ACC	56	602	1	2	2	1	6	46	65%
2 BDRM TYPE A / 1.5 Washroom	72	775	0	1	1	1	3		
2 BDRM TYPE B / 2 Washroom	80	864	1	8	8	8	25		
2 BDRM TYPE C / 2 Washroom	93	1007	1	1	1	0	3		
2 BDRM TYPE D / 2 Washroom	79	852	0	1	1	1	3		
2 BDRM TYPE E / 1.5 Washroom	70	750	0	1	1	1	3		
2 BDRM TYPE F / 2 Washroom	83	895	1	1	1	1	4	71	100%
2 BDRM ACC	77	833	1	1	1	2	5		
TOTAL			6	22	22	21	11	71	100%
TOTAL ACC UNITS							11		15.5%

2 ASP-1 ROOM MIX

N.T.S.

4 ASP-1 SITE PLAN-ROOF LEVEL

1:200



1	22/03/18	Issued for Site plan Application	AB
No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:
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Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Inaquin Shore Rd
Oakville, Ontario L6H 0K7
1.905.281.4444

Project:
STITTSVILLE APARTMENT BUILDING
1364-1370 Stittville Main St, Stittsville, ON K2S 1V4

Sheet Title:
SITE PLAN - ROOF LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:200	Date: 22-03-25	Project No.: 21-061
Drawing No.:		

ASP-1

Drawing Series:
SITE PLAN APPLICATION

GROSS CONSTRUCTION AREA	
1ST FLOOR	1101.54 m ²
2ND FLOOR	1840.65 m ²
3RD FLOOR	1840.65 m ²
4TH FLOOR	1753.00 m ²
GROSS CONSTRUCTION AREA	6535.84 m ²

ROOM MIX							
ROOM TYPE	1ST	2ND	3RD	4TH	TOTAL	MIX %	PERCENTAGE
1 BR TYPE A	0	3	3	3	9	26	36.6%
1 BR TYPE B	0	1	1	1	3		
1 BR TYPE C	1	1	1	1	4		
1 BR TYPE D/DEN	0	1	1	1	3		
1 BR ACC	1	2	2	1	6		
1 BR ACC + DEN	0	0	0	1	1	45	63.4%
2 BR TYPE A	0	1	1	1	3		
2 BR TYPE B	1	8	8	8	25		
2 BR TYPE C	1	1	1	0	3		
2 BR TYPE D	0	0	0	0	3		
2 BR TYPE E	0	0	0	1	3		
2 BR TYPE F	1	1	1	1	4		
2 BR ACC	1	1	1	1	4		
TOTAL	6	22	22	21	71	71	100%
TOTAL ACC UNITS	11						15.5%

Name of Practice:		Name of Project:		Date:				
MATAJ ARCHITECTS INC.		STITTSVILLE APARTMENT BUILDING						
418 Iroquois Shore Road, Unit 206 OAKVILLE, ON L6H 0X7 T. 416.897.2867		1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4						
Ontario Building Code Data Matrix - Part 3				Building Code Reference 1				
3.00	BUILDING CODE VERSION: O_Reg. 332/12 Last Amendment O_Reg. 191/14							
3.01	PROJECT TYPE:	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> RENOVATION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION AND RENOVATION DESCRIPTION: 4 STOREY APARTMENT BUILDING		[A] 1.1.2.				
3.02	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY Residential - Group C	USE Residential	3.1.2.1.(1)				
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES DESCRIPTION:		3.2.2.7.				
3.04	BUILDING AREA (M2)	DESCRIPTION:	EXISTING N/A	NEW 1840.65 m2	TOTAL 1840.65 m2	[A] 1.4.1.2.		
3.05	GROSS AREA (M2)	DESCRIPTION:	EXISTING N/A	NEW 6535.84 m2	TOTAL 6535.84 m2	[A] 1.4.1.2.		
3.06	MEZZANINE AREA (M2)	DESCRIPTION:	EXISTING N/A	NEW N/A	TOTAL N/A	3.2.1.1.		
3.07	BUILDING HEIGHT	<input type="checkbox"/> 4 STOREYS ABOVE GRADE <input type="checkbox"/> 0 STOREYS BELOW GRADE 1.4.4 (M) ABOVE GRADE			[A] 1.4.1.2. & 3.2.1.1.			
3.08	HIGH BUILDING	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			3.2.2.10. & 3.2.5.			
3.09	NUMBER OF STREETS/FIREFIGHTER ACCESS	1 STREET			3.2.2.10. & 3.2.5.			
3.10	BUILDING CLASSIFICATION: (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)	3.2.2.43A Group C, up to 6 Storeys, Sprinklered, Combustible Construction			3.2.2.43A			
3.11	SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED PROPOSED: <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT <input type="checkbox"/> NONE <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> IN LIEU OF ROOF RATING		3.2.1.5. & 3.2.2.17.				
3.12	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED		3.2.9.				
3.13	FIRE ALARM SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED PROPOSED: <input type="checkbox"/> SINGLE STAGE <input type="checkbox"/> TWO STAGE <input type="checkbox"/> NONE		3.2.4.				
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES						
3.15	CONSTRUCTION TYPE:	RESTRICTION: <input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED ACTUAL: <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBINATION HEAVY TIMBER CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.2.43A & 3.2.1.4.				
3.16	IMPORTANCE CATEGORY:	<input type="checkbox"/> LOW <input type="checkbox"/> LOW HUMAN OCCUPANCY <input type="checkbox"/> POST-DISASTER SHELTER <input checked="" type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> MINOR STORAGE BUILDING <input type="checkbox"/> EXPLOSIVE OR HAZARDOUS SUBSTANCES <input type="checkbox"/> POST-DISASTER		4.1.2.1.(3) & 4.1.2.1.B				
3.17	SEISMIC HAZARD INDEX	(IE FA SA (0.2)) = 0.4 SEISMIC DESIGN REQUIRED FOR TABLE 4.1.8.18. ITEMS 6 TO 21: ((IE FA SA (0.2)) ≥ 0.35 OR POST-DISASTER) <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		4.1.2.1.(3) & 4.1.8.18.(2)				
3.18	OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD (PERSONS)	3.1.17.		
		1st Floor: Commercial	E	5.6 sm/person	14			
		1st Floor: Common Area (for Residence use)	C	by design 10 (Fitness)+ 35 (Residence Lounge) + 2 Staff				
		1st - 4th Floors: Residential Units	C	3.1.17.1 (b)	234			
		TOTAL 250 persons (not including Fitness and Lounge)						
3.19	BARRIER-FREE DESIGN:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		EXPLANATION:	3.8.			
3.20	HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		EXPLANATION:	3.3.1.2. & 3.3.1.19.			
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING	SUPPORTING ASSEMBLY	NONCOMBUSTIBLE IN LIEU OF RATING?	3.2.2.43 & 3.2.1.4.		
		FLOORS	1HR	1HR	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A			
		MEZZANINE	N/A	N/A	<input type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> N/A			
		ROOF	1HR	1HR	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A			
3.22	SPATIAL SEPARATION	WALL EBF AREA (M2)	L.D. (M)	L/H OR H/L	REQUIRED FRR (H)	CONSTRUCTION TYPE REQUIRED	CLADDING TYPE REQUIRED	3.2.3.
		North N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	
		South 21.8 to 28.6 m2 for each compartment	3.5m		3/4HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	
		East N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	
		West N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	
3.23	PLUMBING FIXTURE REQUIREMENTS	RATIO: MALE/FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE			3.7.4.			
		FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	FIXTURES REQUIRED	FIXTURES PROVIDED		
		1st Floor Amenity	2 (staff)	3.7.4.1.(P)	1	1 Universal		
3.24	ENERGY EFFICIENCY:	COMPLIANCE PATH: PRESCRIPTIVE COMPLIANCE						
		CLIMATIC ZONE: 6						
3.24	NOTE:							

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

Drawing Issues/Revisions:

