

2705460 ONTARIO INC.

**1151 AND 1131 TERON ROAD RESIDENTIAL
DEVELOPMENT, OTTAWA, ON
SERVICING REPORT**

FEBRUARY 18, 2022
3RD SUBMISSION





1151 AND 1131 TERON ROAD, RESIDENTIAL DEVELOPMENT, OTTAWA, ON SERVICING REPORT

2705460 ONTARIO INC.

**SITE PLAN APPLICATION
3RD SUBMISSION**

**PROJECT NO.: 211-01794-00
DATE: FEBRUARY 2022**

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1 GENERAL

1.1 EXECUTIVE SUMMARY

WSP was retained by 2705460 Ontario Inc. C/O Anand Aggarwal to provide servicing, grading and stormwater management design services, in support of the site plan approval, for the proposed residential development located at 1151 and 1131 Teron Road, north of Teron Road, south of March Road and east of Steacie Drive. The proposed development consists of two residential towers, 1151 Teron Road – 9 storeys and 1131 Teron Road – 3 storeys, over 1 level of underground parking garage. This report will provide sufficient detail to demonstrate that the proposed development can be supported by the existing municipal infrastructure services, such as watermain, sanitary and storm sewers and that the servicing design conforms to the applicable standards and guidelines. The report will also include measures to be taken during the construction to minimize erosion and sedimentation. A separate report (1151 and 1131 Teron Road – Stormwater Management Report) will be provided detailing stormwater management approach, addressing the quantity control and quality measures in accordance with the applicable guidelines.

Currently the land proposed for the 1151 Teron Road residential development is natural landscaping area with mainly covered by grass and trees. The gross building area for 1151 is 9,889.0 m². The land proposed for the 1131 Teron Road residential development is occupied by a bungalow and drawing. The site is surrounded by commercial and residential development. It is part of lot 5 concession 4, Geographic Township of March, now City of Ottawa (refer to Appendix A for the Topographical Survey Plan by Annis, O'Sullivan, Vollebakk Ltd, February 2021). Based on the topographic survey, the 1151 Teron Road ground, predominantly grass and shrubs, sloping from the high elevation of 89.71 m in the south to the March Road ditch in the north of the site. For 1131 Teron Road, the overall topography is draining north to south toward Teron Road. Existing on-site detention facilities have not been constructed in the existing sites. The existing topographic conveys overland runoff to March Road Ditch and Teron Road ROW. Quality control will be provided as specified by the MVCA.

The City of Ottawa required that the design of a drainage and stormwater management system in this development must be prepared in accordance with the following documents:

- Sewer Design Guidelines, City of Ottawa, October 2012;
- Stormwater Management Planning and Design Manual, Ministry of the Environment, March 2003; and
- Stormwater Management Facility Design Guidelines, City of Ottawa, April 2012

This report was prepared utilizing servicing design criteria obtained from available sources, and outlines the design for water, sanitary wastewater, and stormwater facilities.

The format of this report matches that of the servicing study checklist found in Section 4 of the City of Ottawa's Servicing Study Guidelines for Development Applications, November 2009.

The following municipal services are available within Teron Road to the development as recorded from as-built drawings from City of Ottawa:

March Road: Road Side Ditch

Teron Road:

- 225 and 300 mm conc storm sewer, 610mm watermain.

Steacie Drive:

- 305mm watermain.

Weeping Willow Lane:

- 250 mm sanitary sewer.

It is proposed that:

- On-site stormwater management systems, bioswale will be provided to attenuate flow rates leaving the new parking lot to March Road ditch.
- On-site stormwater management systems, employing roof storage will be provided to attenuate flow rates leaving new building to March Road ditch.
- Existing drainage patterns, previously established controlled flow rates will be maintained. Refer to the stormwater management report for details.

1.2 DATE AND REVISION NUMBER

This version of the report is the third revision, dated February 18, 2022.

1.3 LOCATION MAP AND PLAN

The proposed residential development at 1151 and 1131 Teron Road, in the City of Ottawa at the location shown in Figure 1-1 below.

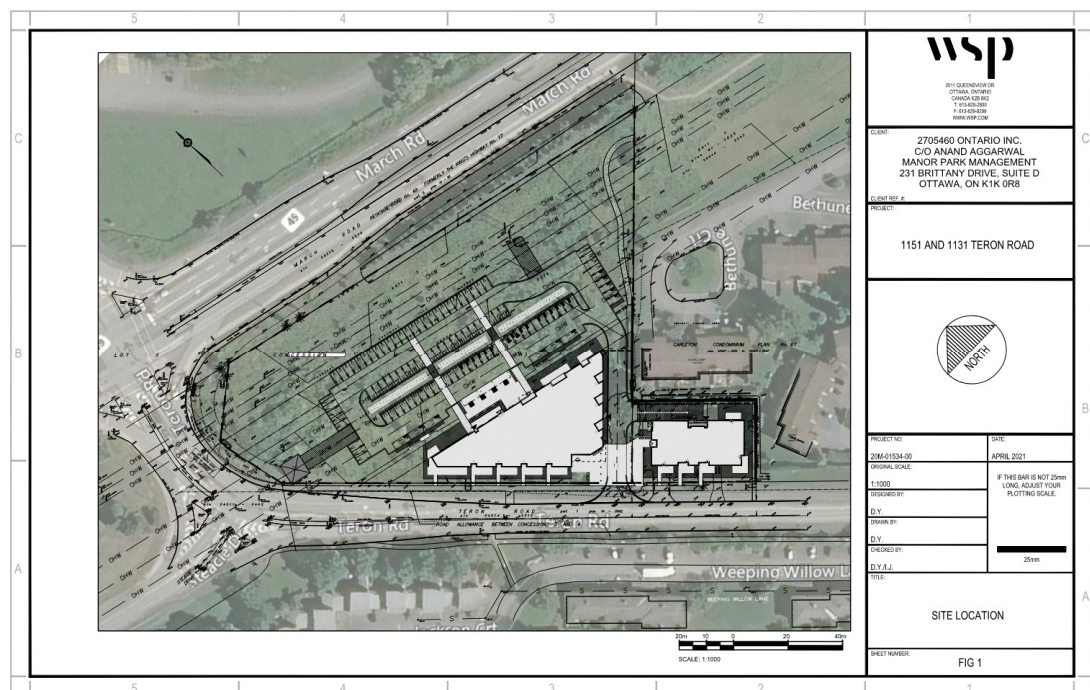


Figure 1-1 Site Location

1.4 ADHERENCE TO ZONING AND RELATED REQUIREMENTS

The proposed property use will be in conformance with zoning and related requirements prior to approval and construction and is understood to be in conformance with current zoning.

1.5 PRE-CONSULTATION MEETINGS

A pre-consultation meeting was held with the City of Ottawa on January 14, 2021. Notes from this meeting are provided in Appendix A.

1.6 HIGHER LEVEL STUDIES

The review for servicing has been undertaken in conformance with, and utilizing information from, the following documents:

- Ottawa Sewer Design Guidelines, Second Edition, Document SDG002, October 2012, City of Ottawa including:
 - Technical Bulletin ISDTB-2012-4 (20 June 2012)
 - Technical Bulletin ISDTB-2014-01 (05 February 2014)
 - Technical Bulletin PIEDTB-2016-01 (September 6, 2018)
 - Technical Bulletin ISDTB-2018-01 (21 March 2018)
 - Technical Bulletin ISDTB-2018-04 (27 June 2018)
 - Ottawa Design Guidelines – Water Distribution, July 2010 (WDG001), including:
 - Technical Bulletin ISDTB-2014-02 (May 27, 2014)
 - Technical Bulletin ISTB-2018-02 (21 March 2018)
 - Stormwater Management Planning and Design Manual, Ontario Ministry of the Environment and Climate Change, March 2003 (SMPDM).
 - Design Guidelines for Drinking-Water Systems, Ontario Ministry of the Environment and Climate Change, 2008 (GDWS).
 - Fire Underwriters Survey, Water Supply for Public Fire Protection (FUS), 1999.
-

1.7 STATEMENT OF OBJECTIVES AND SERVICING CRITERIA

The objective of the site servicing is to meet the requirements for the proposed modification of the site while adhering to the stipulations of the applicable higher-level studies and City of Ottawa servicing design guidelines.

1.8 AVAILABLE EXISTING AND PROPOSED INFRASTRUCTURE

As described above, a municipal storm sewer and a watermain are located within Teron Road right of way. But the city has stated connecting to the 610 mm watermain along Teron Road is not allowed. Watermain connection is required to route to the 300 mm watermain along Steacie Drive. Dual water services will be connected to the 300 mm watermain along Steacie Drive for redundancy. Since no sanitary sewer is anticipated along Teron Road. New sanitary sewer will be connected to the

existing sanitary sewers along Weeping Willow Lane from the proposed development. A new piped stormwater system conveys the proposed parking lot drainage to March Road ditch. Quantity control is required to restrict the discharge leaving the development areas to March Road ditch, as noted in the Stormwater Management Report. Thus, the on-site storm runoff for the south side will be captured by the proposed deck drains and roof drains and directed to March Road ditch to the north of the site. The proposed parking lot will be captured by the proposed bio-swale and directed to the March Road ditch to the north of the site.

