

**PLANNING RATIONALE REPORT FOR SITE PLAN CONTROL APPLICATION**

**3130 WOODROFFE AVENUE - BARRHAVEN  
CITY OF OTTAWA**

**PREPARED BY: P H ROBINSON CONSULTING  
APRIL 2022**



This report has been prepared on behalf of Vo and Van Holdings Corporation in support of a Site Plan Control Application for their lands at the north west corner of Woodroffe Avenue and Deerfox Drive in Barrhaven. The legal description of the property is Part of Lot 16, Concession 2 Rideau Front, geographic Township of Nepean, City of Ottawa (see Survey Plan in Appendix). The municipal address is 3130 Woodroffe Avenue.

The surrounding land uses are primarily residential to the west (Fieldcrest Avenue) residential to the north on lots that are wanting to redevelop for some office or mixed use development proposals, residential to the east (on the east side of Woodroffe Avenue and lands to the south that are residential or residential/commercial but are proposed for future office/commercial or higher density residential in nature.

The subject lands have a frontage of approximately 52 m on the west side of Woodroffe Avenue and approximately 67 m of frontage on the north side of Deerfox Drive and an overall lot area of 3830 m<sup>2</sup>.

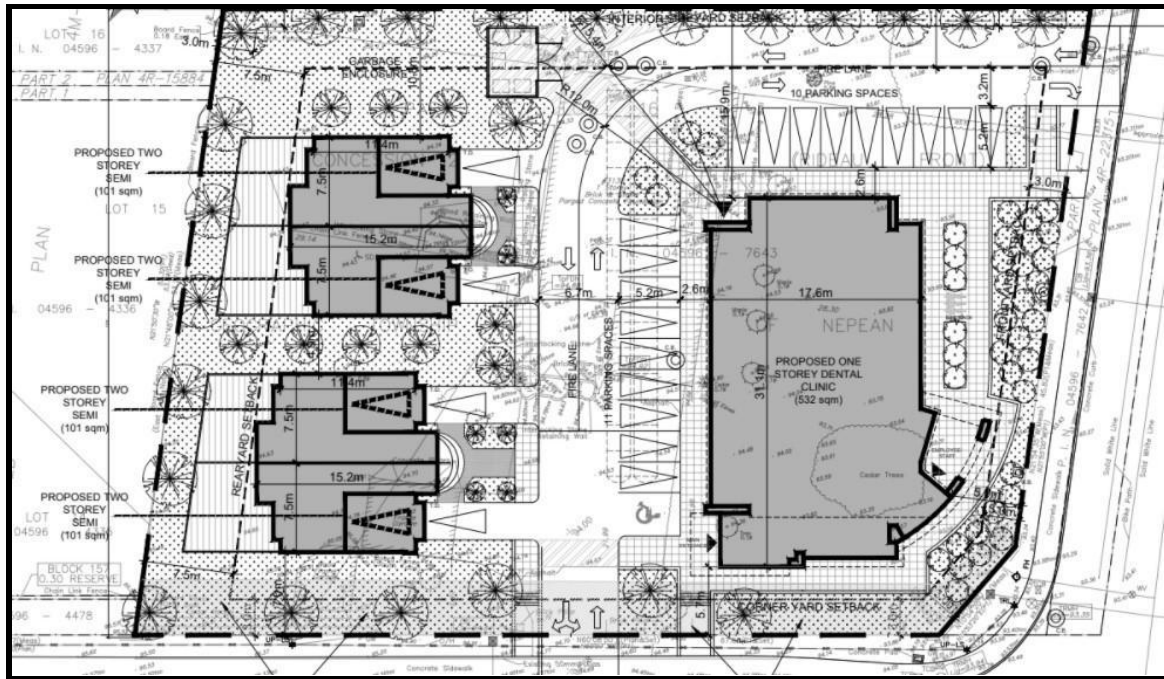
The property is in an LC8 H (11) zone and at the present time the lands contain a single family home which is not occupied. A number of nearby properties have similar LC zoning but many of them have a holding provision that goes along with the zoning and this holding provision can only be lifted once servicing connections have been finalised, traffic and tree conservation studies completed to the satisfaction of the City.

The intent of the proposal is to develop the lands for a dental clinic with a footprint of approximately 532 m<sup>2</sup> (5726 ft<sup>2</sup>) and to also construct 2 pairs of rental semi detached residential units (for a total of 4 new residential units). The semi detached units will have a footprint of 392 m<sup>2</sup> (see Site Plan in Appendix). Vehicular access will be provided at the north east corner of the site from Woodroffe Avenue (a right in and right out access) and along the south property line (Deerfox Drive via a full turning movement access).

In order to facilitate this development it will be necessary to file a site plan application. In 2017 this site received Site Plan approval for a similar project (a dental clinic 332 m<sup>2</sup> in size and tenant space permitted in the zoning classification of 148 m<sup>2</sup> with partial basements) but the required Site Plan Agreement documents were not executed by the owners. Since that time, modifications have been made to the design of the building and the project is now proposing to add some semi detached units. See Design Brief for more details.

As well, the civil engineers for the project have modified the servicing arrangement that will be more cost effective and will result in the extension of sanitary sewers along Woodroffe Avenue that will benefit the property owners at

3112, 3150 and 3162 Woodroffe/15 Deerfox and the extension of those sewers is captured within this site plan application for 3130 Woodroffe. A cost sharing agreement is being prepared for all of the benefitting parties for this sewer extension and it is based on their proportional cost to hook up to the new system. The drawings of this new servicing arrangement are being filed with this application as it is the first development application that is ready to be submitted and the subject lands are not subject to a holding provision.



**Site Plan extract with the new dental clinic on the right hand (east) side and the semis on the left hand (west) side.**

The LC8 zone permits the proposed uses.

As per the City Zoning By-law,

## Purpose of the Zone

*The purpose of the LC – Local Commercial Zone is to:*

*allow a variety of small, **locally-oriented** convenience and **service uses** as well as **residential uses** in the **General Urban Areas** and in*

*the Residential Character Areas of the **Central Area** designations of the Official Plan;*

*restrict the non-residential uses to individual occupancies or in groupings as part of a small plaza that would meet the needs of the surrounding residential areas;*

*provide an opportunity to accommodate residential or mixed uses development; and*

*impose development standards that will ensure that the size and scale of development are consistent with that of the surrounding residential area.*

There are specific requirements for non residential and residential uses in the LC8 subzone and they are highlighted below:

### **LC8 Subzone (By-law 2013-205)**

In the LC8 Subzone:

a maximum of two non-residential occupancies are permitted in one stand-alone building per lot with a permitted combined total gross leasable floor area no greater than 500 square metres

and

only the following residential uses are permitted, subject to the provisions of subsections 189(4) and (5) and the following provisions:

- a maximum of four dwelling units is permitted; (By-law 2017-148)

The proposed development meets these zoning criteria for the property with the leasable floor area being less than 500 m<sup>2</sup> and only 4 residential units are being proposed.

Below is an extract from the zoning matrix that is shown on the site plan drawing that is being filed with this application.

