

- 1 MONOLITHIC CONCRETE WITH SAW CUT PATTERNS

2 PAVERS

3 STONE DUST PATH

4 ASPHALT PAVING

5 PAINTED ASPHALT

6 SOFT LANDSCAPING

7 PLANTING BED

8 BIODIVALE

9 WALKWAY OVER BIOSWALE

10 WHEEL STOP

11 DEPRESSSED CURB AND THUSI

12 "NO LEFT TURN" SIGN

13 OUTLINE OF P1 BELOW

14 RETAINING WALL, REFER TO LANDSCAPE PATTERN

15 SOLID STEEL FENCE, REFER TO LANDSCAPE

16 SHAMISE CONNECTION

17 AIRWELL PARKADE AIR INTAKE

18 CONCRETE GAS METER SUPPORT & SCREEN, BUILDING SIGNAGE

19 FIRE HYDRANT, REFER TO CIVIL

20 TRANSFORMER AND SWITCH GEAR, REFER TO ELECTRICAL

21 BUS PAD AND SHELTER

22 Pylon SIGN WITH BACKLIT LETTERS

23 EXISTING TRANSFORMER TO BE RELOCATED

24 WOOD POST - RAIL FENCE, REFER TO LANDSCAPE

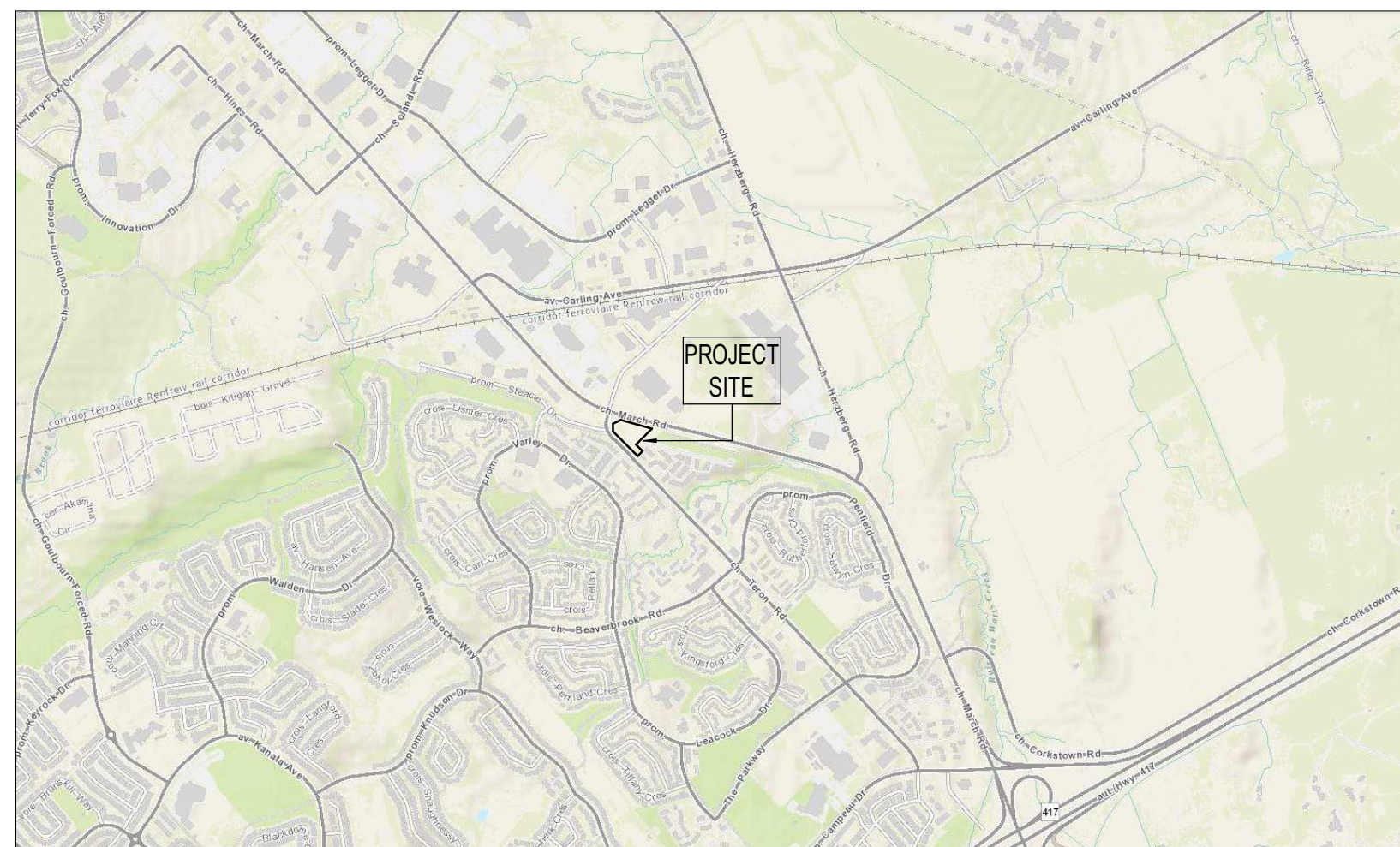
25 WOOD POST - RAIL FENCE, REFER TO LANDSCAPE
- BUILDING ENTRANCE

BUILDING EXIT

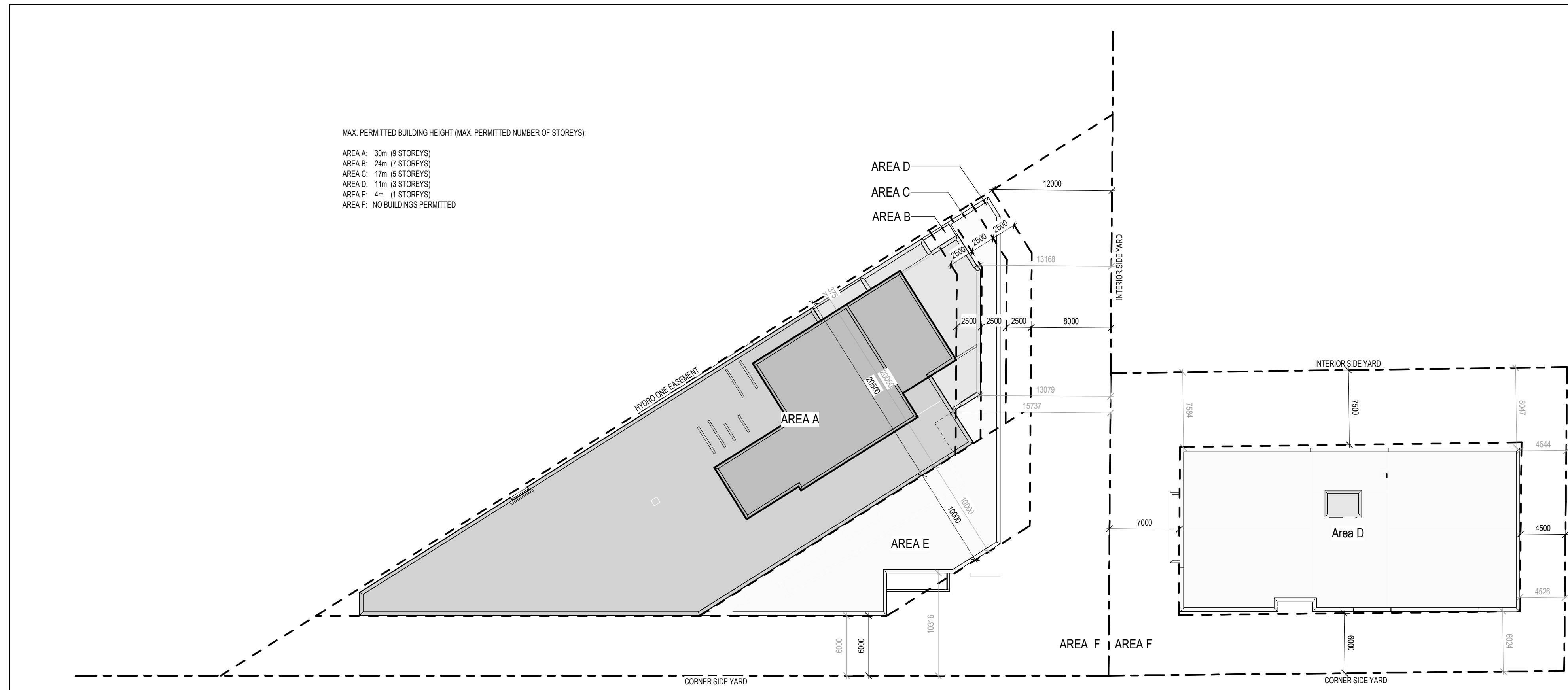
BICYCLE PARKING

AMENITY AREAS