The existing boundary road at the site will remain open. Temporary one lane closure for Teron Road is foreseen during the connection and installation of the proposed watermain to Steacie Drive and Teron Road intersection.

1.9 ENVIRONMENTALLY SIGNIFICANT AREAS, WATERCOURSES AND MUNICIPAL DRAINS

The proposed development site is surrounded by commercial and residential lands. The subjected site is divided into parking lot and building parcel. Runoff from parking lot and the proposed buildings are directed to the March Road ditch north of the site. Bio-swale and Oil grit separator have been proposed to provide quality control as specified by the MVCA.

1.10 CONCEPT LEVEL MASTER GRADING PLAN

A detailed grading plan for the development site has been developed, matching the existing overland flow pattern of directing overflow drainage to March Road ditch and Teron Road. The site topographic survey, included in Appendix A, provides evidence of direction of overland flow of the site from south to north.

Grading will employ terraced slopes of 3H:1V to provide transitions from the new work areas to existing grades. No changes will be made to grades at the property perimeter.

1.11 IMPACTS ON PRIVATE SERVICES

There are no existing domestic private services (septic system and well) located on the site. There are no neighbouring properties using private services.

1.12 DEVELOPMENT PHASING

No development phasing is expected for the current proposal.

1.13 GEOTECHNICAL STUDY

A geotechnical investigation report has been prepared by Paterson Group, project number, PG5283-1, dated November 29, 2021, and its recommendations has been taken into account in developing the engineering specifications.

1.14 DRAWING REQUIREMENT

The engineering plans submitted for site plan approval are in compliance with City requirements.

2 WATER DISTRIBUTION

2.1 CONSISTENCY WITH MASTER SERVICING STUDY AND AVAILABILITY OF PUBLIC INFRASTRUCTURE

There are an existing 305mm diameter municipal watermain along Steacie Drive and 610mm diameter municipal watermain along Teron Road providing water to 1151 and 1131 Teron Road. For the proposed development, dual 250mm diameter private watermain looping extended from the existing 305mm municipal watermain along Steacie Drive will provide redundancy for the development. Two water services connections will be extended to the 1151 and 1131 Building mechanical rooms.

The existing municipal fire hydrant at the proposed entrance will be relocated east of the new entrance within 45m of the Siamese connection. No changes are required to the existing City water distribution system to allow servicing for this property.

The new apartment buildings will be protected with a supervised automatic fire protection sprinkler system and will required a 250mm diameter water service.

2.2 SYSTEM CONSTRAINTS AND BOUNDARY CONDITIONS

Boundary conditions have been obtained from the City of Ottawa at the 305 mm diameter watermain on Steacie Drive and 150mm diameter watermain along Teron Road for the development, are included in Appendix B. A max fire flow demand of 167 l/s (10,000 l/min) has been calculated for the proposed development as noted in Section 2.4. The boundary conditions were supplied by the City of Ottawa, based on fire flows and domestic demands estimated by WSP for the proposed residential development.

Table 2-1: Boundary Conditions for Connection @ Steacie Drive

BOUNDARY CONDITIONS	
SCENARIO	HGL (m)
Maximum HGL	130.2
Minimum HGL (Peak Hour)	126.9
Max Day + Fire Flow	127.6

2.3 CONFIRMATION OF ADEQUATE DOMESTIC SUPPLY AND PRESSURE

Water demands are based on Table 4.2 of the Ottawa Design Guidelines – Water Distribution. As previously noted, the development is considered as residential development, consisting of two apartment towers, 9 storey and 3 storey. A water demand calculation sheet is included in Appendix B, and the total water demands are summarized as follows:

	Proposed 9-Storey	Proposed 3-Storey
Average Day	0.64 l/s	0.10 l/s
Maximum Day	1.59 l/s	0.26 l/s

Peak Hour

3.49 l/s

0.57 l/s

The 2010 City of Ottawa Water Distribution Guidelines stated that the preferred practice for design of a new distribution system is to have normal operating pressures range between 345 kPa (50 psi) and 552 kPa (80 psi) under maximum daily flow conditions. Other pressure criteria identified in the guidelines are as follows:

Minimum Pressure	Minimum system pressure under peak hour demand conditions shall not be less than 276 kPa (40 psi)
Fire Flow	During the period of maximum day demand, the system pressure shall not be less than 140 kPa (20 psi) during a fire flow event.
Maximum Pressure	Maximum pressure at any point the distribution system shall not exceed 689 kPa (100 psi). In accordance with the Ontario Building/Plumbing Code, the maximum pressure should not exceed 552 kPa (80 psi). Pressure reduction controls may be required for buildings where it is not possible/feasible to maintain the system pressure below 552 kPa.

Water pressure at municipal connections check:

Min. HGL @ Steacie Drive – Pavement elevation = 126.90m – 89.91m = 36.99m = 362.66 kPa

Water pressure at building connection (at average day) check:

Max. HGL @ Steacie Drive – Finished floor elevation = 130.20m – 91.00 = 39.2m = 384.32 kPa

Water pressure at building connection (at max. hour demand) check:

Min. HGL @ Steacie Drive – Finished floor elevation = 126.90m-91.00m = 35.90m = 351.97 kPa

Water pressure at building connection (at max. day + fire demand):

(Max Day + Fire) HGL @ Steacie Drive - Finished floor elevation = 127.60m-91.00m = 36.60m = 358.83 kPa

The minimum water pressure inside the building at the connection is determined with the minimum HGL condition, resulting in a pressure of 351.97 kPa which exceed the minimum requirement of 276 kPa per the guidelines.

2.4 CONFIRMATION OF ADEQUATE FIRE FLOW PROTECTION

The fire flow rate has been calculated using the Fire Underwriters Survey (FUS) method. The method takes into account the type of building construction, the building occupancy, the use of sprinklers and the exposures to adjacent structures. Assuming non-combustible construction and with sprinkler system, a fire flow demand of 167 l/s (10,000 l/min) for the 9-Storey building at 1151 Teron Road, and 100 l/s (6,000 l/min) for the 3-Storey building at 1131 Teron Road have been calculated. A copy of the calculation is included in Appendix B.

The demand of 10,000 l/min can be delivered through three municipal fire hydrants. Two existing public hydrants are located along Teron Road, one is within 45 m of the building at the proposed entrance, and is rated at 5700 l/min. The second

public hydrant is located east of Bethune Way along Teron Road, is within 130 m of the building, and is rated at 3800 l/min. The third one is at the south-west corner of the intersection of Steacie Drive and Teron Road, is within 130 m of the building, and are rated at 3800 l/min each. The three hydrants have a combined total of 13,300 l/min.

The proposed apartment buildings will be serviced by dual 250 mm services off the 305 mm watermain at the intersection of Steacie Drive. The services will run into the water entry room. The proposed building will be sprinklered and fire protection will be provided with the fire department Siamese connection within 45 m of the public fire hydrant from the private access road.

The boundary condition for Maximum Day and Fire Flow results in a pressure of 358.83 kPa at the ground floor level for both connections. In the guidelines, a minimum residual pressure of 140 kPa must be maintained in the distribution system for a fire flow and maximum day event. As a pressure of 358.837 kPa is achieved, the fire flow requirement is exceeded.

2.5 CHECK OF HIGH PRESSURE

High pressure is not a concern. The maximum water pressure inside the building at the connection is determined with the maximum HGL condition, resulting in a pressure of 384.32 kPa which is less than the 552 kPa threshold in the guideline in which pressure control is required. Based on this result, pressure control is not required for this building.

2.6 PHASING CONSTRAINTS

No phasing constraints exist.

2.7 RELIABILITY REQUIREMENTS

Isolation and shut off valves will be provided at the study boundary from Steacie Drive and Teron Road. The existing 250mm private watermain is connected to a looped section of the 305mm City watermain at Steacie Drive. Water flow can be isolated from either direction along Steacie Drive and Teron Road.

2.8 NEED FOR PRESSURE ZONE BOUNDARY MODIFICATION

There is no need for a pressure zone boundary modification.

2.9 CAPABILITY OF MAJOR INFRASTRUCTURE TO SUPPLY SUFFICIENT WATER

The current infrastructure is capable of meeting the domestic demand based on City requirements and fire demand as determined by FUS requirements for the proposed apartment buildings.

2.10 DESCRIPTION OF PROPOSED WATER DISTRIBUTION NETWORK

Dual 250mm watermain looping is proposed to be provided into the proposed residential development. The dual 250mm private water services will be connected to the 305mm municipal watermain along Steacie Drive. A relocated existing public hydrant is located within 45 metres of the fire department connection on the south side of the building as per OBC requirements.

2.11 OFF-SITE REQUIREMENTS

No off-site improvements to watermains, feeder mains, pumping stations, or other water infrastructure are required to maintain existing conditions and service the adjacent buildings, other than the connection of the new private watermain to the City watermain in the west frontage of the site.