SITE STATISTICS		3130 WOODROFFE AVENUE	
ITEM		REQUIRED	PROVIDED
Zone	Current	LC8 H(11)	
Lot Area		No minimum	3829.4 sqm
Lot Width		No minimum	52.06 m
Maximum Building Height		11.0m	9.35 m (Two storey Semis) 7.25 m (Proposed clinic stand alone pad)
Minimum Front Yard (Woodroffe Avenue)		3.0m	5.90 m (Proposed clinic stand alone pad)
Minimum Interior Side Yard		5.0 m	10.80 m (Two storey Semis) 15.90 m (Proposed clinic stand alone pad)
Minimum Corner Side Yard (Deerfox Drive)		3.0 m	7.00 m (Two storey Semis) 5.70 m (Proposed clinic stand alone pad)
Minimum Rear Yard		7.5 m	7.50 m (Two storey Semis)
Building Footprint		n/a	405 sqm (Four two storey Semis) 532 sqm (Proposed clinic stand alone pad)
Maximum Lot Coverage		n/a	405 sqm (Four two storey Semis) 532 sqm (Proposed clinic stand alone pad) 937 sqm TOTAL (24%)
PARKING SPACES	Medical	4 Spaces per 100 sqm of medical clinic GFA Minus exterior walls, washrooms and utility/ Laundry room 478.80 sqm (19 required)	19 Spaces
	Semis	1 per unit (Four Semis) (4 required)	4 spaces
Required Bike Racks		1 Space per 2000 sqm of medical clinic GFA (0.2 required)	3 Spaces
Maximum width of landscaping area			
	Adjacent to parking abutting a street	3.0 m	3.0 m

The intent of the site plan application is to build a 1 storey dental clinic building that will have a ground floor area of 532 m<sup>2</sup> (measured to the exterior of the outside walls) (see Appendix for the site plan drawing and architectural elevation plans) and also two pairs of semi detached units (a total of 4 units) .

The maximum building height of the dental clinic is approximately 7.25 m and the maximum building height of the semi detached units is approximately 9.35 and these heights will not create any negative impacts on surrounding properties..

The development calls for 23 parking spaces in total. Nineteen of these parking spaces will be for the dental clinic needs and four of the spaces will be for the semi detached units. These parking spaces are accessible via the entrance to the site from Woodroffe (right in/right out access) and Deerfox Crescent (full turning movements). The provided parking totals meet the City requirements for these uses in this area.

There will also be pedestrian access to the building from both of the frontage streets with a walkway connecting the building to the sidewalk along these streets .

Landscaped areas will be provided along the frontages of the property, along the north and west property lines and around the edges of the parking areas.

### **Traffic**

A Traffic Impact Assessment is being prepared for this file and at the present time Steps 1 and 2 have been completed and are being filed with this application. These have also been sent separately to the City traffic branch by our clients' traffic engineers.

### **Official Plan Designation – City of Ottawa Official Plan**

The site is designated Corridor - Evolving Neighbourhood on Schedule B6 of the 'new' City of Ottawa Official Plan which was adopted by City Council in November 2021 and is awaiting final ratification by the provincial Ministry of Municipal Affairs and Housing

As per Section 6.2 of the new Official Plan, the Corridor designation applies to bands of land along specified streets whose planned function combines a higher density of development, a greater degree of mixed uses and a higher level of street transit service than abutting Neighbourhoods, but lower density than nearby Hubs. The Corridor designation includes two sub-designations, Mainstreet Corridors (also referred to as Main Streets) and Minor Corridors.

**The proposal represents an intensification of the property versus the current uses and it is surrounded by properties that have at the present time servicing issues that prevent their full development until full services are available.**

As per Section 6.2.1.3 of the Official Plan Corridors will generally permit residential uses and such non-residential uses that integrate with a dense, mixed-use urban environment. The City may require through the Zoning By-law and/or development applications to amend the Zoning By-law:

- a) Commercial and service uses on the ground floor of otherwise residential, office and institutional buildings with a strong emphasis on uses needed to contribute to 15-minute neighbourhoods; **The proposal calls for a mixed use development of residential and commercial/office type uses that will provide for dental facilities in close proximity to nearby residential areas that people could walk to from their homes to their dentist appointments.**
- b) Residential and/or office uses on the upper floors of otherwise commercial buildings; and/or
- c) Minimum building heights in terms of number of storeys to ensure multi-storey structures where uses can be mixed vertically within the building.

### 5.6.1 Built Form Overlays

*The Evolving overlay is applied to areas in close proximity to Hubs and Corridors to signal a gradual evolution over time that will see a change in character to support intensification, including guidance for a change in character from suburban to urban to allow new built forms and more diverse functions of land. The proposed development is an intensification in the area and is a new built form in the area and will support a more diverse function of the land than what exists there today*

*5.6.1.1 Provide built form direction for the urban area where intensification is anticipated to occur*

*1) The Evolving Overlay will apply to areas that are in a location or at stage of evolution that create the opportunity to achieve an urban form in terms of use, density, built form and site design. These areas are proximate to the boundaries of Hubs and Corridors as shown in the B-series of schedules of this Plan. The Evolving Overlay will be applied generally to the properties that have a lot line along a Minor Corridor; lands 150 m from the boundary of a Hub or Mainstreet designation; and to lands within a 400 m radius of a rapid transit station. The Overlay is intended to provide opportunities that allow the City to reach the goals of its Growth Management Framework for intensification through the Zoning By-law, by providing: This property allows the City to move towards fulfilment of the goals of the Growth Management Framework*

*a) Guidance for a gradual change in character based on proximity to Hubs and Corridors, The property represents a gradual change in character from its current use and will not have negative impacts due to its distance to residential areas with those residential areas generally consisting of low rise residential development .*

*b) Allowance for new building forms and typologies, such as missing middle housing;*

*c) Direction to built form and site design that support an evolution towards more urban built form patterns and applicable transportation mode share goals; and*

*d) Direction to govern the evaluation of development.*

*5.6.1. 2 Where an Evolving overlay is applied:*

*a) The Zoning By-law shall provide development standards for the built form and buildable envelope consistent with the planned characteristics of the overlay area, which may differ from the existing characteristics of the area to which the*

*overlay applies; and* The zoning for the property allows the proposed mixed uses of a dental clinic and semi detached units.

The proposed use of the property as a dental clinic with some semi detached units on the same property complies with the Official Plan designation for the property.

## **Conclusions**

The proposed development of a new dental clinic building and semi detached residential units at 3130 Woodroffe is consistent with the current zoning and Official Plan policies for the lands and with the proposed servicing modifications/upgrades that are part of this application within the Woodroffe Avenue Right of Way it will allow these lands and other nearby properties to develop in a cost effective manner.

The site represents a development that will allow for:

- a well designed contemporary building that serves the needs of the nearby residential communities
- parking that serves the proposed uses
- a new development that meets setbacks in place based on the current zoning
- buffering through setbacks to adjacent properties.
- No adverse impacts on surrounding properties

Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced through the modified servicing design along Woodroffe that has been proposed and is part of this overall development application submission. This servicing design has been sent previously to the City Infrastructure engineer by our project civil engineer and will be the subject of a City approval process for the installation of new sewers within the Right of Way. In the appendix section of this report we are providing the on site site servicing plan and the complete set of civil engineering drawings for the on site and within the street works are being filed as part of the overall submission to the City.