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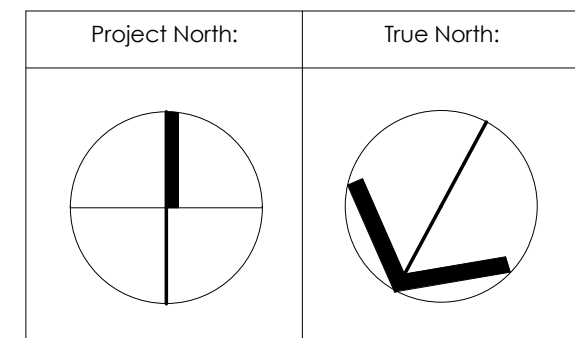
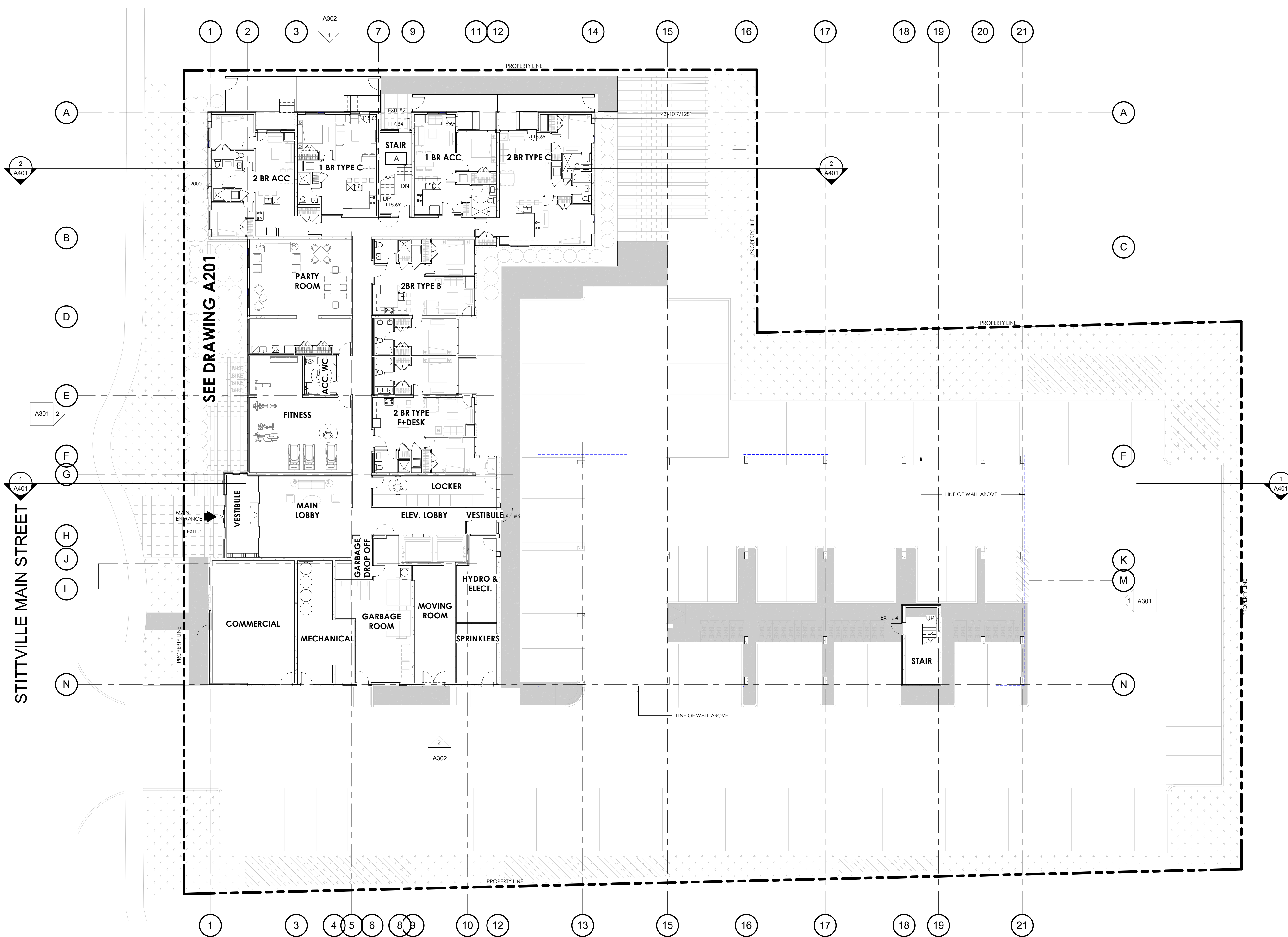


Project:
STITTSVILLE APARTMENT BUILDING
1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4

Sheet Title:
BUILDING CODE MATRIX & ROOM MIX COUNT

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1/4" = 1'-0"	Date: 22-03-25	Project No.: 21-061

Drawing No:
A003 Of:
Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

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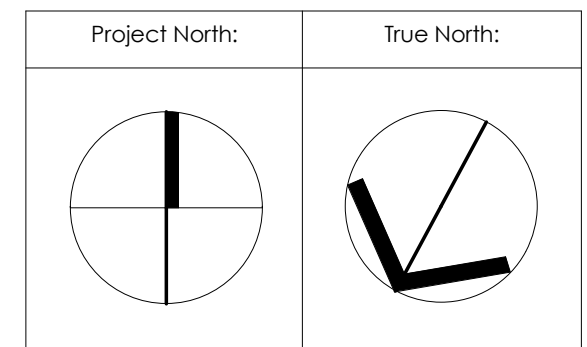
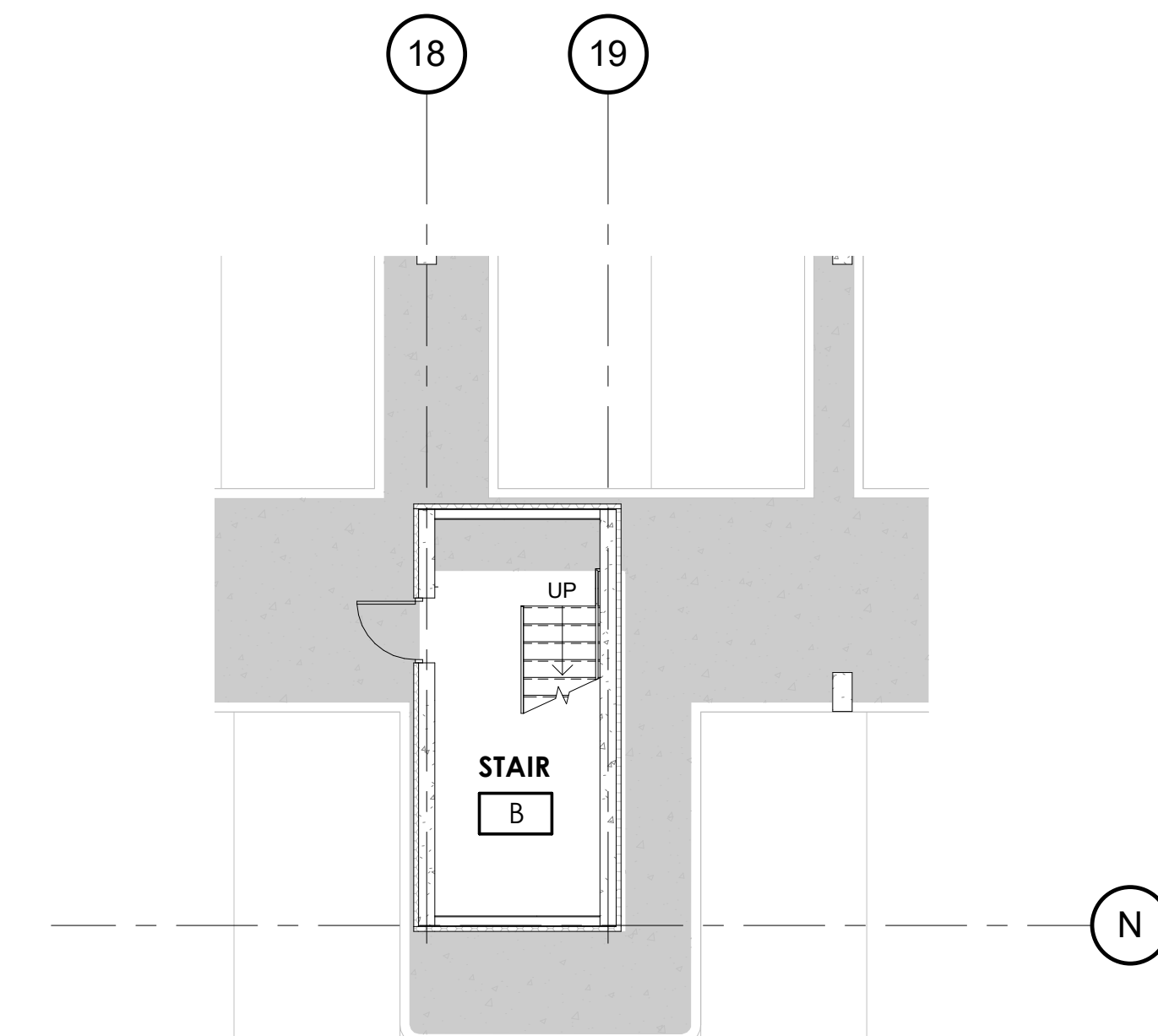
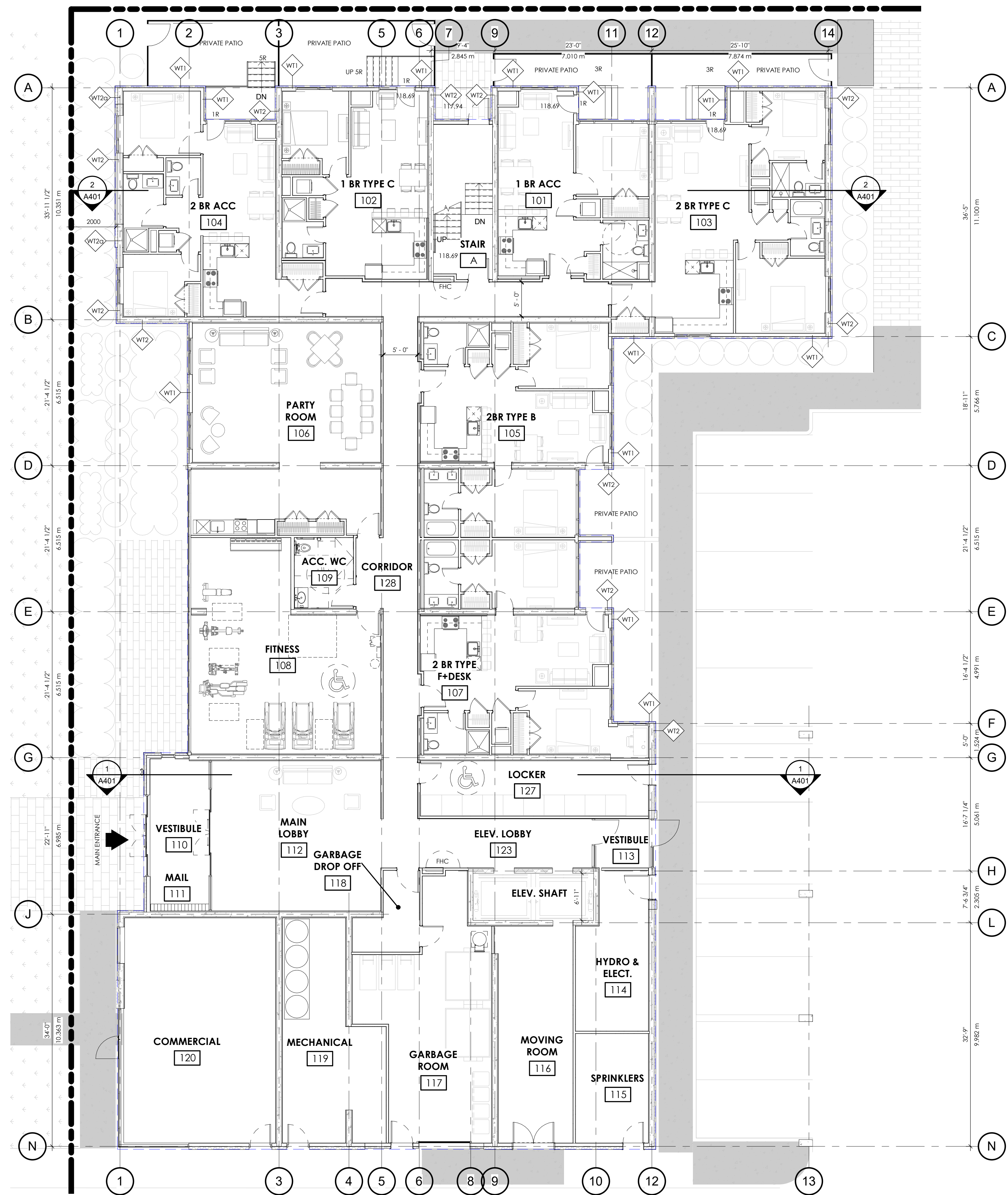
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 INCORPORATED
 418 Iroquois Shore Road, Unit 206,
 Oakville, Ontario
 L6H 0K7
 1.905.281.4444