2.12 CALCULATION OF WATER DEMANDS

Water demands were calculated by as described in Sections 2.3 and 2.4 above.

2.13 MODEL SCHEMATIC

The water works consist only two building services, a model schematic is not required for this development.

3 WASTEWATER DISPOSAL

3.1 DESIGN CRITERIA

In accordance with the City of Ottawa's Sewer Design Guidelines, the following design criteria have been utilized in order to predict wastewater flows generated by the subject site and complete the sewer design;

• Minimum Velocity	0.6 m/s
• Maximum Velocity	3.0 m/s
• Manning Roughness Coefficient	0.013
• Average sanitary flow for residential use	280 L/cap/day
• Average sanitary flow for commercial use	28,000 L/Ha/day
• Commercial/Institutional Peaking Factor	1.5
• Infiltration Allowance (Total)	0.33 L/s/Ha
• Minimum Sewer Slopes – 200 mm diameter	0.32%

3.2 CONSISTENCY WITH MASTER SERVICING STUDY

The outlet for the sanitary service from the proposed apartment buildings is the 250 mm diameter private sanitary sewer on Weeping Willow Lane. The Ottawa Sewer Design Guidelines provide estimates of sewage flows based on residential development. The sanitary design sheet have been attached to Appendix C for reference.

3.3 REVIEW OF SOIL CONDITIONS

There are no specific local subsurface conditions that suggest the need for a higher extraneous flow allowance.

3.4 DESCRIPTION OF EXISTING SANITARY SEWER

The outlet sanitary sewer for this development is the existing 250 mm diameter sewer on Weeping Willow Lane. This private sewer will outlet to a 900 mm diameter sanitary trunk sewer, then discharge to municipal wastewater treatment facility.

3.5 VERIFICATION OF AVAILABLE CAPACITY IN DOWNSTREAM SEWER

The capacity of the downstream 250 mm diameter sewer on Weeping Willow Lane at 0.20% slope is 26.59 L/s, which is adequate for the flow assumptions from the proposed development. This existing sewer also services approximately 7.9 ha of the residential development area along Jackson Crt. Assuming this existing area generate a proportional flow of 0.61 L/s, then the combined existing and anticipated flow estimate is 3.22 L/s.

3.6 CALCULATIONS FOR NEW SANITARY SEWER

A sanitary sewer design sheet is provided for the proposed development. See Appendix C for details.

3.7 DESCRIPTION OF PROPOSED SEWER NETWORK

The proposed sanitary sewer network on site will consist of series manholes and 200 mm diameter public sanitary sewers with 200 mm diameter building service.

3.8 ENVIRONMENTAL CONSTRAINTS

There are no previously identified environmental constraints that impact the sanitary servicing design in order to preserve the physical condition of watercourses, vegetation, or soil cover, or to manage water quantity or quality.

3.9 PUMPING REQUIREMENTS

The proposed development will have no impact on existing pumping stations and will not require new pumping facilities.

3.10 FORCE-MAINS

No force-mains are required specifically for this development.

3.11 EMERGENCY OVERFLOWS FROM SANITARY PUMPING STATIONS

No pumping stations are required for this site, except as required internally for the plumbing design to service the lower area of the building.

3.12 SPECIAL CONSIDERATIONS

There is no known need for special considerations for sanitary sewer design related to existing site conditions.

4 SITE STORM SERVICING

4.1 EXISTING CONDITION

Drainage from the site currently flows overland to a receiving March Road ditch on the north of the property. Further downstream, drainage is conveyed via piped storm sewer network along March Road. As noted in the pre-consultation meeting and associated notes from Mississippi Valley Conservation Authority and the City of Ottawa, the stormwater design criteria for the site modifications are the following:

- Areas discharging to March Road ditch will require to control post-development flows up to the 100-yr controlled to corresponding pre-development flows.

The Mississippi Valley Conservation Authority has asked that 80% TSS removal be provided for stormwater discharges.

4.2 ANALYSIS OF AVAILABLE CAPACITY IN PUBLIC INFRASTRUCTURE

The allowable release rate for the 2.32 Ha site has been calculated in SWM Report. The total allowable release rate to March Road ditch is 125 L/s. Detailed calculations are provided in SWM Report. The receiving March Road ditch and March Road already accept uncontrolled flow from the site equal to or greater than the allowable release rate of 125 L/s to March Road that will be generated from the proposed development under the 100-year return period storm event. The existing topography for 1151 Teron Road conveys overland runoff to March Road ditch. And for 1131 Teron Road, the overland runoff goes to Teron Road. No capacity issues with existing infrastructure have been noted during consultations with the City or MVCA.

4.3 DRAINAGE DRAWING

Drawing C03 shows the receiving storm sewer and site storm sewer network. Drawing C02 provides proposed grading and drainage and includes existing grading information. Drawing C04 provide a post-construction drainage sub-area plan, including both site and roof information. Site sub-area information is also provided on the storm sewer design sheet attached in Appendix D.

4.4 WATER QUANTITY CONTROL OBJECTIVE

Refer to the Stormwater Management Memo for the water quantity objective for the site.

4.5 WATER QUALITY CONTROL OBJECTIVE

As noted previously, the designated water quality control objective is the achieve 80% TSS removal. This objective will be achieved through the use of oil and grit separator for the runoff generated from the building parcel, achieving the approximate TSS removal required as well as oil capture. For the parking parcel, it can be achieved through the use of bio-swale. Also, hydrocarbon capture and retention will be provided with the designed bio-swale for the parking parcel.

4.6 DESIGN CRITERIA

The stormwater system was designed following the principles of dual drainage, making accommodation for both major and minor flow.

Some of the key criteria include the following:

• Design Storm (minor system)	1:2-year return (Ottawa)
• Rational Method Sewer Sizing	
• Initial Time of Concentration	10 minutes
• Runoff Coefficients	
Landscaped Areas	C = 0.25
Asphalt/Concrete	C = 0.90
Traditional Roof	C = 0.90
• Pipe Velocities	0.80 m/s to 6.0 m/s
• Minimum Pipe Size	250 mm diameter (200 mm CB Leads and service pipes)

4.7 PROPOSED MINOR SYSTEM

The detailed design for this site provides one storm sewer outlet to the north March Road ditch of the development site.

For the parking parcel, the drainage system consists of a series of catchbasins, manholes and storm sewers leading to the outlet manhole STMH105 at the northwest corner of the site. All drainage areas for the parking areas are collected in the bio-swale system. But the large amount of undisturbed existing grass areas of uncontrolled surface drainage will also enter the ditch to the north. Grading beyond the developed areas will be consistent with existing conditions, and will not generate additional flows to these off-site areas.

For the building parcel, the drainage system consists of a series of deck-drains, and storm sewers leading to the outlet manhole STMH105 at the north-west of the site. All drainage areas on the site are collected in the building piping system with no exception of uncontrolled flow leaving the building parcel.

It is also customary for larger buildings to be provided with piped storm services for roof drainage. There are no downspouts proposed. The storm services are connected to the storm sewer downstream of the controlled flow point, ensuring an unobstructed flow for these areas.

Using the above noted criteria, the on-site storm sewers were sized accordingly. A detailed storm sewer design sheet and the associated post development storm sewer drainage area plan are included in Appendix D.

4.8 STORMWATER MANAGEMENT

Refer to Stormwater Management Report for details.

4.9 INLET CONTROLS

Refer to Stormwater Management Report for details.

4.10 ON-SITE DETENTION

Refer to Stormwater Management Report for details.

4.11 WATERCOURSES

For the parking parcel, the minor and major flow will be ultimately directed to the March Road ditch then to the downstream storm sewer network along March Road. For the building parcel, the minor flow will be ultimately directed to March Road ditch and major flow will be ultimately directed to the Teron Road ROW.

4.12 PRE AND POST DEVELOPMENT PEAK FLOW RATES

Pre and post development peak flow rates for the impacted areas of the site have been noted in the Stormwater Management Report and storm sewer design sheet.

4.13 DIVERSION OF DRAINAGE CATCHMENT AREAS

There will be no diversion of existing drainage catchment areas arising from the proposed work described in this report.

4.14 DOWNSTREAM CAPACITY WHERE QUANTITY CONTROL IS NOT PROPOSED

This checklist item is not applicable to this development as quantity control is provided.

4.15 IMPACTS TO RECEIVING WATERCOURSES

No significant negative impact is anticipated to downstream receiving watercourses due to proposed quantity and quality control measures.

4.16 MUNICIPAL DRAINS AND RELATED APPROVALS

There is no municipal drain on the site or associated with the drainage from the site.

4.17 MEANS OF CONVEYANCE AND STORAGE CAPACITY

The means of flow conveyance and storage capacity are described in the Stormwater Management Report.

4.18 HYDRAULIC ANALYSIS

Hydraulic calculations for the site storm sewers are provided in the storm sewer design sheet and the Stormwater Management Report.