Landscaping will be provided along the two street frontages and around the perimeter of the parking area and adjacent to the building and around the perimeter of the semi detached units and these landscaping and planted areas will provide screening and buffering to adjacent properties.

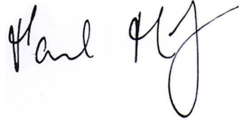
It is our opinion that the proposed development is consistent with the City of Ottawa Official Plan and Zoning By-law policies and regulations. It is being proposed at an appropriate scale of development and will be compatible with



surrounding land uses and will contribute to this area of Barrhaven.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at [probinson@probinsonconsulting.com](mailto:probinson@probinsonconsulting.com)

**P H Robinson Consulting**

A handwritten signature in black ink, appearing to read "Paul Robinson". The signature is fluid and cursive, with the first name "Paul" written in a larger, more prominent script than the last name "Robinson".

Paul Robinson RPP

**APPENDIX**

**SITE SURVEY, SITE PLAN AND ARCHITECTURAL PLANS, ON SITE  
ENGINEERING PLANS AND LANDSCAPE PLAN**

GLEESON WAY

TOPO 26X68

PART OF LOT 16  
CONCESSION 2 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF NEPEAN  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2020

Scale 1: 200  
0 2.5 5 10 15 20 metres

Metric Note  
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

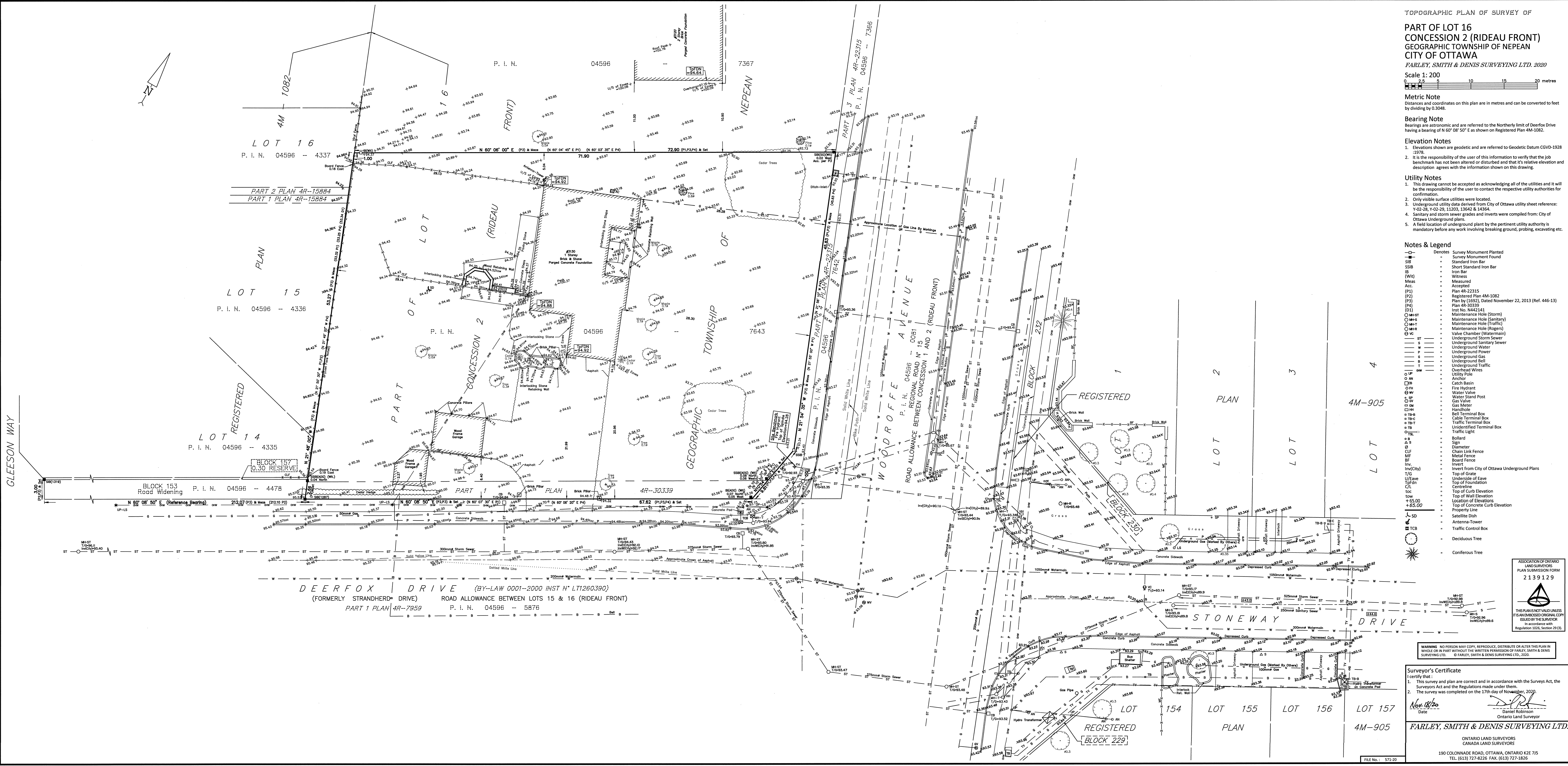
Bearing Note  
Bearings are astronomic and are referred to the Northerly limit of Deerfox Drive having a bearing of N 60° 08' 50" E as shown on Registered Plan 4M-1082.

Elevation Notes  
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1978.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. Underground utility data derived from City of Ottawa utility sheet reference: Y-02-28, Y-02-29, 11203, 13642 & 14364.  
4. Sanitary and storm sewer grades and inverts were compiled from: City of Ottawa Underground plans.  
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

Denotes	Survey Monument Planted
—	Survey Monument Found
SIB	Standard Iron Bar
ISB	Short Standard Iron Bar
IB	Iron Bar
(WIT)	Witness
Meas	Measured
Acc	Accepted
(P1)	Plan 4R-22315
(P2)	Registered Plan 4M-1082
(P3)	Plan 4M-1082, Dated November 22, 2013 (Ref. 446-13)
(P4)	Plan 4R-30339
(D1)	Inst No. N442141
○ M+ST	Maintenance Hole (Storm)
○ M+S	Maintenance Hole (Sanitary)
○ M+H	Maintenance Hole (Rogers)
○ M+V	Maintenance Hole (Watermain)
— ST	Underground Storm Sewer
— S	Underground Sanitary Sewer
— W	Underground Water
— P	Underground Power
— G	Underground Gas
— B	Underground Bell
— T	Underground Traffic
— OW	Overhead Wires
○ LP	Utility Pole
○ AN	Anchor
○ CB	Catch Basin
○ FH	Fire Hydrant
○ WV	Water Valve
○ SV	Water Stand Post
○ GV	Gas Valve
○ GM	Gas Meter
○ HB	Handhole
○ TB-B	Bell Terminal Box
○ TB-C	Cable Terminal Box
○ TB-T	Traffic Terminal Box
○ TB-U	Unidentified Terminal Box
○ TL	Traffic Light
○ B	Bollard
○ S	Sign
○ D	Diameter
○ CLF	Chain Link Fence
○ MF	Metal Fence
○ BF	Board Fence
○ Inv	Invert
○ Inv(City)	Invert from City of Ottawa Underground Plans
○ T/G	Top of Grate
○ U/Eave	Underside of Eave
○ T/Fdn	Top of Foundation
○ C/L	Centreline
○ loc	Top of Curb Elevation
○ tow	Top of Wall Elevation
○ +55.00	Location of Elevations
○ +65.00	Top of Concrete Curb Elevation
○	Property Line
○ SD	Satellite Dish
○	Antenna Tower
○ TCB	Traffic Control Box
○	Deciduous Tree
○	Coniferous Tree