Project:
STITTVILLE APARTMENT BUILDING
 1364-1370 STITTVILLE MAIN ST., STITTVILLE,
 ON K2S 1V4

Sheet Title:
OVERALL GROUND FLOOR PLAN

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 150	Date: 22-03-25	Project No.: 21-061

Drawing No:
A200 Of:
 Drawing Series:
 SITE PLAN APPLICATION



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021-07-

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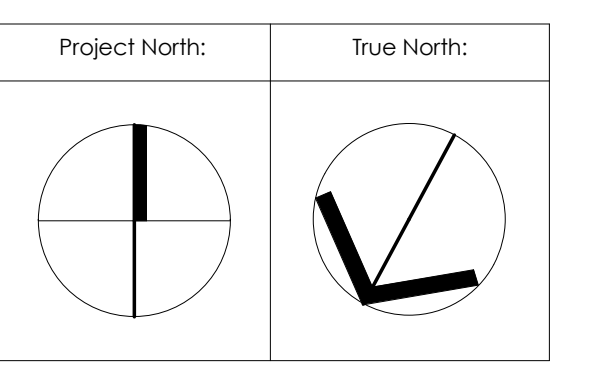
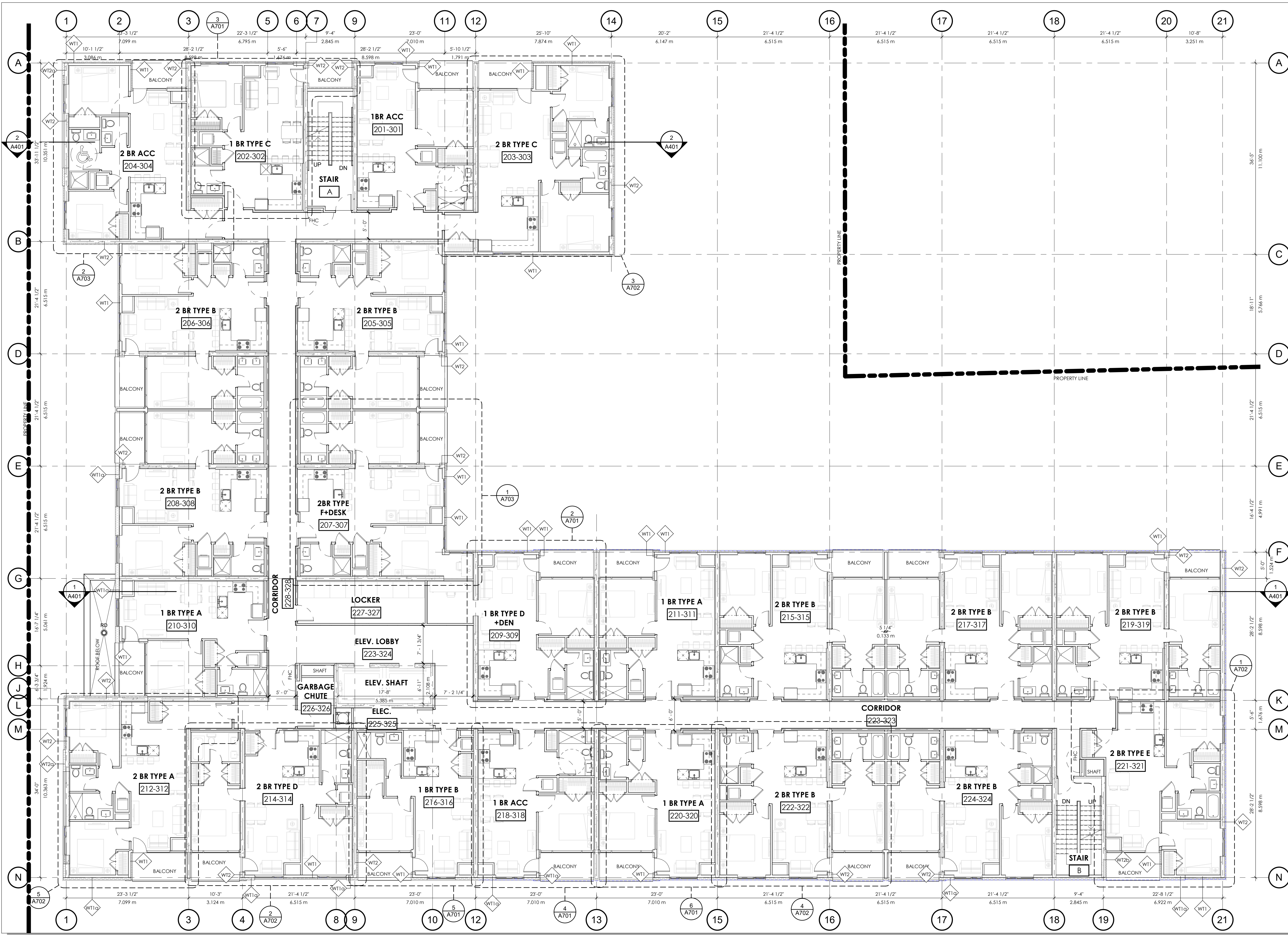
Architect's Stamp
MATAJ ARCHITECTS INCORPORATED
418 Iroquois Shore Road, Unit 206,
Oakville, Ontario
L6H 0K7
1.905.281.4444

Project:
STITTSVILLE APARTMENT BUILDING
1364-1370 STITTSVILLE MAIN ST., STITTSVILLE,
ON K2S 1V4

Sheet Title:
GROUND FLOOR PLAN

Design By: EM	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 100	Date: 22-03-25	Project No.: 21-061

Drawing No:
A201 of:
Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

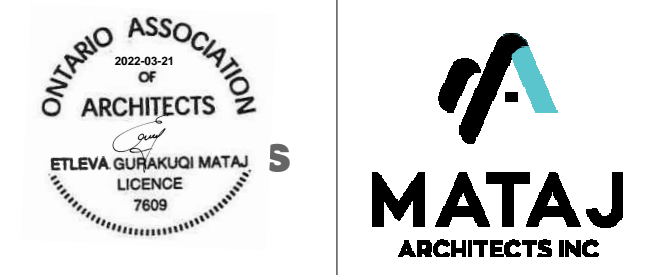
REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021 07 -

Drawing Issues/Revisions:

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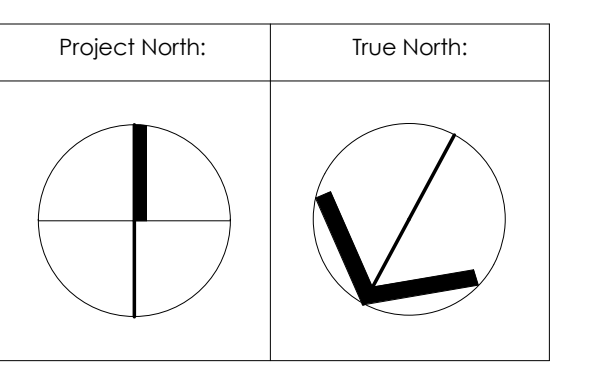
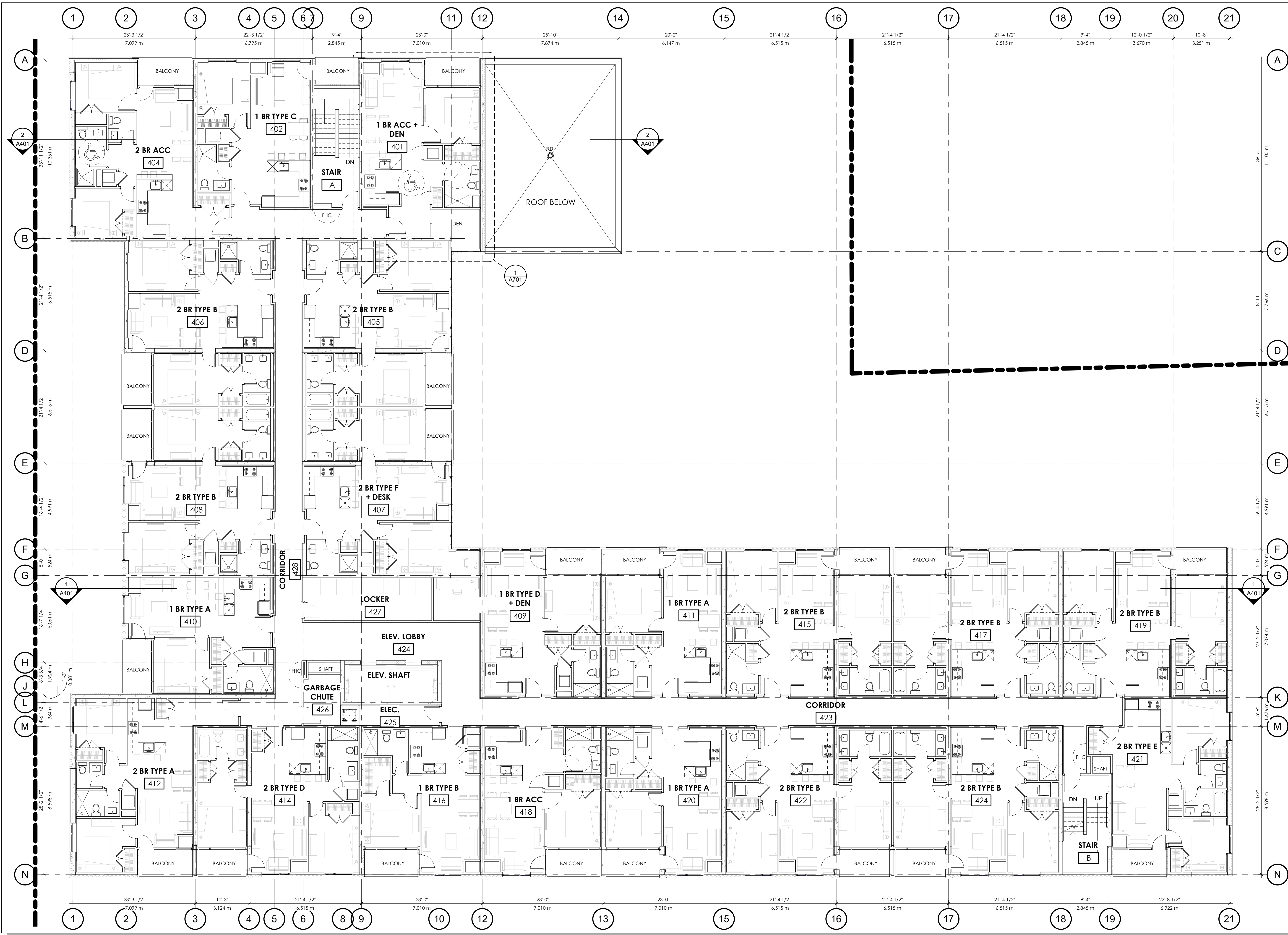
Project:
STITTSVILLE APARTMENT BUILDING
1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4