4.19 IDENTIFICATION OF FLOODPLAINS

There is no designated floodplain on the site of this development.

4.20 FILL CONSTRAINTS

There is no known fill constraint applicable to this site related to any floodplain. The site is generally being raised higher relative to existing conditions. No fill constraints related to soil conditions are anticipated, as confirmed in the geotechnical report.

5 SEDIMENT AND EROSION CONTROL

5.1 GENERAL

During construction, existing storm sewer system can be exposed to sediment loadings. A number of construction techniques designed to reduce unnecessary construction sediment loadings will be used including;

- The installation of straw bales within existing drainage features surrounding the site;
- Bulkhead barriers will be installed in the outlet pipes;
- Filter cloths will remain on open surface structures such as manholes and catchbasins until these structures are commissioned and put into use;
- Installation of silt fence, where applicable, around the perimeter of the proposed work area.

During construction of the services, any trench dewatering using pumps will be fitted with a “filter sock.” Thus, any pumped groundwater will be filtered prior to release to the existing surface runoff. The contractor will inspect and maintain the filter sock as needed including sediment removal and disposal.

All catchbasins, and to a lesser degree, manholes, convey surface water to sewers. Consequently, until the surrounding surface has been completed, these structures will be covered to prevent sediment from entering the minor storm sewer system. These measures will stay in place and be maintained during construction and build-out until it is appropriate to remove them.

During construction of any development both imported and native soils are placed in stockpiles. Mitigative measures and proper management to prevent these materials entering the sewer system are needed.

During construction of the deeper watermain and sewers, imported granular bedding materials are temporarily stockpiled on site. These materials are however quickly used up and generally placed before any catchbasins are installed.

Refer to the Erosion and Sedimentation Control Plan C07 provided in Appendix E.

6 APPROVAL AND PERMIT REQUIREMENTS

6.1 GENERAL

The proposed development is subject to site plan approval and building permit approval.

MVCA will provide review or direction for the SWM design.

No permits or approvals are anticipated to be required from the Ontario Ministry of Transportation, National Capital Commission, Parks Canada, Public Works and Government Services Canada, or any other provincial or federal regulatory agency.

7 CONCLUSION CHECKLIST

7.1 CONCLUSIONS AND RECOMMENDATIONS

It is concluded that the proposed development can meet all provided servicing constraints and associated requirements. It is recommended that this report be submitted to the City of Ottawa in support of the application for site plan approval.

7.2 COMMENTS RECEIVED FROM REVIEW AGENCIES

This is the third submission, city comments has been addressed and attached with the submission package.

APPENDIX

A

- PRE-CONSULTATION MEETING NOTES
- TOPOGRAPHIC SURVEY PLAN
- SIGNED EASEMENT AGREEMENT

Yang, Winston

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: January 14, 2021 3:59 PM
To: Yang, Winston; Worth, Ben
Subject: 1131 - 1151 Teron Road SPC Discussion

Hi Winston and Ben,

See the following bullet-point summary of our discussion from earlier today.

- SWM quantity criteria to reflect previous requirements:
 - Areas discharging to March Road ditch - post-development flows up to the 100-yr controlled to corresponding pre-development flows.
 - Areas discharging to Teron Road storm sewer - post-development flows up to the 100-yr controlled to the pre-development 5-yr with a C-value of existing or 0.5, whichever is less, and a calculated time of concentration no less than 10 min).
- SWM quality criteria to be confirmed by the MVCA, however 80% TSS removal was previously required and should be assumed for the site unless MVCA indicates otherwise. MVCA to confirm if treatment is required for rooftop portion of site discharging to the Teron Road storm sewer. Matt Craig mcraig@mvc.on.ca was included as an MVCA contact in previous comments letter.
- There is no sanitary sewer fronting the site in Teron Road or March Road. A connection to the private sanitary sewer within Weeping Willow Lane was previously proposed. A letter of agreement must be provided from the owner of the private sanitary sewer to allow for the connection / easement / works on private property. An easement & or a Joint Use & Maintenance Agreement with the owner of the sewer will be needed. An assessment of available capacity will also need to be performed.
- Water service connections to the 610mm feedermain within Teron Road are not permitted. As such, a local watermain extension must be made from Steacie Drive and extended along Teron Road to the development site in order to service the development. A **second** connection to the existing hydrant lateral (fed by the 610mm feedermain) would be accepted, assuming a **first** connection to the local watermain off Steacie Drive is provided. If the 610mm feedermain is taken offline, there must be another watermain feed to service the development.

Feel free to contact me should you have any more questions.

Justin

During this period of uncertainty surrounding COVID-19, we are following best practices recommended to minimize the risk of exposure, while ensuring that service to our clients remains as uninterrupted as possible. I am working from home and will respond to emails at my earliest opportunity. Should there be delays due to internet connectivity, I thank your understanding and patience.

Justin Armstrong, E.I.T.

Project Manager

Planning, Infrastructure and Economic Development Department - Services de la planification, de l'infrastructure et du développement économique

Development Review - West Branch

City of Ottawa | Ville d'Ottawa

110 Laurier Avenue West Ottawa, ON | 110, avenue. Laurier Ouest. Ottawa (Ontario) K1P 1J1

613.580.2400 ext./poste 21746, justin.armstrong@ottawa.ca

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'

Yang, Winston

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: January 25, 2022 1:43 PM
To: Yang, Winston
Cc: Kerker, Kathryn
Subject: RE: Re: Teron Road SWM comments

Hi Winston,

Just spoke with our Senior SWM Engineer and can confirm that approach is acceptable.

Regards,

Justin

From: Yang, Winston <Winston.Yang@wsp.com>
Sent: January 25, 2022 1:36 PM
To: Armstrong, Justin <justin.armstrong@ottawa.ca>
Cc: Kerker, Kathryn <kathryn.kerker@wsp.com>
Subject: RE: Re: Teron Road SWM comments

Hi Justin,

We would like to confirm if we are allowed to assume the entire site drains to the March Road ditch under existing conditions to revise our target release rate criteria?

Yours truly,



Ding Bang (Winston) Yang, P.Eng.

Project Engineer
Municipal Engineering - Ottawa

T+ 1 613-690-0538
M+ 1 647-628-8108

WSP Canada Inc.
2611 Queensview Drive, Suite 300
Ottawa, Ontario,
K2B 8K2 Canada

wsp.com

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: January 25, 2022 11:31 AM
To: Yang, Winston <Winston.Yang@wsp.com>

Cc: Kerker, Kathryn <Kathryn.Kerker@wsp.com>

Subject: Re: Re: Teron Road SWM comments

Hi Winston,

The City's Water Resource SWM group has now had a chance to look at this situation in more detail with the topographic information you had provided. Unfortunately, regardless of existing topography for this site, the 300mm sewer in Teron Road is at capacity during the 5-year storm event and cannot receive the flows proposed from this development. It was only designed to receive roadway drainage. The SWM group's Senior Engineer has confirmed this and has indicated that all post-development flows from this development should be sent to the March Road ditch.

Regards,

Justin

From: Yang, Winston <Winston.Yang@wsp.com>

Sent: January 24, 2022 4:51 PM

To: Armstrong, Justin <justin.armstrong@ottawa.ca>

Cc: Kerker, Kathryn <kathryn.kerker@wsp.com>

Subject: RE: Re: Teron Road SWM comments

Hi Justin,

Any updates from the city SWM and Water group for SWM design criteria and Water mode since we have discussed back in Jan 11, 2022.

Client is looking to resubmit the SPA as soon as possible.

Yours truly,



Ding Bang (Winston) Yang, P.Eng.

Project Engineer

Municipal Engineering - Ottawa

T+ 1 613-690-0538

M+ 1 647-628-8108

WSP Canada Inc.

2611 Queensview Drive, Suite 300

Ottawa, Ontario,

K2B 8K2 Canada

wsp.com

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: January 11, 2022 3:12 PM
To: Kerker, Kathryn <Kathryn.Kerker@wsp.com>; Yang, Winston <Winston.Yang@wsp.com>
Subject: RE: Re: Teron Road SWM comments

Hi Winston and Kathryn,

I had taken over this file from a previous City PM and was not involved in the review of the initial DSEL submission. The correspondence Winston has provided in his previous e-mail was the result of a meeting held prior to a WSP submission for this site, and therefore prior to my review of any detailed submission. In that e-mail I confirmed that the previous direction provided could still be considered valid (i.e., that pre-development drainage outlets could be maintained post-development). The drainage area split between the two outlets still needed proper justification at the time of actual site plan submission.

As noted in Comment B7 in our last comment response letter, the City's Water Resources Group has indicated that, following review of their Streambuilder model for the site area, the 300mm storm sewer in Teron Road does not receive any runoff from the site under current conditions. They also indicated that the 300mm Teron Road storm sewer was only designed to receive roadway runoff and is already at capacity and unable to receive any additional flows.