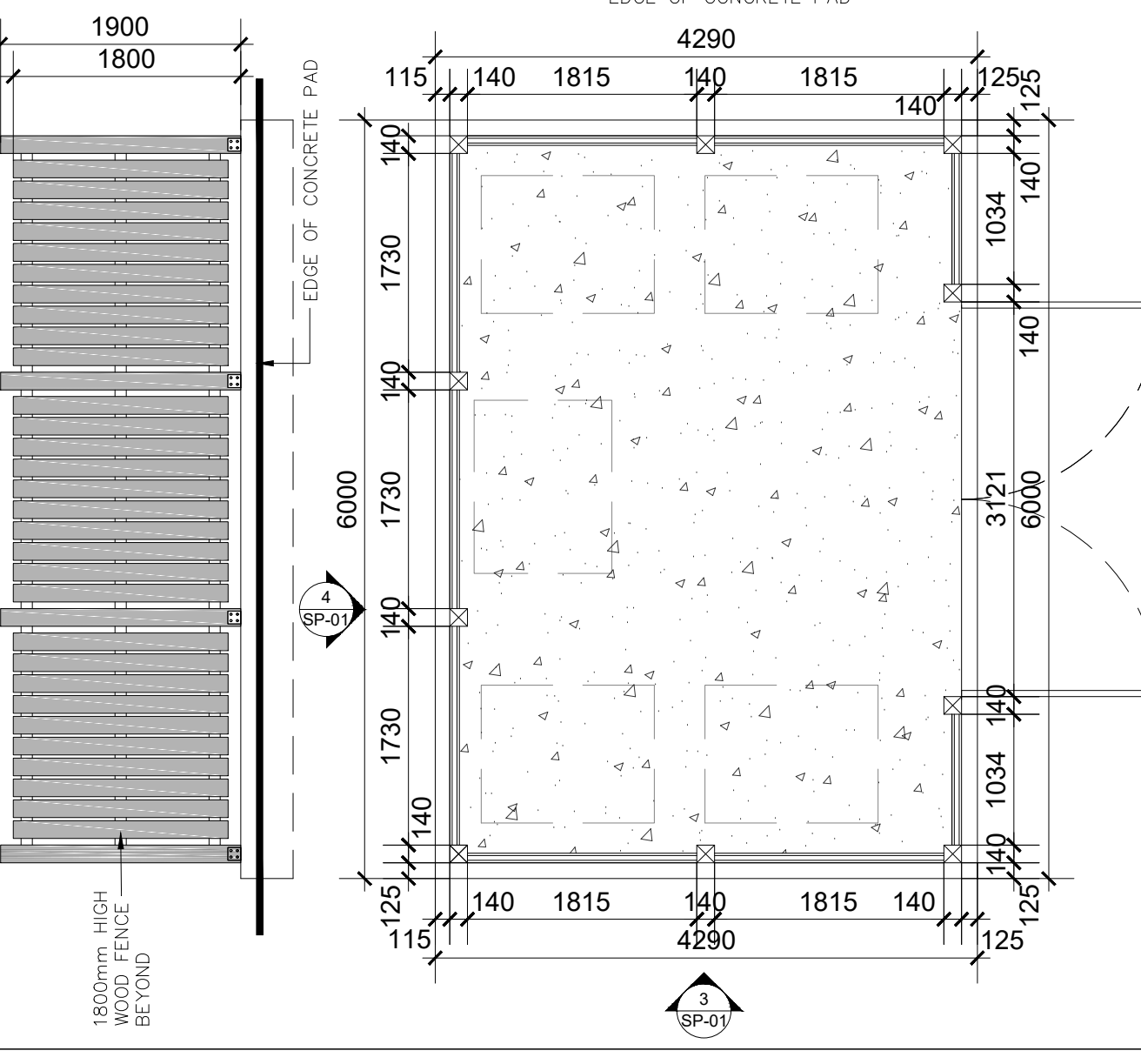
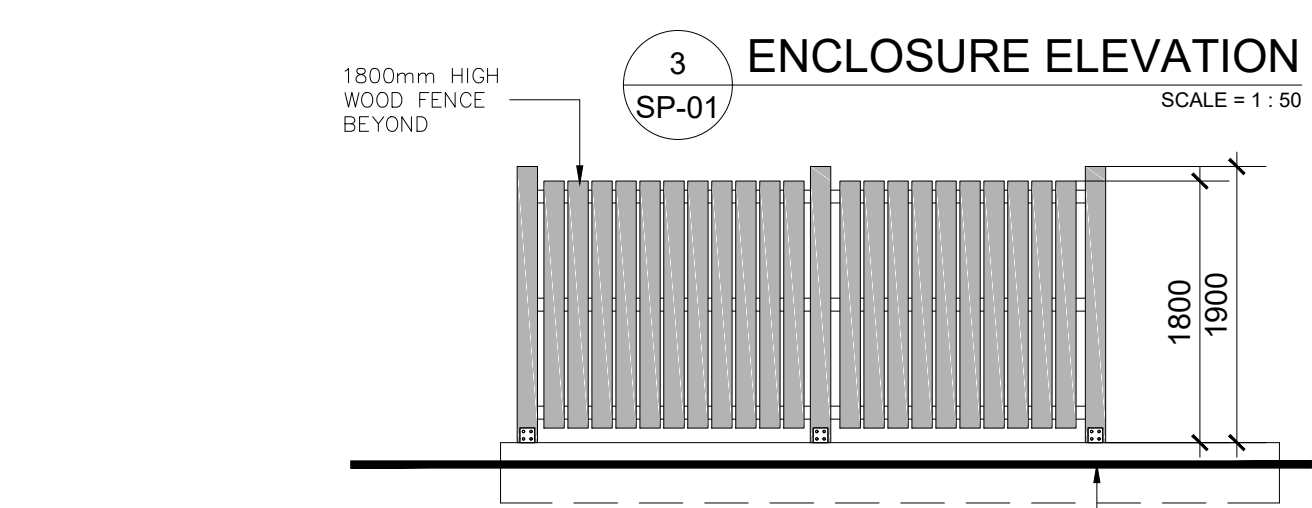
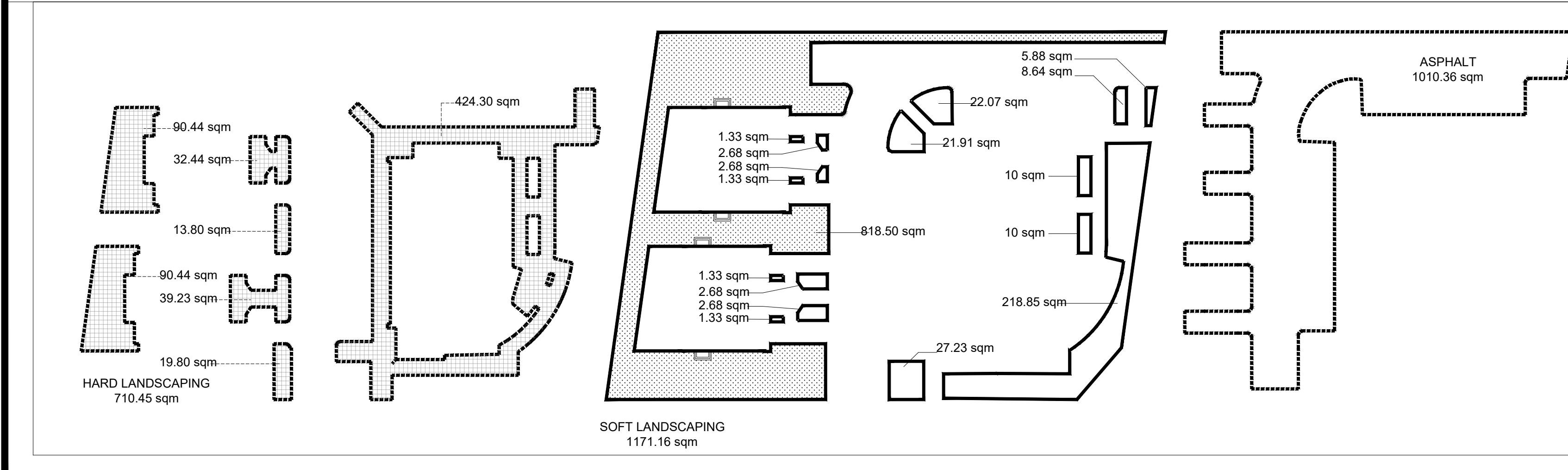
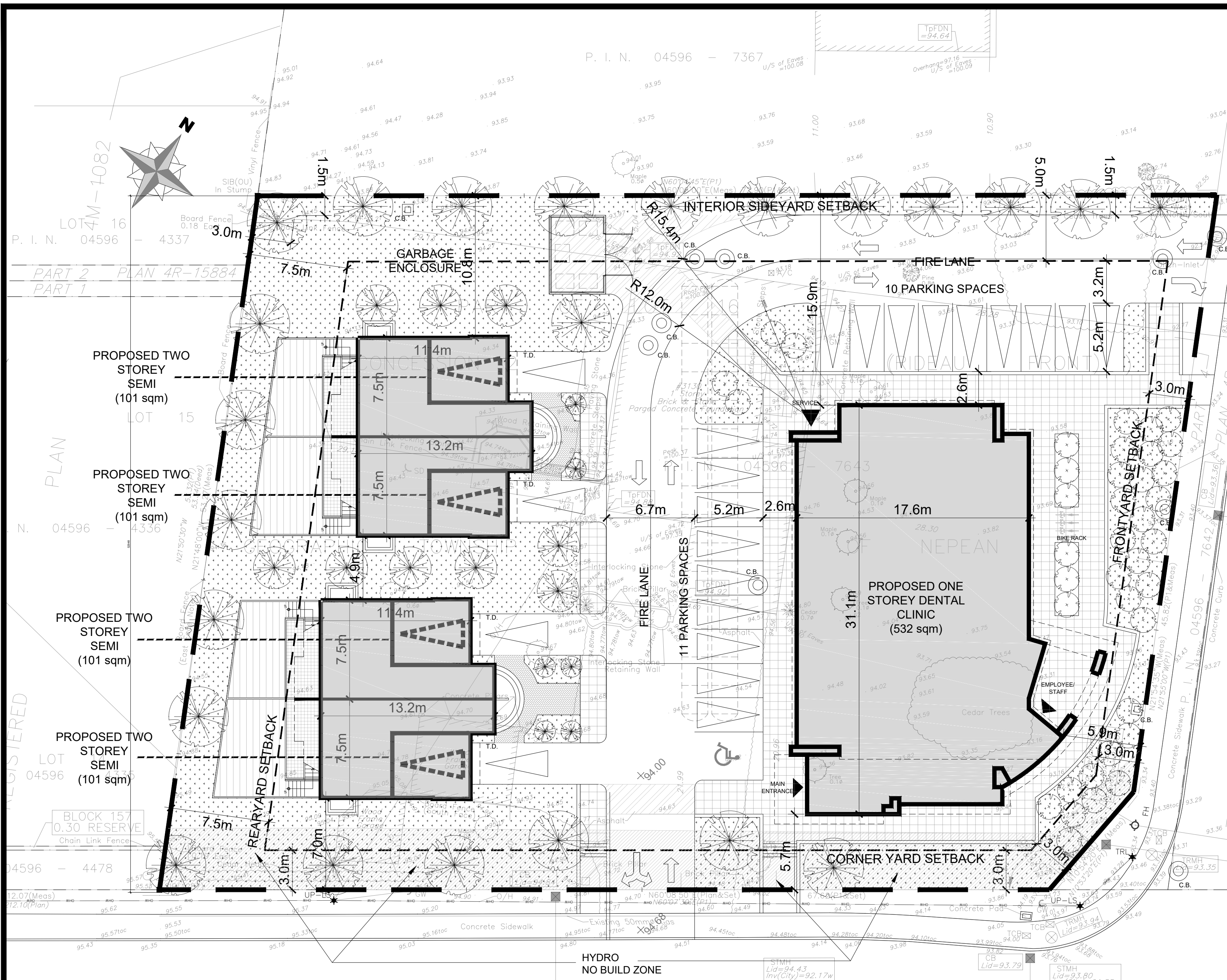
DEERFOX DRIVE (BY-LAW 0001-2000 INST N° LT1260390)  
(FORMERLY STRANDHERD DRIVE) ROAD ALLOWANCE BETWEEN LOTS 15 & 16 (RIDEAU FRONT)  
PART 1 PLAN 4R-7959 P. I. N. 04596 -- 5876