Sheet Title:
TYPICAL FLOOR PLAN (2nd-3rd)

Design By: EM	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 100	Date: 22-03-25	Project No.: 21-061

Drawing No. **A202** Of:

Drawing Series:
SITE PLAN APPLICATION



SPA FILE NO. -

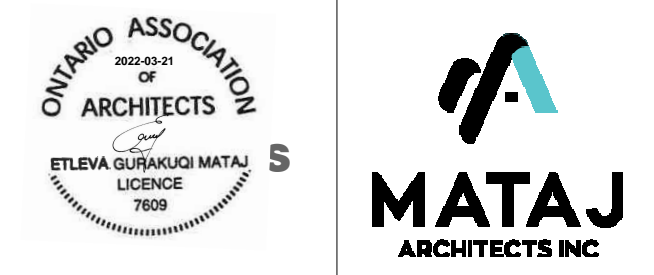
REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021 07 -

Drawing Issues/Revisions:

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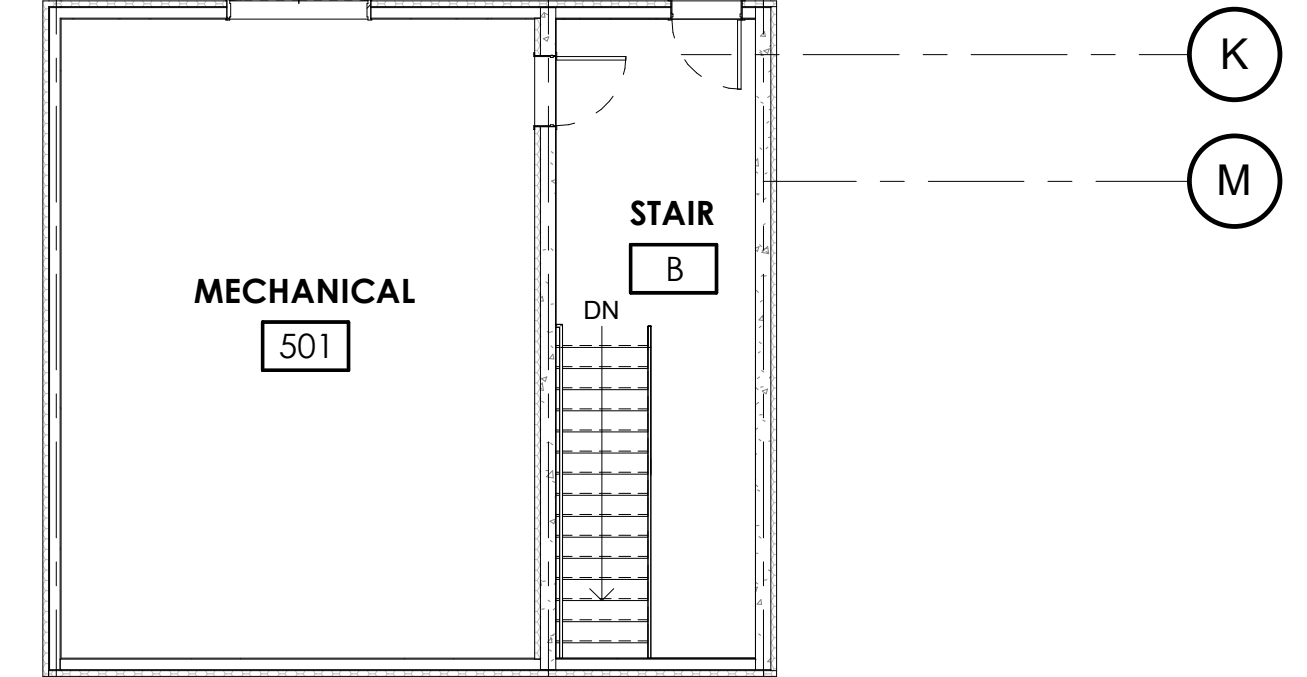
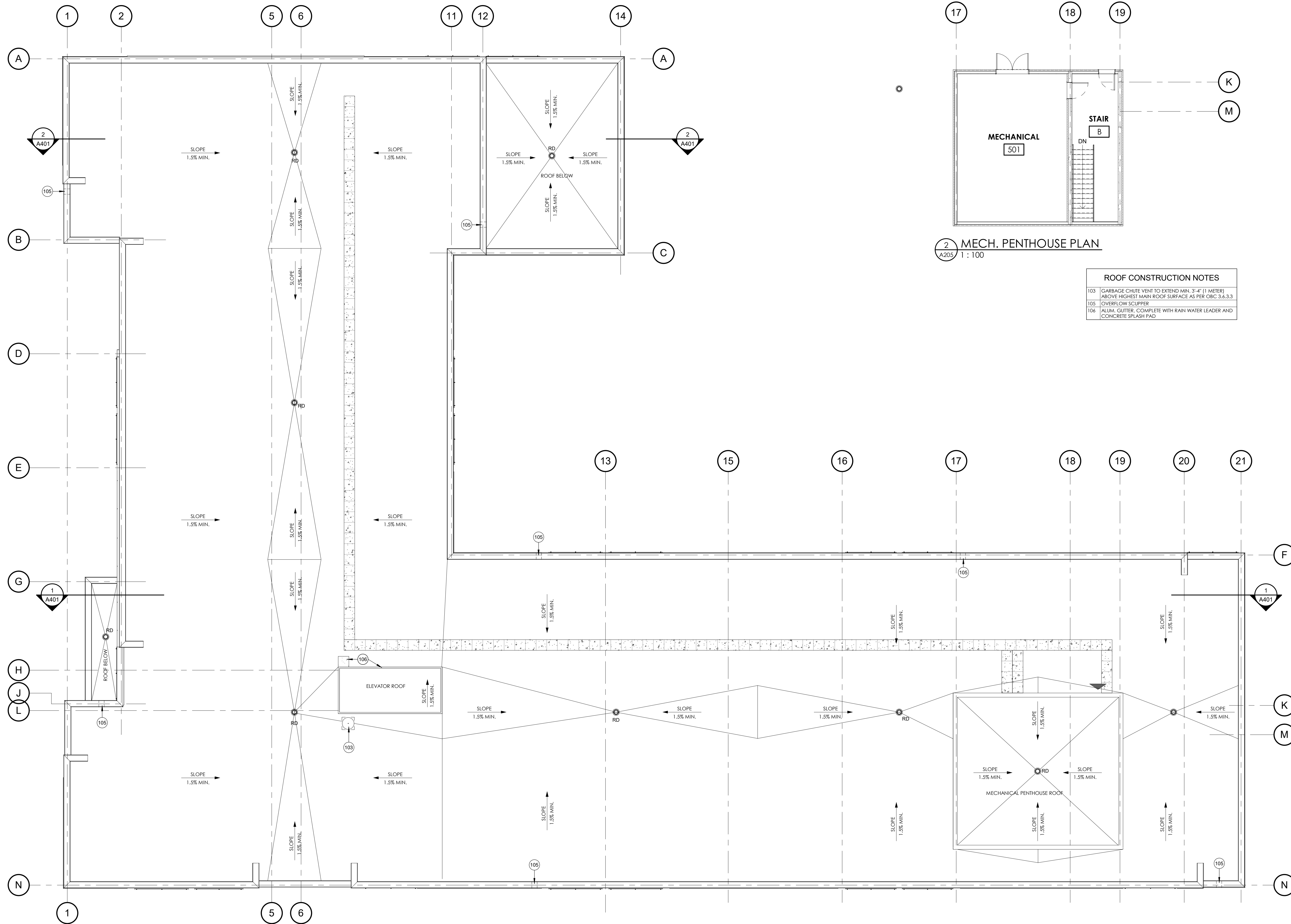
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 1.905.281.4444