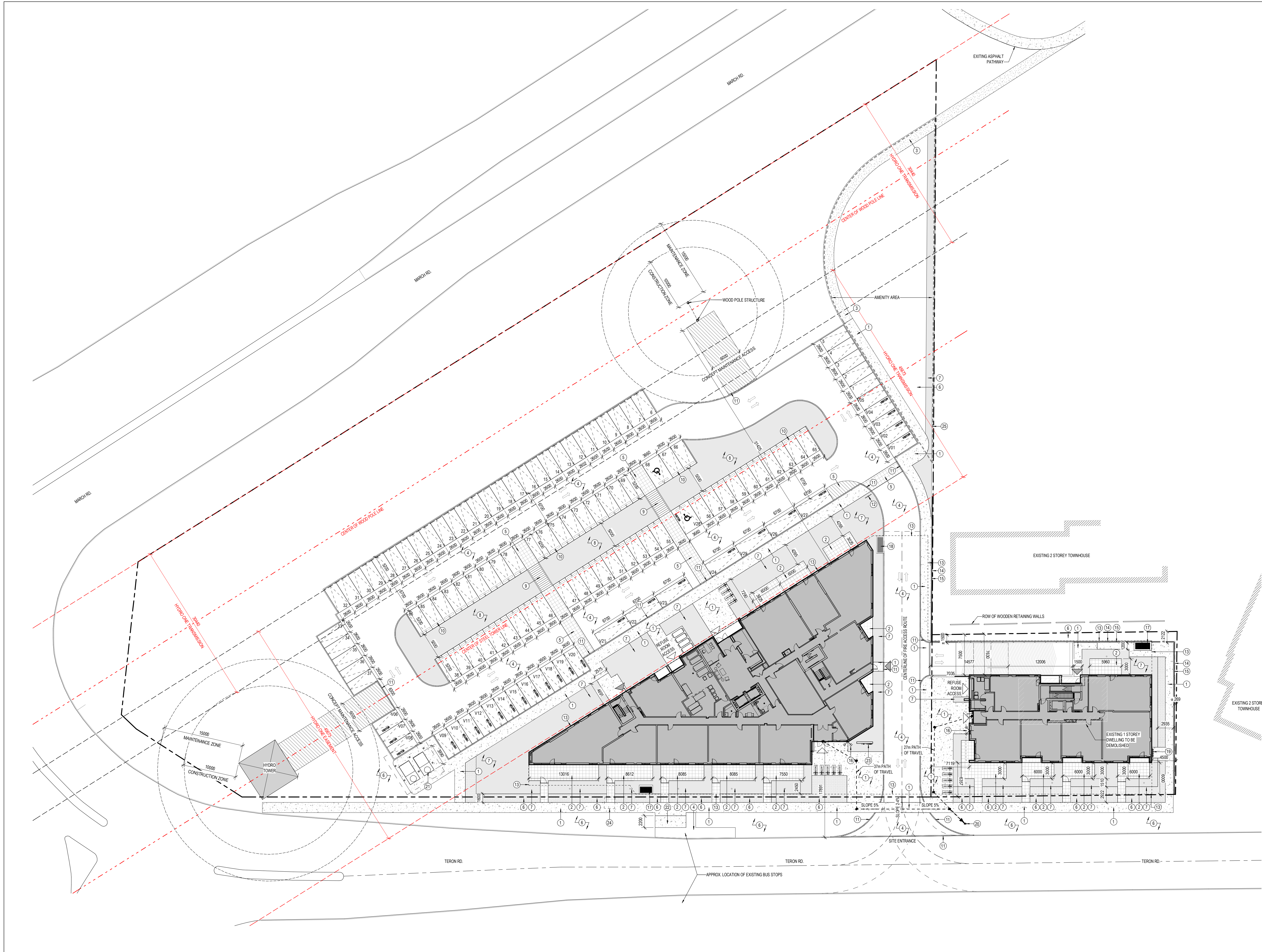
SYMBOLS LEGEND



4 LOCATION PLAN
SCALE: 1:1,300



4 ZONING SETBACK SCHEDULE
SCALE: 1:300



3 SITE PLAN
SCALE: 1:300

1151 TERON

1151 TERON - UNIT BREAKDOWN (PER FLOOR)					
LEVEL	1 BD	1 BD + DEN	2 BD	2 BD + DEN	COUNT
LEVEL 01	4	1	3	3	11
LEVEL 02	5	4	4	1	14
LEVEL 03	5	4	4	1	14
LEVEL 04	5	4	4	1	14
LEVEL 05	5	4	4	1	14
LEVEL 06	5	4	4	1	14
LEVEL 07	5	4	4	1	14
LEVEL 08	6	3	2	1	12
LEVEL 09	5	4	2	2	13
					120