STONEYWAY DRIVE

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2020.

Surveyor's Certificate  
I certify that:  
1. This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 17th day of November, 2020.  
Date: Nov 18/20  
Daniel Robinson  
Ontario Land Surveyor  
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5  
TEL (613) 727-8226 FAX (613) 727-1826



- LEGEND:**
- PROPERTY LINE
  - - - PROPERTY SETBACK
  - OHW — OVERHEAD WIRES
  - ▭ EXISTING BUILDING
  - ▴ BUILDING ENTRANCE
  - W.P. WALL MOUNTED LIGHT
  - H.P. HYDRO POLE
  - F.H. FIRE HYDRANT
  - M.H. MANHOLE
  - C.B. CATCH BASIN
  - ▭ RETAINING WALL
  - ▭ D.C. DEPRESSED CURB
  - X 100.00 EXISTING GRADE
  - 100.00 PROPOSED GRADE
  - ▭ INTERLOCK PAVERS
  - ▭ DESIGNATED FIRE ROUTE
  - ▭ TERRACE
  - ▭ DECK
  - ▭ PRIVACY WALL (7'-0" Height)

No.	REVISIONS	BY	DATE
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05	FOR REVIEW	GB	MAR. 16 2022
04	FOR REVIEW	GB	MAR. 10 2022
03	FOR REVIEW	PE	OCT. 06 2021
02	FOR REVIEW	PE	OCT. 01 2021
01	FOR REVIEW	PE	SEPT. 20 2021

NOT AUTHENTIC UNLESS SIGNED AND DATED

**P<sup>2</sup> concepts**  
725 WOODROFFE AVE. SUITE 300  
OTTAWA, ONTARIO, K1V 6A6

CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.E.