Project:
STITTSVILLE APARTMENT BUILDING
 1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4

Sheet Title:
TOP FLOOR PLAN (4th)

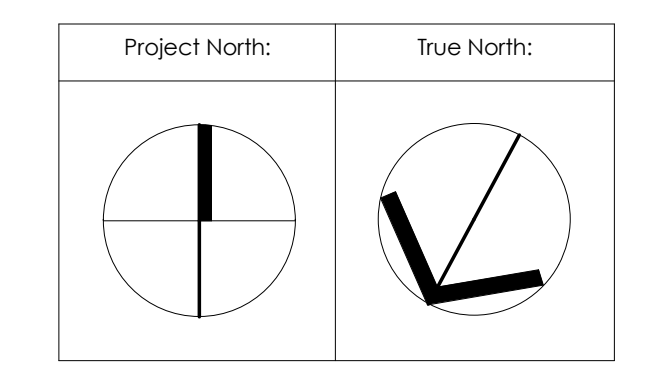
Design By: EM	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 100	Date: 22-03-25	Project No.: 21-061

Drawing No.: **A203** Of:
 Drawing Series:
 SITE PLAN APPLICATION



2 MECH. PENTHOUSE PLAN
A205 1 : 100

ROOF CONSTRUCTION NOTES	
103	GARBAGE CHUTE VENT TO EXTEND MIN. 3'-4" (1 METER) ABOVE HIGHEST MAIN ROOF SURFACE AS PER OBC 3.6.3.3
105	OVERFLOW SCUPPER
106	ALUM. GUTTER, COMPLETE WITH RAIN WATER LEADER AND CONCRETE FLASH PAD

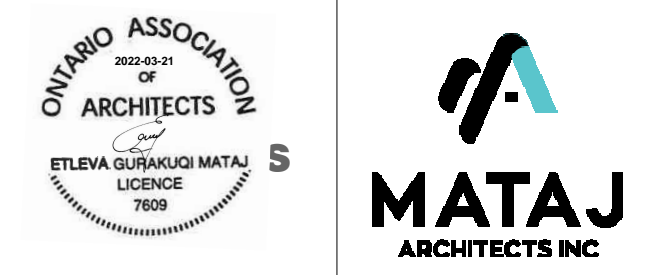


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REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

Drawing Issues/Revisions:

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1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4

Sheet Title:
ROOF PLAN & MECH. PENTHOUSE

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 100	Date: 22-03-25	Project No.: 21-061

Drawing No.: **A205** Of:
SITE PLAN APPLICATION



2 EAST ELEVATION (STITTVILLE MAIN ST.)
A301 1 : 100



1 WEST ELEVATION (REAR)
A301 1 : 100

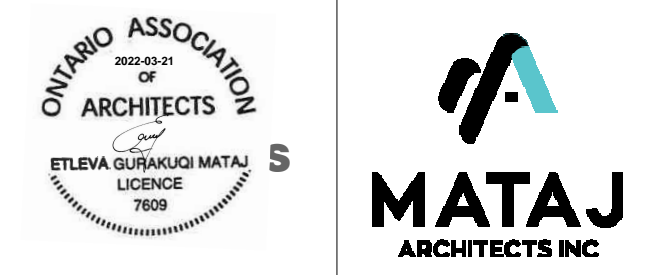
EXTERIOR ELEVATION LEGEND

E01	EIFS - BRICK PATTERN - KENDALL CHARCOAL, BM HC-166
E02	EIFS C/W HORIZONTAL REVEALS - GREY
E03	EIFS - SANDSTONE FINISH - WHITE DOVE, BM OC-17
E04	EIFS - WOOD GRAIN - TIMBER TEAK
E05	ACM - WOOD GRAIN - TIMBER TEAK
E06	ACM - KENDALL CHARCOAL, BM HC-166
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E10	EXPOSED CONCRETE - GREY
E11	CONTINUED LED LIGHTING-FLUSH MOUNTED LENS
E12	CONCEALED LED LINEAR LIGHT

SPA FILE NO. -

2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021 07 -
REV	DESCRIPTION	REV. DATE

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Project:
STITTVILLE APARTMENT BUILDING
1364-1370 STITTVILLE MAIN ST., STITTVILLE,
ON K2S 1V4

Sheet Title:
EAST & WEST ELEVATIONS

Design By:	EM	Drawn By:	BL	Approved By:	EM
Scale:	1 : 100	Date:	22-03-25	Project No.:	21-061

Drawing No.: **A301** Of:
Drawing Series:
SITE PLAN APPLICATION



2 NORTH ELEVATION
A302 1:100



1 SOUTH ELEVATION
A302 1:100

EXTERIOR ELEVATION LEGEND

E01	EIFS - BRICK PATTERN - KENDALL CHARCOAL, BM HC-166
E02	EIFS C/W HORIZONTAL REVEALS - GREY
E03	EIFS - SANDSTONE FINISH - WHITE DOVE, BM OC 17
E04	EIFS - WOOD GRAIN - TIMBER TEAK
E05	ACM - WOOD GRAIN - TIMBER TEAK
E06	ACM - KENDALL CHARCOAL, BM HC-166
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E10	EXPOSED CONCRETE - GREY
E11	CONTINUED LED LIGHTING-FLUSH MOUNTED LENS
E12	CONCEALED LED LINEAR LIGHT

SPA FILE NO. -

2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021 07 -
REV	DESCRIPTION	REV. DATE

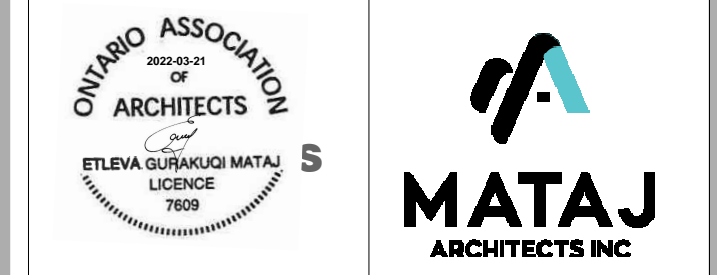
Drawing Issues/Revisions:

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STITTSVILLE APARTMENT BUILDING
1364-1370 STITTSVILLE MAIN ST., STITTSVILLE,
ON K2S 1V4

Sheet Title:
NORTH & SOUTH ELEVATIONS

Design By:	EM	Drawn By:	BL	Approved By:	EM
Scale:	1 : 100	Date:	22-03-25	Project No.:	21-061
Drawing No.:	A302				
Drawing Series:	SITE PLAN APPLICATION				



4 NORTH EAST CORNER
A303



3 NORTH WEST CORNER
A303



2 SOUTH EAST CORNER
A303



1 SOUTH WEST CORNER
A303

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SITE PLAN APPLICATION	22/03/18
1	ISSUED FOR COORDINATION	2021 07 -

Drawing Issues/Revisions:

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Project:
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1364-1370 STITTVILLE MAIN ST., STITTVILLE,
ON K2S 1V4

Sheet Title:
PERSPECTIVE VIEWS

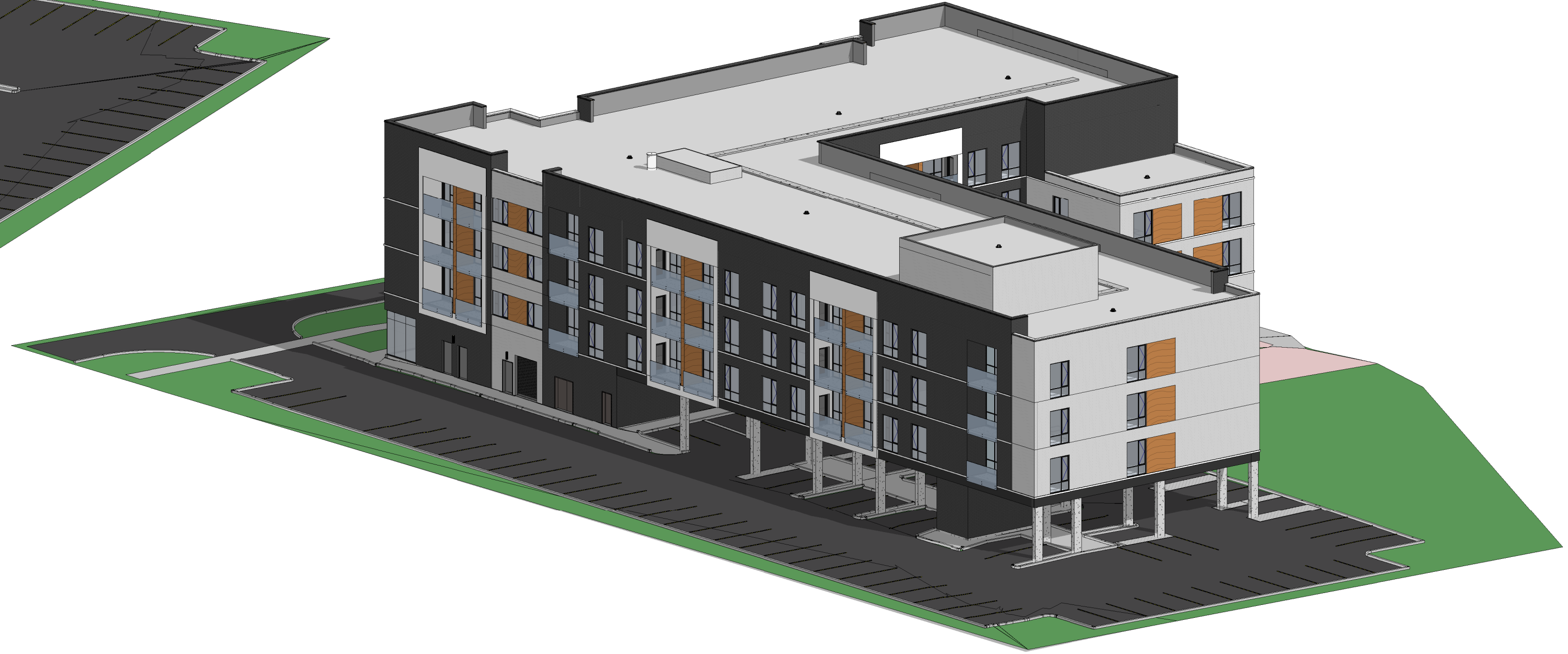
Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: 22-03-25	Project No.: 21-061