1151 TERON - GROSS FLOOR AREA (PER FLOOR)		
LEVEL	AREA (SF)	AREA (M ²)
LEVEL 01	2481 SF	2304 M ²
LEVEL 02	1480 SF	1356 M ²
LEVEL 03	1133 SF	1056 M ²
LEVEL 04	1133 SF	1056 M ²
LEVEL 05	1133 SF	1056 M ²
LEVEL 06	1133 SF	1056 M ²
LEVEL 07	1133 SF	1056 M ²
LEVEL 08	1338 SF	1244 M ²
LEVEL 09	1038 SF	961 M ²
MECH	211 SF	195 M ²
TOTAL GROSS AREA:		13091 SF

1151 TERON - GROSS LEASABLE AREA (PER FLOOR)		
LEVEL	AREA (SF)	AREA (M ²)
LEVEL 01	1071 SF	971 M ²
LEVEL 02	1056 SF	979 M ²
LEVEL 03	1004 SF	933 M ²
LEVEL 04	1056 SF	979 M ²
LEVEL 05	1004 SF	933 M ²
LEVEL 06	1056 SF	979 M ²
LEVEL 07	1004 SF	933 M ²
LEVEL 08	1229 SF	1138 M ²
LEVEL 09	907 SF	844 M ²
TOTAL LEAS. AREA:		9768 SF

1131 TERON

1131 TERON - UNIT BREAKDOWN (PER FLOOR)					
LEVEL	1 BD	2 BD	2 BD + DEN	Count	
LEVEL 01	4	1	1	6	
LEVEL 02	2	2	2	6	
LEVEL 03	2	2	2	6	
					18

1131 TERON - GROSS FLOOR AREA (PER FLOOR)		
LEVEL	AREA (SF)	AREA (M ²)
LEVEL 01	1279 SF	1191 M ²
LEVEL 02	866 SF	799 M ²
LEVEL 03	871 SF	807 M ²
TOTAL GROSS AREA:		2867 SF

1131 TERON - GROSS LEASABLE AREA (PER FLOOR)		
LEVEL	AREA (SF)	AREA (M ²)
LEVEL 01	436 SF	405 M ²
LEVEL 02	320 SF	297 M ²
LEVEL 03	320 SF	297 M ²
TOTAL GROSS AREA:		1452 SF

2 PROJECT STATISTICS
SP-01

Site Statistics			
Address:	1131 and 1151 Teron Road		
Zoning Designation:	RS(A)2(14) S327 (Residential Fifth Density Zone)		
Lot Width:	174.4 meters		
Total Lot Area:	14,807 m ²		
Numbers of Units Proposed:	Total	(1151 Teron)	(1131 Teron)
	138	120	18