Based on the Water Resource Group's analysis of existing drainage boundaries, they have confirmed that the SWM approach for the entire site should be post-pre to the March Road ditch, however, as mentioned to Winston during our conversation earlier today, I will circulate them the topographic justification he provided in his previous e-mail for their review. I will follow up with you both once I receive a response.

Regards,

Justin

During this period of uncertainty surrounding COVID-19, we are following best practices recommended to minimize the risk of exposure, while ensuring that service to our clients remains as uninterrupted as possible. For the most part I am working from home and will respond to emails at my earliest opportunity. Should there be delays due to internet connectivity, I thank your understanding and patience.

Justin Armstrong, E.I.T.

Project Manager

Planning, Real Estate and Economic Development Department – Direction générale de la planification, des biens immobiliers et du développement économique

Development Review - West Branch

City of Ottawa | Ville d'Ottawa

110 Laurier Avenue West Ottawa, ON | 110, avenue. Laurier Ouest. Ottawa (Ontario) K1P 1J1

613.580.2424 ext./poste 21746, justin.armstrong@ottawa.ca

From: Kerker, Kathryn <Kathryn.Kerker@wsp.com>
Sent: January 11, 2022 2:08 PM
To: Yang, Winston <winston.yang@wsp.com>; Armstrong, Justin <justin.armstrong@ottawa.ca>
Subject: RE: Re: Teron Road SWM comments

Hi Justin,

In addition to what Winston sent in the previous email, the attached report by David Schaeffer Engineering includes consultation with the city on the site discharge to the Teron Road sewer.

Regards,

Kathryn Kerker, M.A.Sc
Designer, Water Resources
T+ 1 613-690-1206



From: Yang, Winston <Winston.Yang@wsp.com>
Sent: January 11, 2022 1:54 PM
To: Armstrong, Justin <justin.armstrong@ottawa.ca>
Cc: Kerker, Kathryn <Kathryn.Kerker@wsp.com>
Subject: Re: Teron Road SWM comments

Hi Justin,

At the beginning of this project, we have already agreed for the SWM drainage areas split as per the existing survey topographic information.

Please see attached pre-consultation meeting minutes and the survey plan for your reference and coordination.

Yours truly,



Ding Bang (Winston) Yang, P.Eng.

Project Engineer
Municipal Engineering - Ottawa

T+ 1 613-690-0538
M+ 1 647-628-8108

WSP Canada Inc.
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K2B 8K2 Canada

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Prepared by Annis, O'Sullivan, Vollebek Ltd

Scale 1 : 250

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Feb 9, 2021
Date

Notes & Legend

[illegible]

Topographic data was collected under 'Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

SITE AREA = 14807 m²

BOUNDARY INFORMATION COMPILED FROM PLAN 4R-15089, PLAN 4R-11329 AND (857) PLAN DATED JUNE 6, 2019

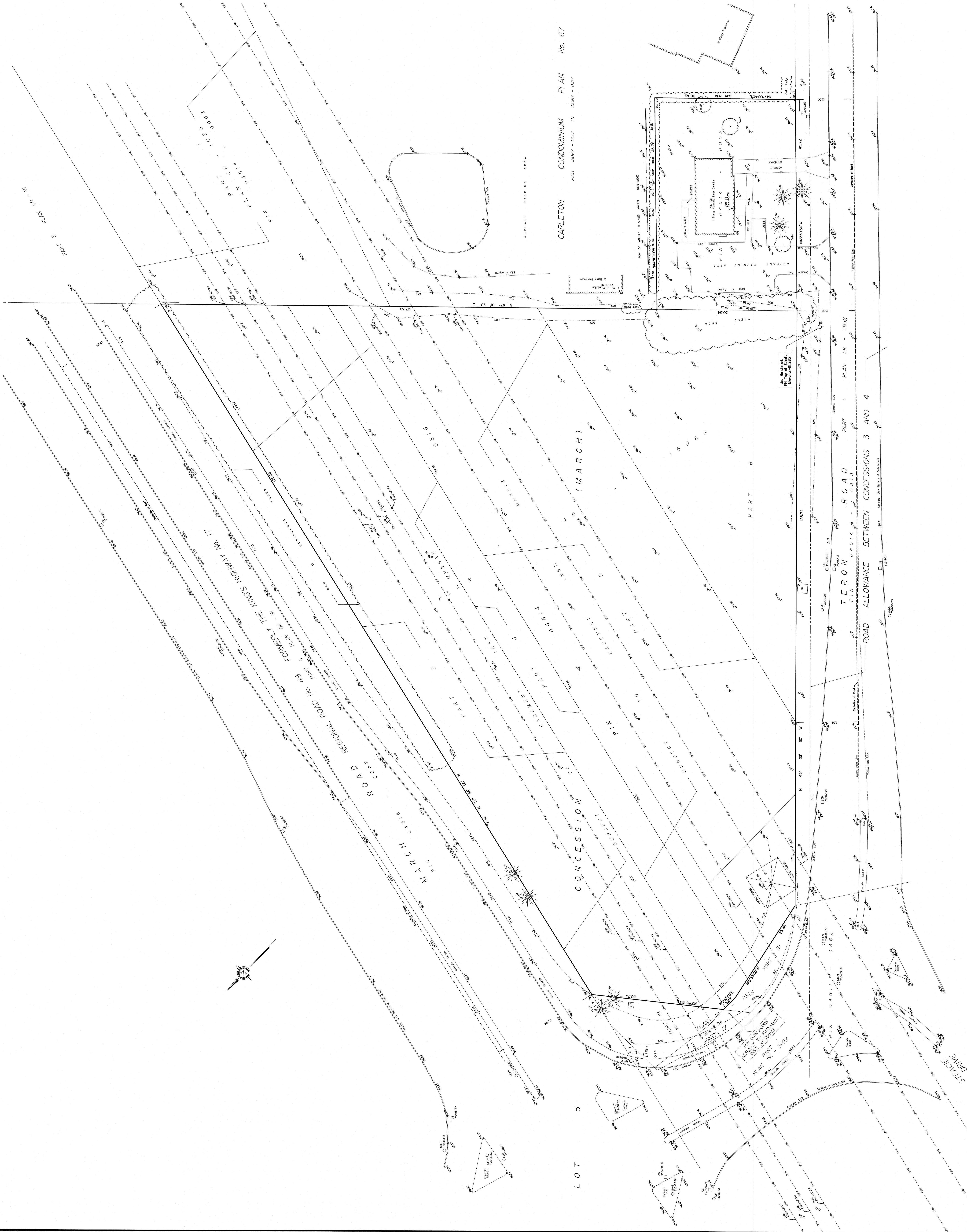
ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A fixed location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concordance Gate, Suite 500
Napawa, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: info@anniss.com
Lab. No. 2187-21, P1 L35 05, M4 T F



EASEMENT AGREEMENT

THIS AGREEMENT (the "Agreement") is made as of November 14th, 2018.

BETWEEN:

KANCO-VARLEY LTD.

(hereinafter referred to as the "**Grantor**")

- and -

1550751 ONTARIO LIMITED & PHILLIP BOTTRIELL

(hereinafter collectively referred to as the "**Grantee**")

- and -

NORTHVIEW APARTMENT REIT

(hereinafter referred to as "**Northview**")

RECITALS:

- A. The Grantor is the owner of the lands legally described in Schedule "A" hereto (the "**Grantor's Lands**").
- B. The Grantee is the owner of the lands legally described in Schedule "B" hereto (the "**Grantee's Lands**").
- C. There is a sewer (the "**Sewer**") on the Grantor's Lands that is owned by the City of Ottawa (the "**City**"), located within an existing easement on the Grantor's Lands in favour of the City, which Sewer has the capacity to service the Grantee's Lands.
- D. The Grantor has agreed to convey an easement over a portion of the Grantor's Lands as marked on Schedule "C" hereto (the "**Servient Lands**"), on the terms and conditions as set out in this Agreement.

NOW THEREFORE, in consideration of the Purchase Price (as hereafter defined), the mutual covenants and agreements set forth in this Agreement, and for other good and valuable consideration (the receipt and sufficiency of which are hereby acknowledged), the parties hereto covenant and agree as follows:

- 1. **Recitals:** The above recitals are true and accurate and in full force and effect as though repeated herein at length.
- 2. **Grant of Easement:** The Grantor hereby agrees to grant to the Grantee a temporary easement for the purpose of constructing a connection to the Sewer to service the Grantee's Lands (hereafter referred to as the "**Works**"), on the terms set out in Schedule "D" to this Agreement

AB

(hereafter referred to as the "**Temporary Easement**"). The Grantor shall execute such documentation as may be necessary to effect the registration of the Temporary Easement on title to the Servient Lands, and the cost of such registration shall be paid by the Grantee. The terms of the Temporary Easement set out in Schedule "D" to this Agreement shall be included as a schedule to the Temporary Easement registered on title to the Servient Lands as aforesaid. The Temporary Easement shall be subject to the provisions of the Planning Act (Ontario) (the "**Act**"). The Grantee shall be responsible, at its sole cost and expense, to obtain any consents to the Temporary Easement from the applicable Committee of Adjustment, as may be required under the Act. Pending such consent, the term of the easement shall not be more than twenty-one (21) years less one (1) day.