Drawing No.:
A303 Of:

Drawing Series:
SITE PLAN APPLICATION



4 NE BIRD VIEW
A304



3 NW BIRD VIEW
A304



2 SE BIRD VIEW
A304



1 SW BIRD VIEW
A304

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

Drawing Issues/Revisions:

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Project:
STITTVILLE APARTMENT BUILDING
1364-1370 STITTVILLE MAIN ST., STITTVILLE,
ON K2S 1V4

Sheet Title:
3D BIRD VIEWS

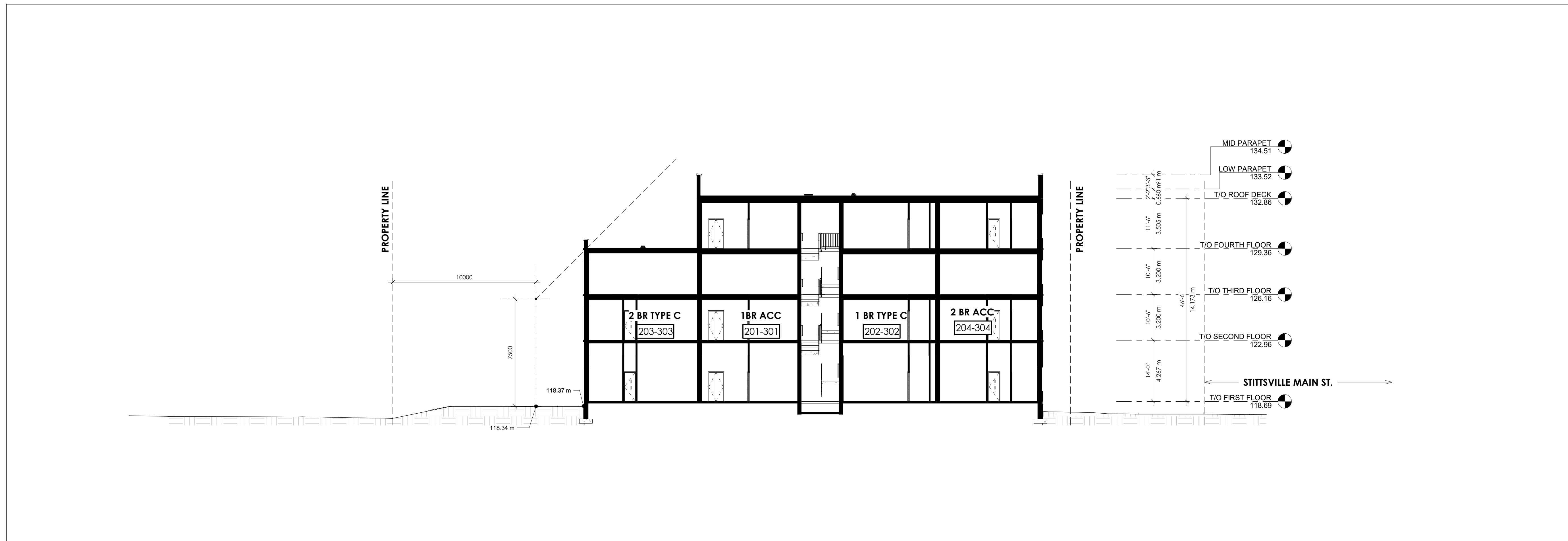
Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: 22-03-25	Project No.: 21-061

Drawing No:

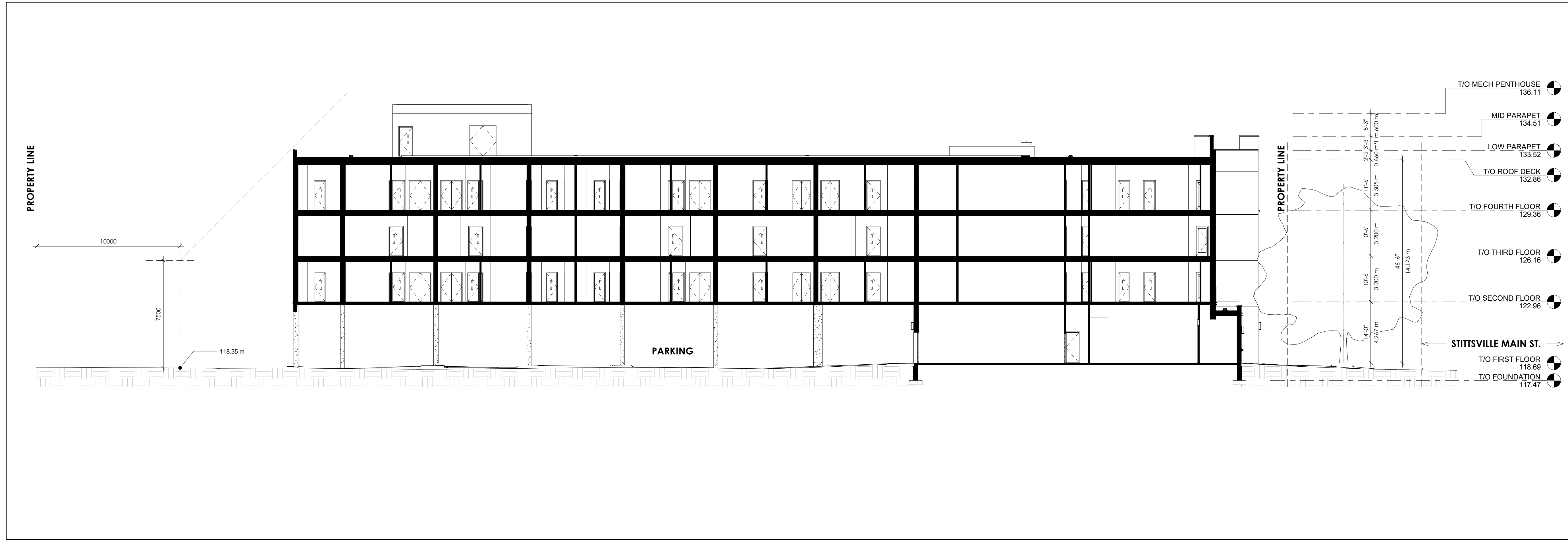
A304

Of:

Drawing Series:
SITE PLAN APPLICATION



2 SITE SECTION 1
A401 1 : 150



1 SITE SECTION 2
A401 1 : 150

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

Drawing Issues/Revisions:

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Project:
STITTSVILLE APARTMENT BUILDING
1364-1370 STITTSVILLE MAIN ST., STITTSVILLE, ON K2S 1V4

Sheet Title:
SITE SECTIONS

Design By: EM	Drawn By: BL	Approved By: EM
Scale: 1 : 150	Date: 22-03-25	Project No.: 21-061