Zoning Mechanism	Required	Provided (1151 Teron)	Provided (1131 Teron)
Min. Lot Width Table 164(1)	1151 Teron 25m 1131 Teron 18m	128.7m	45.7m
Min. Lot Area Table 164(1)	1151 Teron 1000m ² 1131 Teron 540m ²	13,416m ²	1391m ²
Min. Corner Side Yard Setback Table 164(1) Zoning Setback Schedule	1151 Teron 6m 1131 Teron 6m	6m or more	6m or more
Min. Interior Side Yard Setback Table 164(1) Zoning Setback Schedule	1151 Teron Varies, as per Schedule 327 (SP-02) 1131 Teron 7.5m	10.7m (Floor 1) 13m (Floors 2-7) 15.5m (Floors 8-9)	7.5m or more
Min. Rear Yard Setback Table 164(1) Zoning Setback Schedule	1151 Teron 4.5m 1131 Teron 4.5m	-	4.5m
Maximum Building height Zoning Setback Schedule 131(6)(a)	1151 Teron See Zoning Setback Schedule (ZSP-01) 1131 Teron 11m	4m (top of Floor 1) 22m (top of Floor 7) 28m (top of Floor 9)	9m
Minimum Width of Private Way 107(1)(a)(ii)	6.7m	6.7m	6.7m
Min. Setback of any wall from a private way Table 131(2)	1.8m	1.8m	9.5m
Min. Setback for garage from private way Table 131(3)	5.2m	-	34m
Min. Separation between buildings Table 131(4)(b)	3m	17.8m	-
Width of private way with parallel visitor parking...	8.5m	9.3m	-
Minimum Parking Space Rates Area C Table 101(R11-12)	166 Spaces (138 units x 1.2)	86 Spaces on surface 86 Spaces underground Total: 172 Spaces	
Minimum Visitor Parking Rates Table 102(1)	28 Spaces (138 units x 0.2)	28 Spaces on surface	
Small Car Parking Spaces 106(3)(a)	Max. 66 Spaces (40% of 166)	29 Spaces underground	
Accessible Parking Spaces Traffic and Parking By-law 11(1/2)	3 Spaces	3 Spaces	2 Spaces
Landscape for Parking Lots Table 110(b)	1.5m - Landscape Buffer 459m ² - Interior Landscaping (Area of Parking Lot: 3061m ² x 15%)	Min. 2.2m - Landscape Buffer >459m ² - Landscaping	1.5m - Landscape Buffer
Bicycle Parking Rates Table 111(A)(ii)	69 Spaces (138 units x 0.5)	64 Spaces = 9 Visitor Spaces Total: 80 + 14 Spaces	16 Spaces = 5 Visitor Spaces
Amenity Area Table 137(3-4)	Total Amenity Area: 828m ² (6m ² x 138 units) Communal Area: 400m ² (Minimum 50% of Total Amenity Area)	Private Amenity Area: 739m ² Communal Area: 1044m ² -32m ² Lobby -456m ² Outdoor path -49m ² L1 Gym -50m ² L8 Lounge -57m ² L8 Terrace Total Amenity Area: 1950m ²	Private Amenity Area: 739m ² Total Amenity Area: 1950m ²
Min. Landscaped Area 165(b)	4442m ² (30% of 14,807m ² lot area)	6442m ²	416m ²
		Total Landscaped Area: 7028m ²	

1 ZONING
SP-01 SCALE: 1:1

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
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 - The Architectural drawings are to be used in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Locations shown on the Architectural Drawings shall govern over those shown on the Structural, Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as discussed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purposes.

1151 TERON
1131-1151 Teron Road
Ottawa, ON

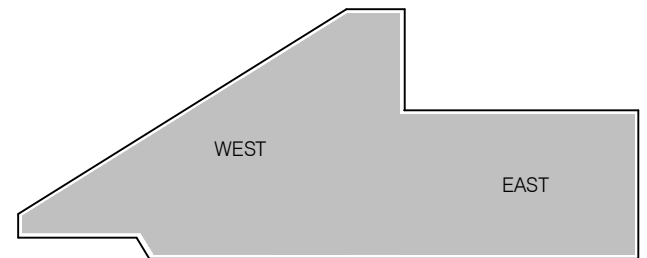
PROJ. SCALE DRAWN REVIEWED
2016 As Indicated AR RMK

SITE PLAN

SP-01

GENERAL ARCHITECTURAL NOTES:

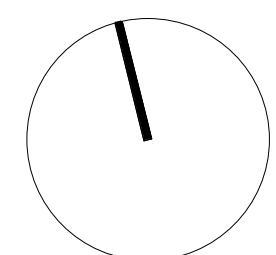
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- Locations of proposed or existing Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
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KEY PLAN

12	RE-ISSUED FOR SITE PLAN CONTROL	22-03-17
11	ISSUED FOR TENDER	22-02-24
10	ISSUED FOR REVIEW	22-02-18
9	ISSUED FOR COORDINATION	22-02-15
8	ISSUED FOR COORDINATION	22-02-02
7	RE-ISSUED FOR SITE PLAN CONTROL	22-01-14
6	ISSUED FOR ADDENDUM 1	22-01-13
5	ISSUED FOR COORDINATION	21-12-24
4	ISSUED FOR REVIEW	21-12-24
3	ISSUED FOR PERMIT	21-12-01
2	ISSUED FOR COORDINATION	21-11-24
1	ISSUED FOR COORDINATION	21-11-09