3. **Purchase Price:** In consideration of the grant of Temporary Easement, the Grantee agrees to pay to the Grantor's parent entity, Northview, or such other person as Northview may direct in its sole discretion, the sum of Twenty-five Thousand Dollars (\$25,000.00) (the "**Purchase Price**") as follows:
 - a. Ten Thousand Dollars (\$10,000.00) paid to Northview by Certified Cheque or Bank Draft within two (2) business days following execution of this Agreement by all parties; and
 - b. Fifteen Thousand Dollars (\$15,000.00) on the earlier of December 1, 2018 and seven (7) calendar days before the commencement of any construction on the Servient Lands.
4. **Changes:** Any change to the path or location of the Temporary Easement shall require the consent of Northview, which consent shall not be unreasonably withheld.
5. **Acknowledgments:** The Parties hereby acknowledge and agree as follows:
 - a. Each party hereto has reviewed, or had adequate opportunity to review, the report of David Schaeffer Engineering Ltd. (the "**Engineering Report**") confirming the capacity of the Sewer, and each party hereto has, by the Engineering Report or otherwise, satisfied themselves that the Sewer has adequate and sufficient capacity to service the Grantee's Property in addition to the Grantor's Property, provided that, during the term of the Temporary Easement, the Grantee shall not construct more units on the Grantee's Property than shall be approved by the City in light of the capacity of the Sewer, and in any event, regardless of the City's approval, during the term of the Temporary Easement, the Grantee shall not construct more units on the Grantee's Property than the number of units that the Grantee knows, after reasonable inquiry, are within the capacity of the Sewer to service.
 - b. No party hereto has made any representations or warranties of any kind to any other party hereto regarding the Engineering Report or the contents thereof, or as capacity of the Sewer.

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6. **Covenants of Grantee:**

- a. Prior to commencing any construction on the Servient Lands, the Grantee shall retain the services of qualified consultant to clean and perform a camera assessment of the Sewer, and the Grantee shall provide to Northview a copy of the report regarding the Sewer obtained from such consultant.
 - b. The Grantee shall advise Northview, by email at the email address provided herein, of its intention to commence construction on the Servient Lands, at least seven (7) days prior to commencement of such construction.
 - c. The Grantee shall use reasonable efforts to ensure that the road forming part of the Servient Lands will not be diverted for more than two (2) days.
 - d. The Grantee shall obtain a plan of survey from a qualified land surveyor showing the location of the Servient Lands, and cause such plan of survey to be registered on title to such property/properties as may be required with respect to the easements contemplated by this Agreement.
 - e. The Grantee hereby undertakes and agrees to reinstate the Grantor's Lands to its condition prior to any construction. In particular, the excavated road section will be compacted and paved and the grassed area will be sodded by the Grantee. The Grantee will water the sod in place and replace or replant any damages lilac bushes as necessary. The Grantee will provide before and after photos and inspection reports showing the work being undertaken and completed.
7. **Legal Fees:** The Grantee agrees to reimburse Northview for its legal fees associated with this Agreement, or the easements or any of the documents or other matters contemplated hereby, up to a maximum of Three Thousand Dollars (\$3,000.00), inclusive of Harmonized Sales Tax ("HST").
8. **HST:** If the transfer of the Temporary Easement is subject to HST then such tax shall be in addition to the Purchase Price. The Grantor will not collect HST if the Grantee provides to the Grantor a warranty that the Grantee is registered under the Excise Tax Act (the "ETA"), together with a copy of the Grantee's ETA registration, a warranty that the Grantee will self-assess and remit the HST payable and file the prescribed form and shall indemnify the Grantor in respect of any HST payable. The foregoing warranties shall not merge but shall survive the completion of the transaction. If the transfer of the Temporary Easement is not subject to HST, the Grantor agrees to certify on or before closing, that the transaction is not subject to HST.
9. **Permanent Easement:** Upon completion of the Works, the Grantor shall, for nominal consideration, convey to the City a permanent easement over the Servient Lands (the "**Permanent Easement**") for the purpose of operating and maintaining the Works, which Permanent Easement shall contain such terms as the City may require. The Grantor shall execute such documentation as may be required to convey the Permanent Easement to the City, and to effect the registration of the Permanent Easement on title to the Servient Lands, as may be required by the City, and the cost of registering the Permanent Easement on title to

AB

the Servient Lands shall be paid by the Grantee or the City, as may be determined between those two parties.

10. **Release of Temporary Easement:** Upon the registration of the Permanent Easement being duly certified by the Land Registrar for Ontario, the Grantee shall release all right, title and interest in and to the Temporary Easement, and the Grantee shall prepare and execute such documentation as may be required to effect the deletion of the Temporary Easement from title to the Servient Lands (the "**Release Documents**"). The Grantor shall also execute such Release Documents as may be required to delete the Temporary Easement from title to the Servient Lands, and the cost of registering the required Release Documents shall be paid by the Grantee.
11. **Non-Construction:** The Grantee agrees that, once paid, the Purchase Price is non-refundable, regardless of whether the Grantee constructs or commences construction of the Works. In the event the Grantee commences but does not complete construction of the Works during the term of the Temporary Easement, the Grantee shall be responsible for the cost of reinstating the Servient Lands to the state they were in prior to construction by the Grantee and for discharging the Temporary Easement and registering such discharge on title to the Servient Lands.
12. **Notices:** Notices to be delivered pursuant to this Agreement may be delivered by electronic mail as follows:

To the Grantor: Brianna Guenther & Chris Slater –
bguenther@northviewreit.com and cslater@northviewreit.com

To the Grantee: Phil Bottriell - philb@propertyinspection.ca
13. **Entire Agreement:** This Agreement constitutes the entire agreement between the parties hereto relating to the subject matter hereof and supersedes all prior agreements, understandings, negotiations and discussions between the parties, whether oral or written.
14. **Further and other acts:** Each of the parties hereto shall from time to time hereafter and upon any reasonable request of any other party, execute and deliver, make or cause to be made all such further acts, deeds, assurances and things as may be required or necessary to more effectually implement and carry out the true intent and meaning of this Agreement.
15. **Successors and assigns:** All of the covenants and agreements in this Agreement shall be binding upon the parties hereto and their respective successors and permitted assigns and shall enure to the benefit of and be enforceable by the parties hereto and their respective successors and their permitted assigns.
16. **Governing law:** This Agreement shall be governed by and construed in accordance with the laws of the Province of Ontario.
17. **Counterparts/Electronic Signatures:** This Agreement may be executed in separate counterparts and transmitted by electronic means, and in any number of counterparts, and all such counterparts taken together will be deemed to constitute one and the same original

PB


instrument and signatures conveyed by electronic means shall be treated as of originals, provided that each party hereto undertakes to deliver to each other party hereto a copy bearing its original signature as soon as possible following a request for same.

[signature page to follow]

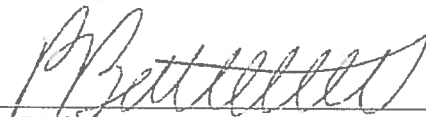
MB

IN WITNESS WHEREOF the parties have executed this Agreement as of the first date written above.

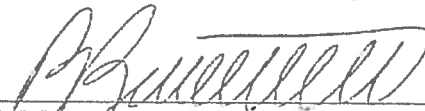
KANCO-VARLEY LTD.

Per: 
Name: Brianna Guenther
Title: Corporate Secretary & legal counsel
I have authority to bind the Corporation


1550751 ONTARIO LIMITED

Per: 
Name: Phil Bottrill
Title: President
I have authority to bind the Corporation


WITNESS:


PHILIP BOTTRILL

NORTHVIEW APARTMENT REIT

Per: 
Name: Brianna Guenther
Title: Corporate Secretary & legal counsel
I have authority to bind the Trust

SCHEDULE "A"

Grantor's Lands:

Firstly: BLK T, PL 815 , S/T MH7206,N472609,N472728,N472758 KANATA. S/T EASEMENT IN GROSS AS IN OC474764 (PIN 04151-0183 (LT));

Secondly: BLK S, PL 815 , S/T N524849 ; S/T MH6689,MH7206,N472609,N472728,N472758 KANATA. S/T EASEMENT IN GROSS AS IN OC474764 (PIN 04515-0163 (LT))

18

SCHEDULE "B"