Drawing No:
A401 Of:
Drawing Series:
SITE PLAN APPLICATION



1 Jun 21 - 0800 h
1 : 2000



2 Jun 21 - 0900 h
1 : 2000



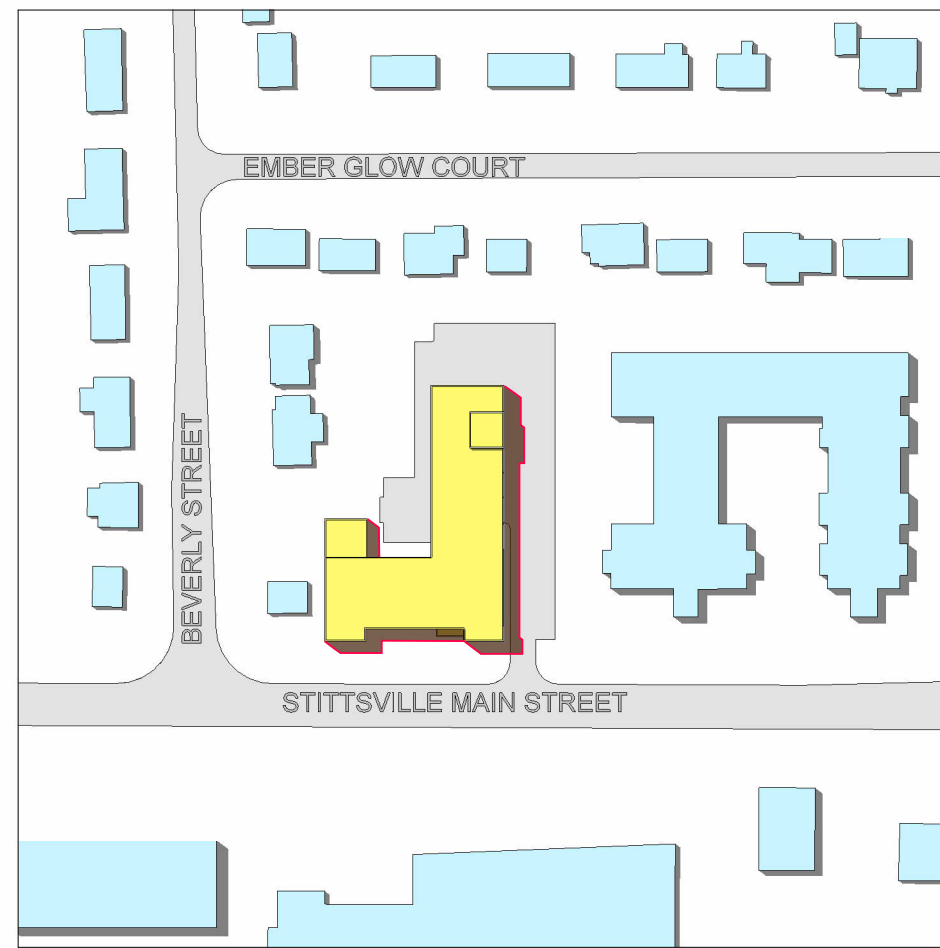
3 Jun 21 - 1000 h
1 : 2000



4 Jun 21 - 1100 h
1 : 2000



5 Jun 21 - 1200 h
1 : 2000



6 Jun 21 - 1300 h
1 : 2000



7 Jun 21 - 1400 h
1 : 2000



8 Jun 21 - 1500 h
1 : 2000



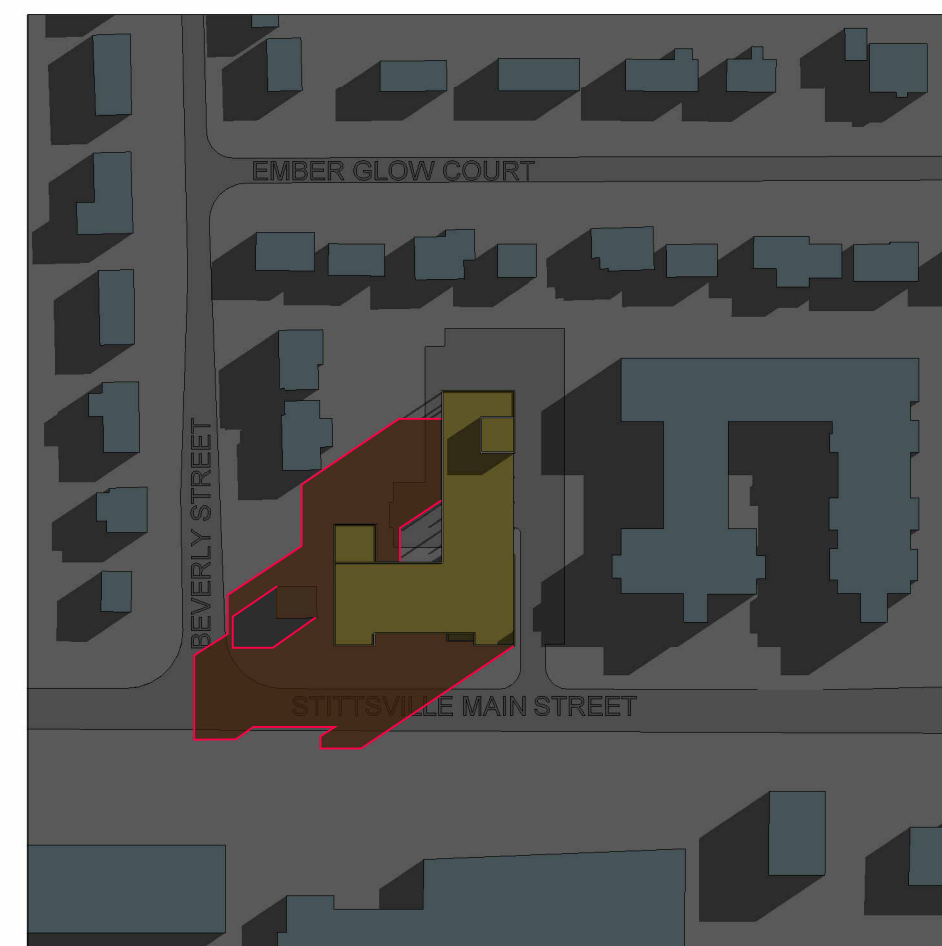
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10 Jun 21 - 1700 h
1 : 2000



11 Jun 21 - 1800 h
1 : 2000

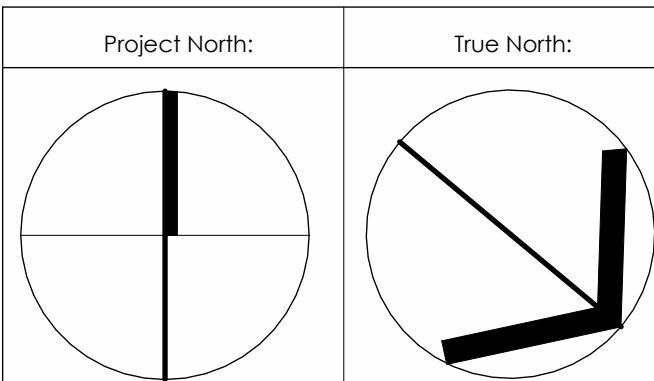


12 Jun 21 - 1900 h
1 : 2000



13 Jun 21 - 2000 h
1 : 2000

— Proposed Shadow Outline
 — Proposed Development
 — New Net Shadow



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

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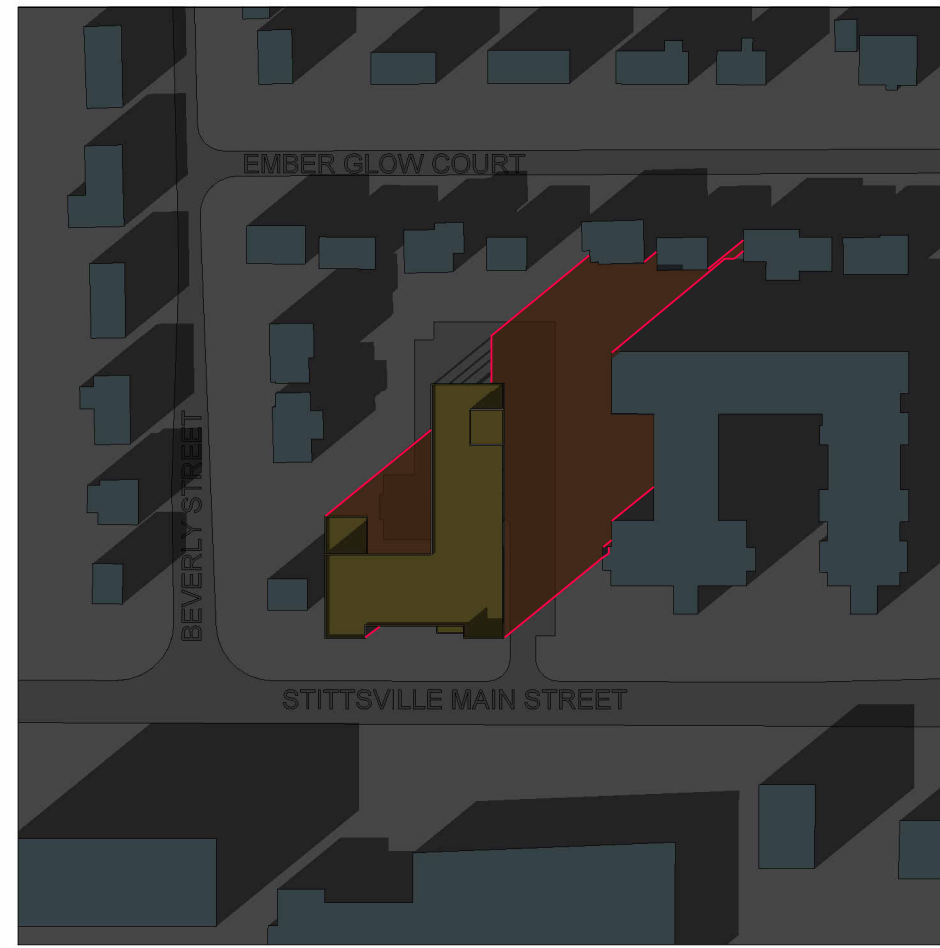
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Project:
STITTSVILLE APARTMENT BUILDING
 1364-1370 Stittsville Main St, Stittsville, ON
 K2S 1V4

Sheet Title:
SHADOW STUDY - JUNE 21

Design By: EM	Drawn By: SM	Approved By: EM
Scale: 1 : 2000	Date: 22-03-25	Project No.: 21-061