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

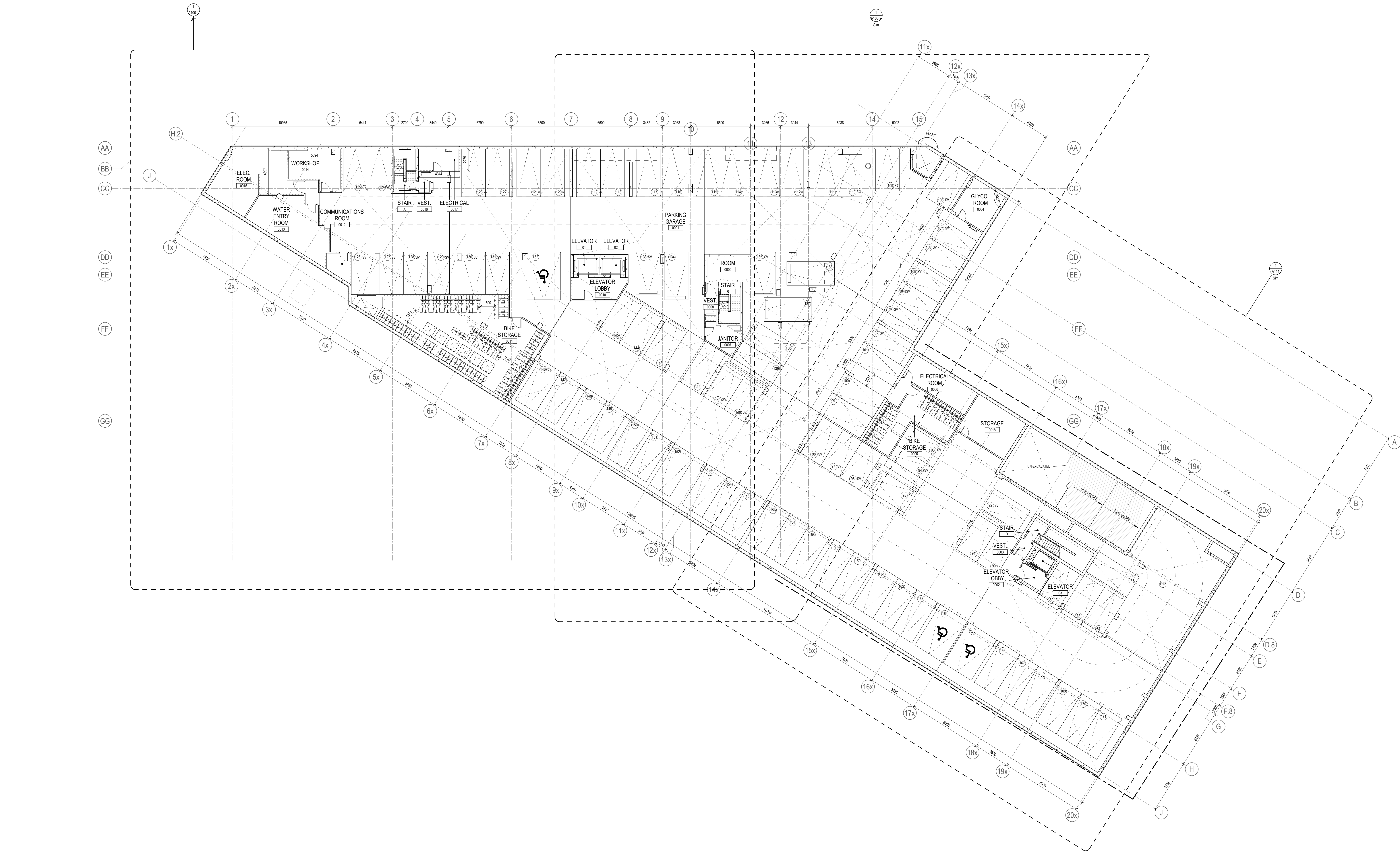
1151 TERON

1131-1151 Teron Road
Ottawa, ON

PROJ.	SCALE	DRAWN	REVIEWED
2016	1 : 150	JDH	RMK

LEVEL P1 - OVERALL FLOOR PLAN

A100



1 LEVEL P1 - OVERALL FLOOR PLAN
SCALE: 1:150

KEYNOTE LEGEND - FLOOR PLANS

P12 LINE OF BUILDING ABOVE.