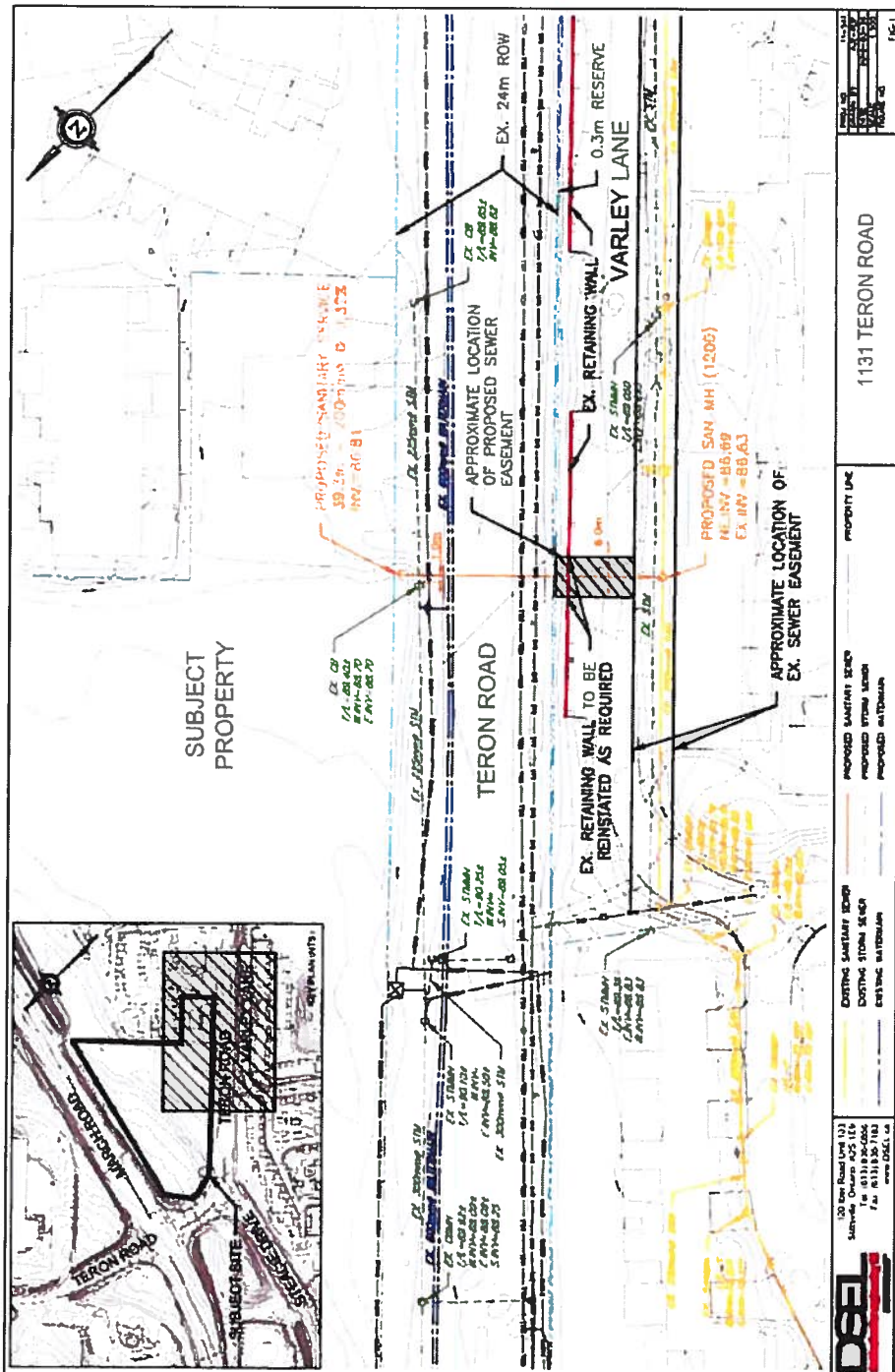
Grantee's Lands:

Firstly: PT LT 5, CON 4 BEING PTS 3, 4, 5 & 6, 4R15089, MARCH/KANATA. SUBJECT TO AN EASEMENT IN FAVOUR OF THE HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO, AS IN MH3313. SUBJECT TO AN EASEMENT IN FAVOUR OF THE HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO, AS IN MH3625 (PIN 04514-0316 (LT)).

Secondly: PT LT 5, CON 4; AS IN N405176; KANATA/MARCH (PIN 04514-0002 (LT)).

BB

LOCATION OF EASEMENT



PB

SCHEDULE "D"
TEMPORARY EASEMENT
SEWER EASEMENT

The Grantor grants, conveys and transfers to the Grantee, its successors and assigns, but subject to all the terms and conditions hereinafter contained the following:

- (a) the temporary right and easement over that piece of land shown as the hatched rectangle on Schedule "A" hereto (the "**Sewer Connection**") for the purpose to enter on and construct, install, place, lay, erect, operate, maintain, alter, repair, replace, reconstruct and remove a sewer lateral connection as necessary for servicing the lands described as Pt Lt 5, Con 4; as in N405176; Kanata/March (PIN 04514-0002 (LT)) and Pt Lt 5 Con 4 being Pts 3, 4, 5 & 6, 4R15089, March/Kanata (PIN 04514-0316 (LT)) (the "**Dominant Lands**"), and equipment appurtenant thereto including all pipes, fixtures and equipment as the Grantee may from time to time or at any time hereafter deem requisite under the lands of the Grantor described as Blk T, Pl 815, S/T MH7206, N472609, N472728, N472758 Kanata. S/T Easement in Gross as in OC474764 (PIN 04151-0183 (LT)) (the "**Servient Lands**"), for the purpose of creating a connection to the City of Ottawa sewer system to service the Dominant Lands, which sewer currently runs under the lands described as Parts 1, 2, 3, 4, 5 & 6 on Plan 5R-12392.
- (b) the temporary right and easement for the purpose to provide access and to enter on and to pass and repass at any and all times in, over, along, across and upon the Servient Lands for all purposes necessary or convenient for the construction and installation of the utilities necessary for servicing the Dominant Lands.

Together with the temporary right and licence of free, uninterrupted, unimpeded and unobstructed access to the Grantee, its servants, agents, contractors and sub-contractors to enter on and to pass and repass at any and all times from the date of acceptance of this easement, in, over, along and upon the Servient Lands, with or without vehicles, supplies, machinery and equipment for all purposes necessary or convenient to the exercise and enjoyment of the rights and easement hereby granted.

Together with the temporary right and licence to trim, trees and brush and to remove any concrete or asphalt surface or soil necessary and incidental to permit access to construct, maintain, repair and replace any part of the said sewer connection.

The aforementioned rights and easement are herein granted on the following terms and conditions which are hereby mutually covenanted and agreed to by and between the Grantor and the Grantee.

1. The Grantee shall be responsible for any damage to the property of the Grantor on the Servient Lands caused by the acts or omissions of the Grantee or of persons acting under the authority of the Grantor.
2. Notwithstanding any rule of law or equity, the utilities and all other equipment and appurtenances, brought onto or buried in or under the Servient Lands by the Grantee shall at

all times remain the property of the Grantee notwithstanding that the same may be annexed or affixed to the freehold and shall at any time and from time to time be removable in whole or in part by the Grantee or its successors and assigns.

3. Following completion of any work on the Servient Lands or surrounding lands in relation to the Sewer Connection, the Grantee shall, at its expense, reinstate the Servient Lands to the condition they were in prior to the commencement of construction, including:
 - a. compacting and paving any excavated road section of the Servient Lands or surrounding lands;
 - b. sodding any excavated grassed areas on the Servient Lands or surrounding lands, and watering the sod in place;
 - c. replacing or replanting any damaged lilac bushes as necessary;
 - d. rebuild the stone retaining wall on the Servient Lands as may be required; and
 - e. the Grantee will provide before and after photographs of the Servient Lands showing the completion of the above-referenced work (the “**Restoration**”)
4. The Grantor shall not interfere with the Sewer Connection, and shall not excavate, drill, install, erect, build or permit to be excavated, drilled, installed, erected or built, on, in, over, through or under the Servient Lands any pit, well, building, structure, trees, shrubs, hedges, new shade or ornamental trees or other obstruction of any nature without the prior written consent of the Grantee, which consent shall not be unreasonably withheld, but otherwise the Grantor shall have the right fully to use and enjoy the Servient Lands, subject always to and so as not to interfere with the rights and easement hereby granted to the Grantee.
5. The Grantor retains the right to grant easements, on, in, over, along, across, upon or under the Servient Lands to any person, public utility or municipal body it desires and under any terms and conditions it deems desirable, provided however that no such grant shall interfere with the prior rights conferred on the Grantee by this grant of easement. Prior to the construction or any other works being the subject matter of any additional or further easements, within the Servient Lands, the grantees of such further easements, will be required to submit plans for the review of the Grantee herein and to obtain from the Grantee herein the written consent, which consent shall not be unreasonably withheld, to enter on the Servient Lands or to construct the other works so as to ensure that no conflict will exist between the parties as regards the installation of the other works.
6. The Grantee shall save harmless and indemnify the Grantor from and against all manner of action, causes of action, claims, demands, loss, costs, suits, including legal costs of such suits that may arise, be sustained or prosecuted against the Grantor arising from the Grantee’s use of the Servient Lands in respect of this easement.
7. The Grantee shall be responsible for the maintenance of the utilities on or with respect to the

Sewer Connection on the Servient Lands during their term of use to the reasonable satisfaction of the Grantor.