PROJECT

**3130 WOODROFFE AVENUE  
OTTAWA**

DRAWING TITLE

**SITE PLAN**

PROJECT NO.  
0391

DATE  
SEPT., 20, 2021

**SP-01**



1 FULL SITE - FRONT VIEW  
PV-04  
SCALE = N/A



CLIENT:

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03	FOR REVIEW	PE	OCT. 06 2021
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CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E.      DRAWN BY: H.N.      APPROVED BY: P.E.

PROJECT

3130 WOODROFFE AVENUE  
OTTAWA

DRAWING TITLE

PERSPECTIVE VIEWS

PROJECT NO.

0391

DATE

OCT 06, 2021

PV-04



1 DENTAL OFFICE - FRONT VIEW  
 PV-01 SCALE = N/A



2 SEMI-DETACHED HOMES - FRONT VIEW  
 PV-01 SCALE = N/A

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CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: H.N. APPROVED BY: P.E.

PROJECT

3130 WOODROFFE AVENUE  
 OTTAWA

DRAWING TITLE

PERSPECTIVE VIEWS

PROJECT NO.  
 0391  
 DATE  
 OCT 06, 2021

PV-01



1 RESIDENTIAL- FRONT VIEW  
 PV-05 SCALE = N/A



2 RESIDENTIAL- FRONT VIEW 2  
 PV-05 SCALE = N/A

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02	FOR REVIEW	PE	OCT. 05 2021
01	FOR REVIEW	PE	SEPT. 30 2021
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CONSULTING ENGINEERS

STRUCTURAL

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ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: H.N. APPROVED BY: P.E.

PROJECT

3130 WOODROFFE AVENUE  
 OTTAWA

DRAWING TITLE

PERSPECTIVE VIEWS

PROJECT NO.  
 0391  
 DATE  
 OCT 06, 2021

PV-05



1 DENTAL OFFICE - SIDE W/MAIN ENTRANCE VIEW  
 PV-02 SCALE = N/A



2 DENTAL OFFICE - SIDE - FRONT VIEW  
 PV-02 SCALE = N/A

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STRUCTURAL  
 MECHANICAL  
 ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: H.N. APPROVED BY: P.E.

PROJECT  
 3130 WOODROFFE AVENUE  
 OTTAWA

DRAWING TITLE  
 PERSPECTIVE VIEWS

PROJECT NO.  
 0391  
 DATE  
 OCT 06, 2021

PV-02





1 DENTAL OFFICE - SIDE-BACK VIEW  
PV-03 SCALE = N/A



2 DENTAL OFFICE - SIDE-BACK VIEW  
PV-03 SCALE = N/A

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02	FOR REVIEW	PE	OCT. 05 2021
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CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: H.N. APPROVED BY: P.E.

PROJECT

3130 WOODROFFE AVENUE  
OTTAWA

DRAWING TITLE

PERSPECTIVE VIEWS

PROJECT NO.

0391

DATE

OCT 06, 2021

PV-03



1 RESIDENTIAL- EAST ELEVATION  
SCALE = N/A



2 DENTAL CENTRE- EAST ELEVATION  
SCALE = N/A

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CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E.      DRAWN BY: H.N.      APPROVED BY: P.E.

PROJECT

3130 WOODROFFE AVENUE  
OTTAWA

DRAWING TITLE

ELEVATIONS CONT.

PROJECT NO.

0391

DATE

NOV 03, 2021

ELE-02





1 SOUTH ELEVATION  
SCALE = N/A



2 NORTH ELEVATION  
SCALE = N/A

CLIENT:

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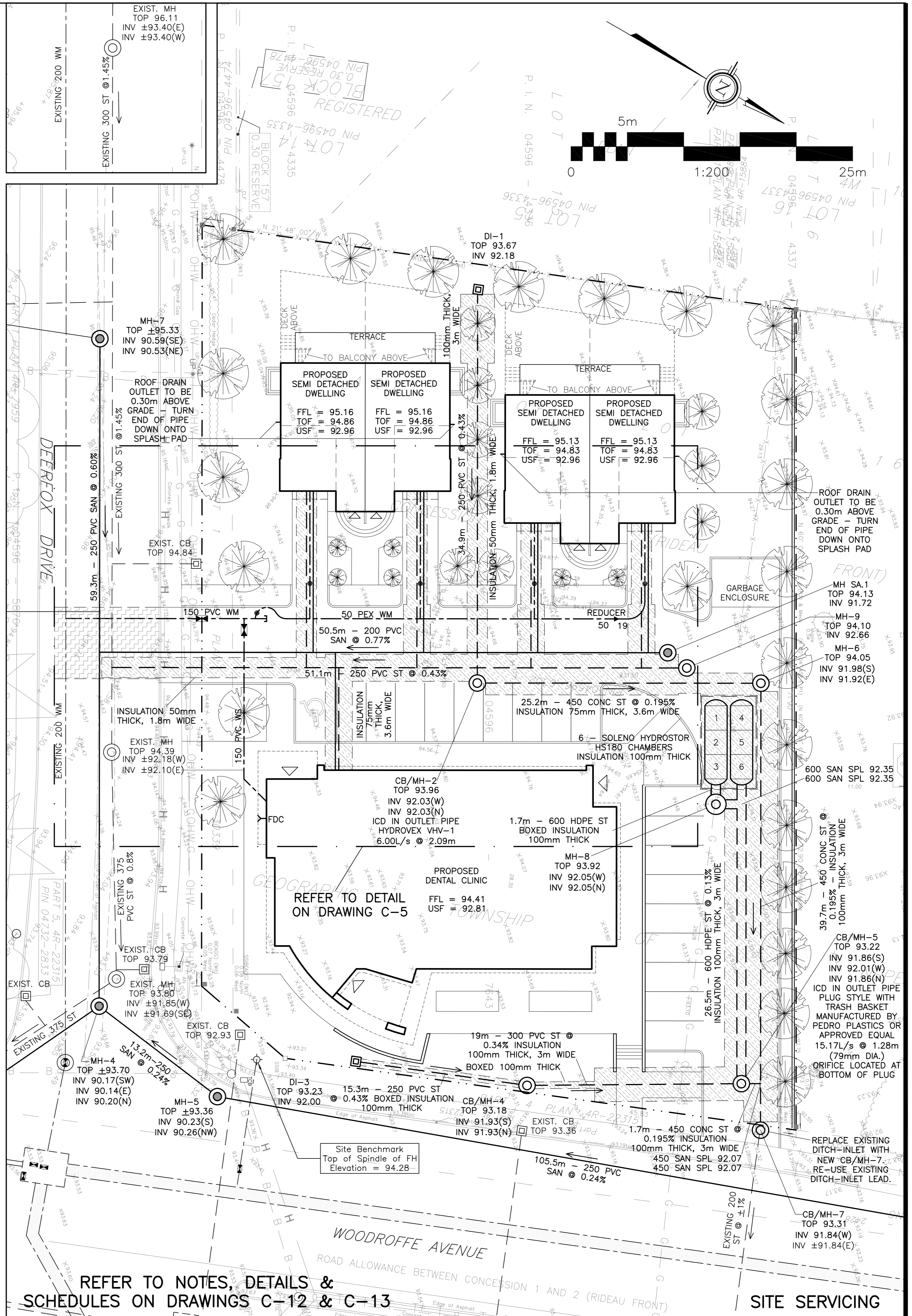
DESIGNED BY:	DRAWN BY:	APPROVED BY:
P.E.	H.N.	P.E.