Drawing No:
SS.01 of:
 Drawing Series:
 SITE PLAN APPLICATION



1 Sep 21 - 0800 h
1 : 2000



2 Sep 21 - 0900 h
1 : 2000



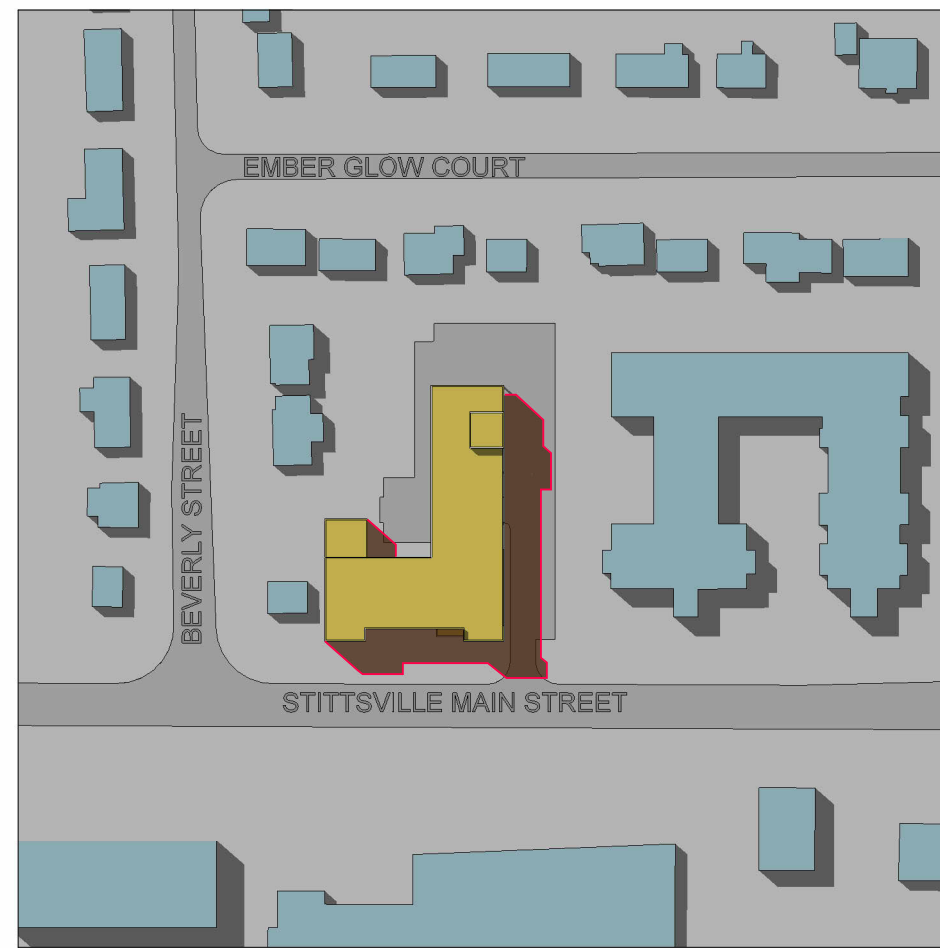
3 Sep 21 - 1000 h
1 : 2000



4 Sep 21 - 1100 h
1 : 2000



5 Sep 21 - 1200 h
1 : 2000



6 Sep 21 - 1300 h
1 : 2000



7 Sep 21 - 1400 h
1 : 2000



8 Sep 21 - 1500 h
1 : 2000



9 Sep 21 - 1600 h
1 : 2000

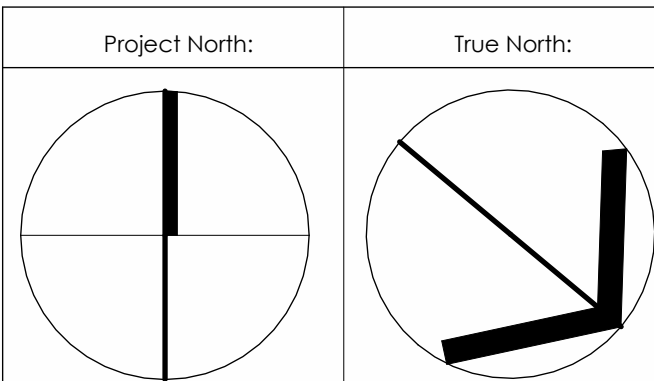


10 Sep 21 - 1700 h
1 : 2000



11 Sep 21 - 1800 h
1 : 2000

- Proposed Shadow Outline
- Proposed Development
- New Net Shadow



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SITE PLAN APPLICATION	22/03/18

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Sheet Title:
SHADOW STUDY - SEP 21

Design By: EM	Drawn By: SM	Approved By: EM
Scale: 1 : 2000	Date: 22-03-25	Project No.: 21-061

Drawing No:
SS.02 of:
Drawing Series:
SITE PLAN APPLICATION



2 Dec 21 - 0900 h
1 : 2000



3 Dec 21 - 1000 h
1 : 2000



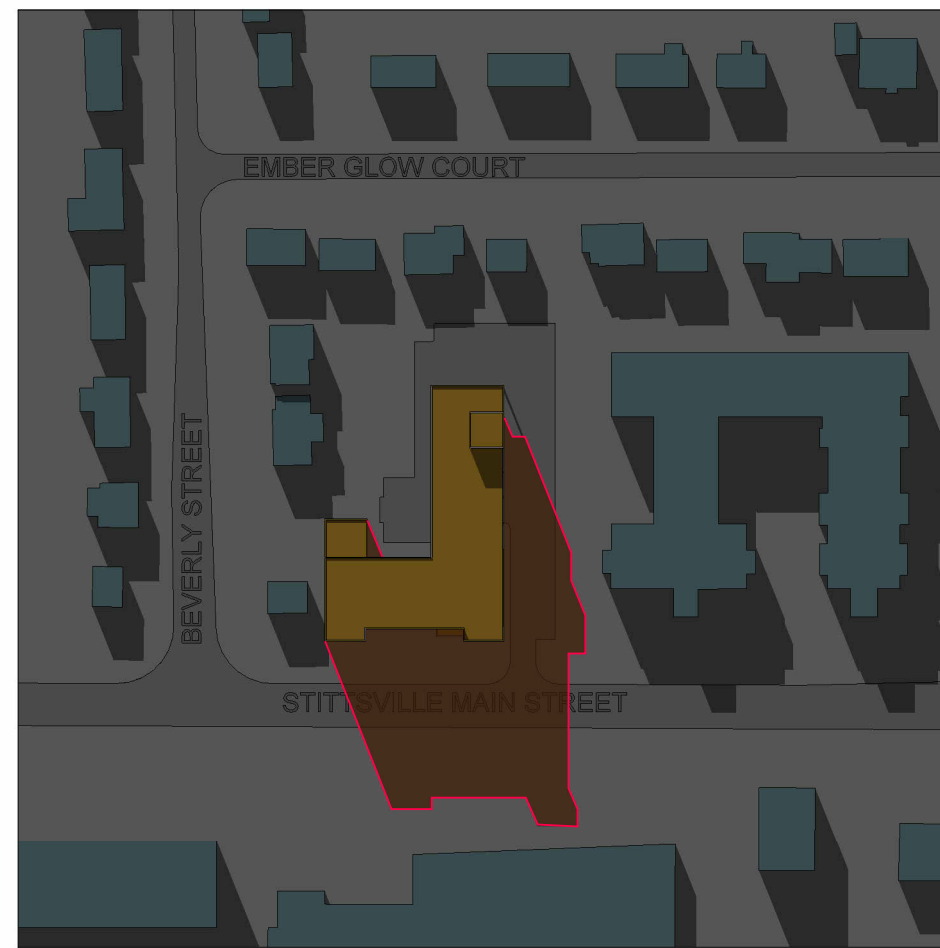
4 Dec 21 - 1100 h
1 : 2000



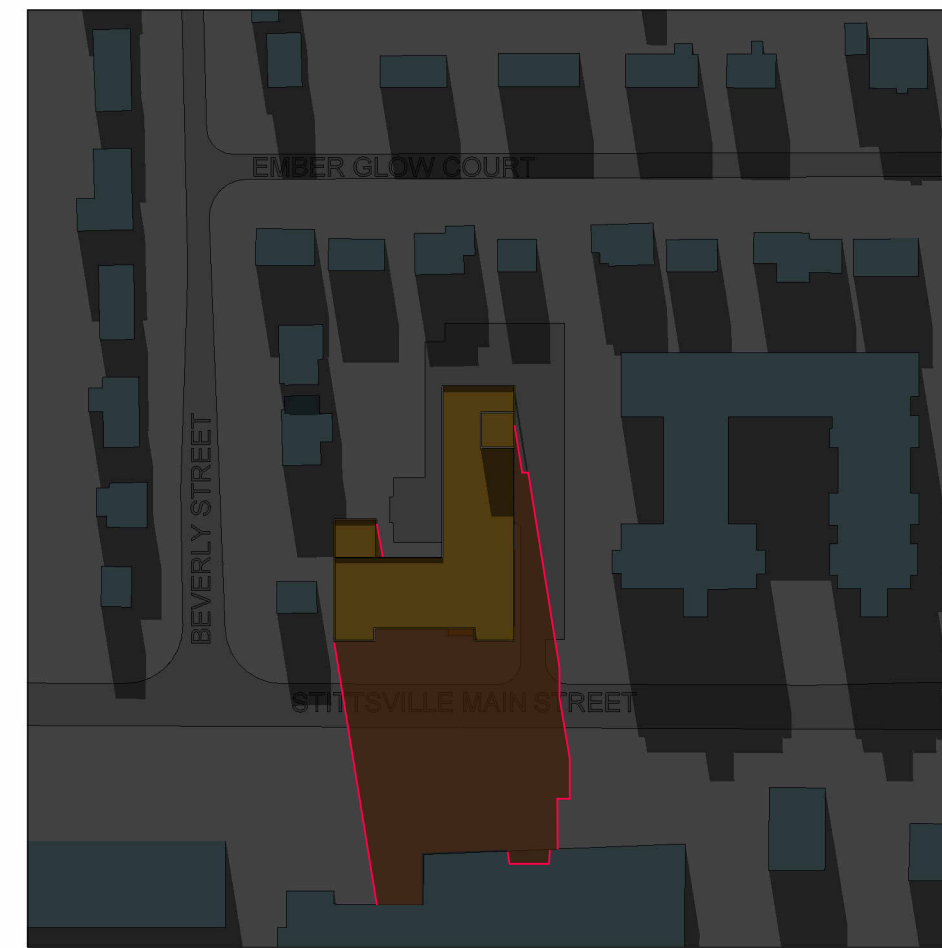
5 Dec 21 - 1200 h
1 : 2000



6 Dec 21 - 1300 h
1 : 2000

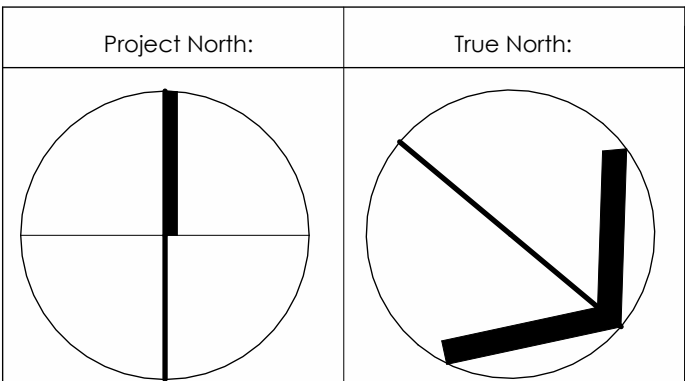


7 Dec 21 - 1400 h
1 : 2000



8 Dec 21 - 1500 h
1 : 2000

- Proposed Shadow Outline
- Proposed Development
- New Net Shadow



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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1364-1370 Stittsville Main St, Stittsville, ON
K2S 1V4

Sheet Title:
SHADOW STUDY - DEC 21

Design By: EM	Drawn By: SM	Approved By: EM
Scale: 1 : 2000	Date: 22-03-25	Project No.: 21-061

Drawing No.:
SS.03 of:

Drawing Series:
SITE PLAN APPLICATION