PROJECT  
3130 WOODROFFE AVENUE  
OTTAWA

DRAWING TITLE  
ELEVATIONS

PROJECT NO.  
0391  
DATE  
NOV 03, 2021

ELE-01



**LEGEND**

- FFL FINISHED FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BFL BASEMENT FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING
- PROPERTY LINE
- CB CATCH-BASIN
- MH STORM MANHOLE
- CB/MH CATCH-BASIN/MANHOLE
- MH SANITARY MANHOLE
- VC VALVE CHAMBER
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- CS CURB STOP & STANDPOST
- VB VALVE & VALVE BOX
- ⊙ WATER METER
- ⊙ REMOTE WATER METER
- SAN SANITARY SEWER
- ST STORM SEWER
- WS/WM WATER SEWER/WATERMAIN
- OBV OBVERT OF PIPE
- SPL SPRINGLINE OF PIPE
- INV INVERT OF PIPE
- 150mm BARRIER CURB
- D.C. DEPRESSED CURB
- ROAD CUT REINSTATEMENT



No.	DATE	REVISION
3	MAR 17-22	ISSUED FOR APPROVAL
2	FEB 17-22	ISSUED FOR COORDINATION
1	DEC 7-22	ISSUED FOR COORDINATION

**D. B. GRAY ENGINEERING INC.**  
 Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain  
 700 Long Point Circle 613-425-8044  
 Ottawa, Ontario d.gray@dbgrayengineering.com

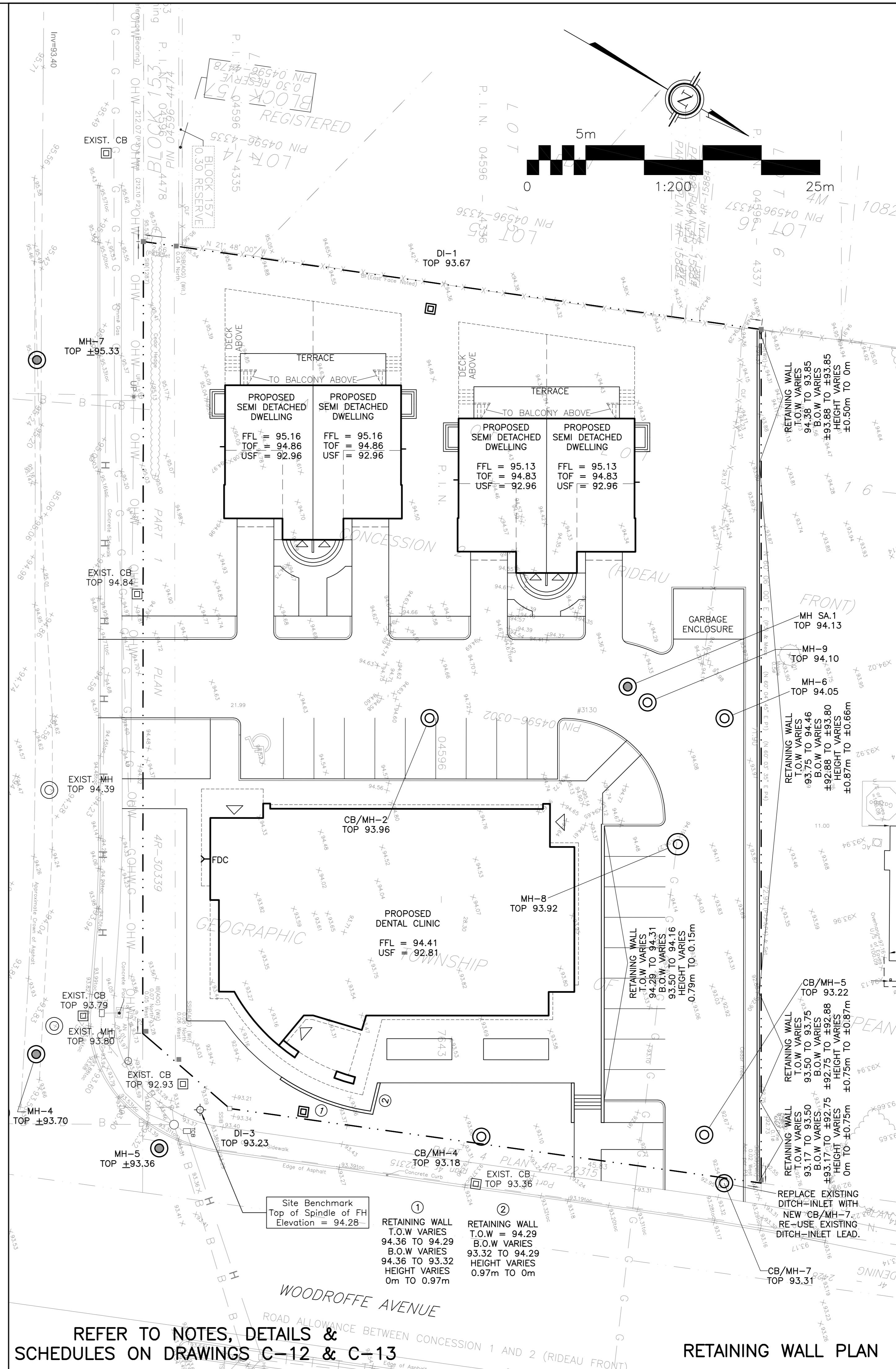
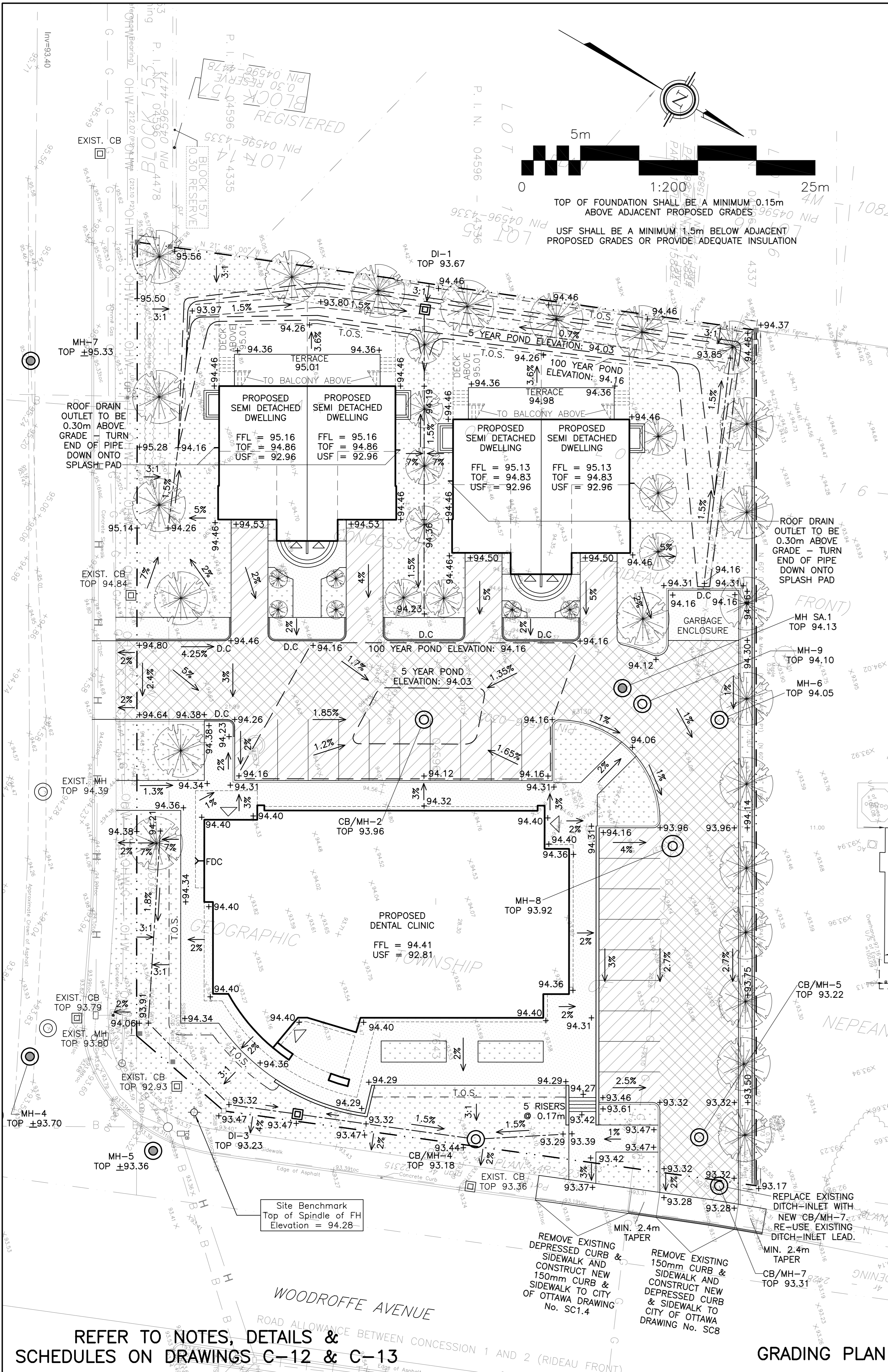
Project  
**PROPOSED  
 1 STOREY DENTAL CLINIC &  
 4 2-STOREY SEMI-DETACHED,  
 3130 WOODROFFE AVENUE  
 OTTAWA, ONTARIO**

Drawing Title  
**SITE SERVICING PLAN**

Engineer's Seal  
  
 Drawn D.B.G.  
 Hor. Scale 1:200  
 Vert. Scale  
 Date DEC 7-21  
 Job No. 20055  
 Drawing No.  
**C-1  
 of 5**

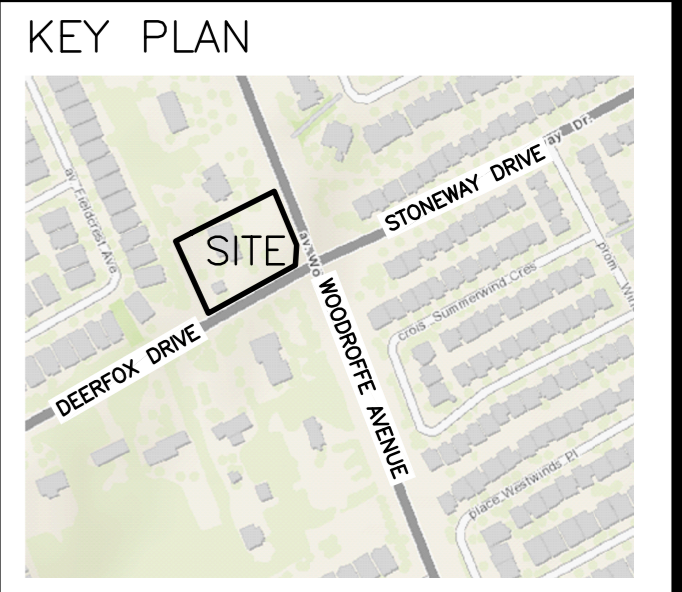
REFER TO NOTES, DETAILS &  
 SCHEDULES ON DRAWINGS C-12 & C-13

**SITE SERVICING**



**LEGEND**

- FFL FINISHED FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BFL BASEMENT FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING
- PROPERTY LINE
- CB CATCH-BASIN
- MH STORM MANHOLE
- CB/MH CATCH-BASIN/MANHOLE
- MH SANITARY MANHOLE
- VC VALVE CHAMBER
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- - - - - EXISTING GRADE ELEVATION
- +99.99 PROPOSED GRADE ELEVATION
- 2% EXISTING SLOPE OF GRADE
- 2% PROPOSED SLOPE OF GRADE
- EMERGENCY OVERLAND FLOW
- - - - - TOP OF SLOPE
- - - - - BOTTOM OF SLOPE
- - - - - CENTERLINE OF SWALE
- 150mm CURB
- - - - - DEPRESSION CURB
- ROOF DRAIN
- /// LIGHT-DUTY PAVEMENT
- /// HEAVY-DUTY PAVEMENT
- CONCRETE
- LANDSCAPE



No.	DATE	REVISION
3	MAR 17-22	ISSUED FOR APPROVAL
2	FEB 17-22	ISSUED FOR COORDINATION
1	DEC 7-22	ISSUED FOR COORDINATION

**D. B. GRAY ENGINEERING INC.**  
 Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Waterworks  
 700 Long Point Circle 613-425-8044  
 Ottawa, Ontario d.gray@dbgrayengineering.com

Project  
**PROPOSED  
 1 STOREY DENTAL CLINIC &  
 4 2-STOREY SEMI-DETACHED,  
 3130 WOODROFFE AVENUE  
 OTTAWA, ONTARIO**

Drawing Title  
**GRADING PLAN &  
 RETAINING WALL PLAN**

Engineer's Seal  
  
 NOT VALID UNLESS SIGNED & DATED

Drawn D.B.G.  
 Hor. Scale 1:200  
 Vert. Scale 1:200  
 Date DEC 7-21  
 Job No. 20055  
 Drawing No.  
**C-2  
 of 5**