8. The Grantee shall comply with all applicable municipal by-laws and Provincial Statutes when excavating on the Servient Lands and shall erect suitable protective fencing and/or barricades and flashers around any such excavation.

The term of this Temporary Easement shall expire on the date that is the earlier of:

- a. the date the Grantee releases all right, title and interest under this Temporary Easement; and
- b. October 1, 2038;

after which date the Grantee shall have released this Temporary Easement and all rights and interests appurtenant thereto, and the Grantee shall thereafter have no claim of any kind whatsoever with respect to the Servient Lands.

9. The rights and easements hereby granted are and shall be of the same force and effect to all intents and purposes as a covenant running with the land and this transfer, including all the covenants and conditions herein contained, shall extend to, be binding upon and enure to the benefit of the heirs, executors, administrators, successors in title and assigns of the parties hereto respectively, and all covenants herein contained shall be construed to be several as well as joint, and wherever the singular or masculine is used, it shall be construed as if the plural or the feminine or the neutral, as the case may be, had been used where the context or the party or parties hereto so require, and the rest of the sentence shall be construed as if the grammatical and terminological changes thereby rendered necessary had been made.
10. The Grantor covenants with the Grantee that no other easement will be granted concerning the Servient Lands described herein prior to the registration of this document.

SCHEDULE "A"
LOCATION OF EASEMENT

APPENDIX

APPENDIX

B

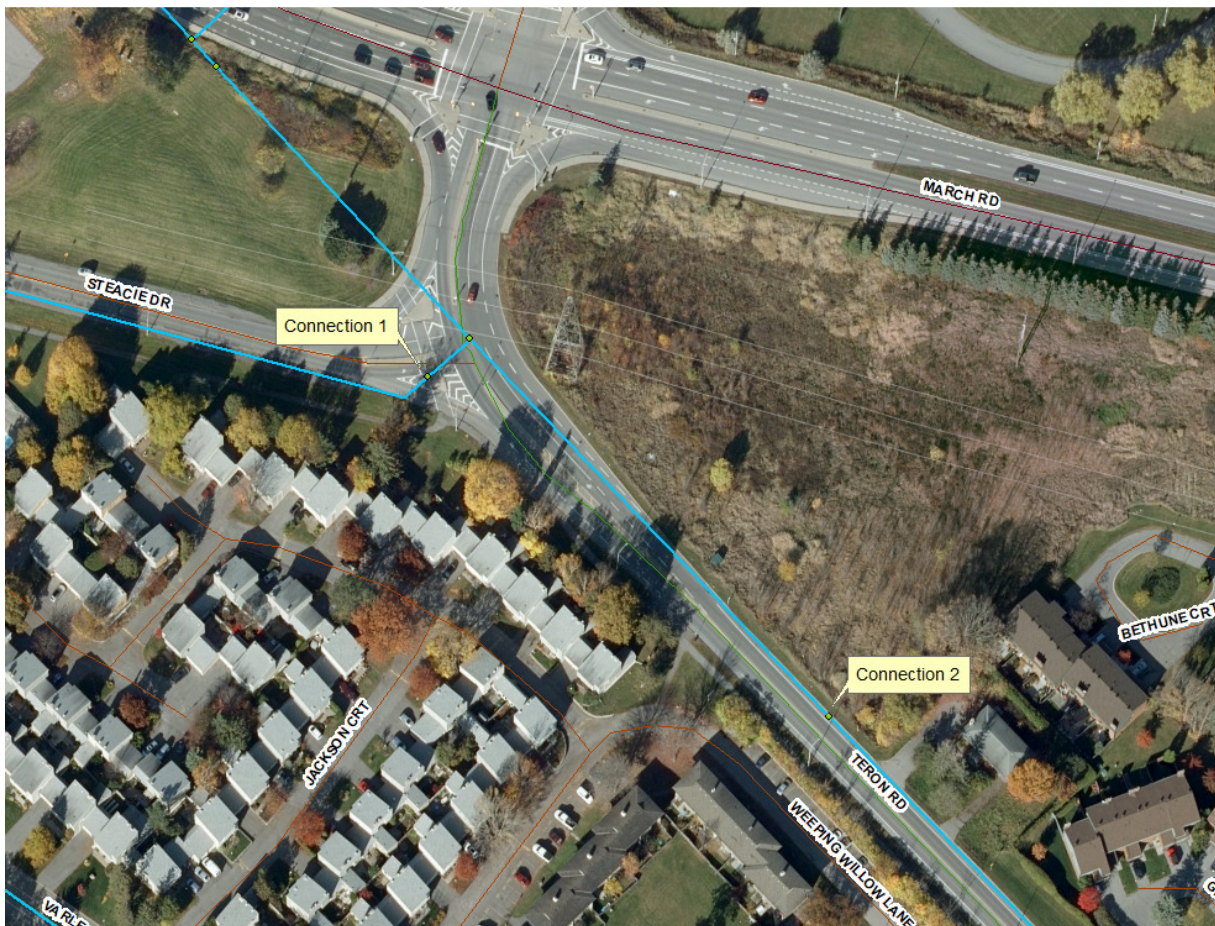
- WATERMAIN BOUNDARY CONDITIONS FROM CITY OF OTTAWA
- EMAILS FROM CITY OF OTTAWA
- FIRE UNDERWRITERS SURVEY – FIRE FLOW CALCULATION
- WATER DEMAND CALCULATION

Boundary Conditions 1151 and 1131 Teron Road

Provided Information

Scenario	Demand	
	L/min	L/s
Average Daily Demand	45	0.75
Maximum Daily Demand	111	1.85
Peak Hour	244	4.06
Fire Flow Demand #1	10,000	166.67

Location



Results

Connection 1 – Steacie Dr.

Demand Scenario	Head (m)	Pressure ¹ (psi)
Maximum HGL	130.2	57.4
Peak Hour	126.9	52.7
Max Day plus Fire 1	127.6	53.7

Ground Elevation = 89.8 m

Connection 2 – Teron Rd.

Demand Scenario	Head (m)	Pressure ¹ (psi)
Maximum HGL	130.2	57.2
Peak Hour	126.9	52.5
Max Day plus Fire 1	127.9	54.0

Ground Elevation = 89.9 m

Disclaimer

The boundary condition information is based on current operation of the city water distribution system. The computer model simulation is based on the best information available at the time. The operation of the water distribution system can change on a regular basis, resulting in a variation in boundary conditions. The physical properties of watermains deteriorate over time, as such must be assumed in the absence of actual field test data. The variation in physical watermain properties can therefore alter the results of the computer model simulation. Fire Flow analysis is a reflection of available flow in the watermain; there may be additional restrictions that occur between the watermain and the hydrant that the model cannot take into account.

Yang, Winston

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: March 4, 2021 10:08 AM
To: Yang, Winston
Subject: RE: Boundary Condition for 1151 and 1131 Teron Road
Attachments: 1151 and 1131 Teron Road_03March2021.docx

Hi Winston,

See attached boundary conditions for 1151 and 1131 Teron.

Regards,

Justin

From: Yang, Winston <Winston.Yang@wsp.com>
Sent: February 17, 2021 12:21 PM
To: Armstrong, Justin <justin.armstrong@ottawa.ca>
Subject: RE: Boundary Condition for 1151 and 1131 Teron Road

Hi Justin,

Sorry for the mistake. Thanks for pointing it out.
It should be limited combustibile instead of non-combustible.
And the numbers mentioned below are correct, please proceed.

Yours truly,

Ding Bang (Winston) Yang, P.Eng.
Project Engineer
Infrastructure



T+ 1 613-690-0538

2611 Queensview Drive, Suite 300
Ottawa, Ontario,
K2B 8K2, Canada

www.wsp.com

From: Armstrong, Justin <justin.armstrong@ottawa.ca>
Sent: February 17, 2021 10:36 AM
To: Yang, Winston <Winston.Yang@wsp.com>
Subject: RE: Boundary Condition for 1151 and 1131 Teron Road

Thanks for providing this Winston.

Before I send it off for boundary conditions, I just wanted to clarify the following item:

- As identified in the Technical Bulletin to the City of Ottawa Water Design Guidelines, ISTB-2018-02, residential buildings are to be attributed a Limited Combustible Occupancy (-15%) rather than the Non-Combustible Occupancy (-25%) that was applied. When this change is made to the FUS calculations, the RFF for the 3-storey building becomes 6,000 L/min while the RFF for the 9-storey building becomes 10,000 L/min.

Please confirm that you are agreeable to the above point, and I will forward the boundary conditions for the site with the following demands:

Average Daily Demand	0.75 L/s
Maximum Daily Demand	1.85 L/s
Maximum Hourly Demand	4.06 L/s
Fire Flow Demand	10,000 L/min, 167 L/s

Thanks,

Justin

From: Yang, Winston <Winston.Yang@wsp.com>
Sent: February 16, 2021 4:00 PM
To: Armstrong, Justin <justin.armstrong@ottawa.ca>
Subject: Boundary Condition for 1151 and 1131 Teron Road

Hi Justin,

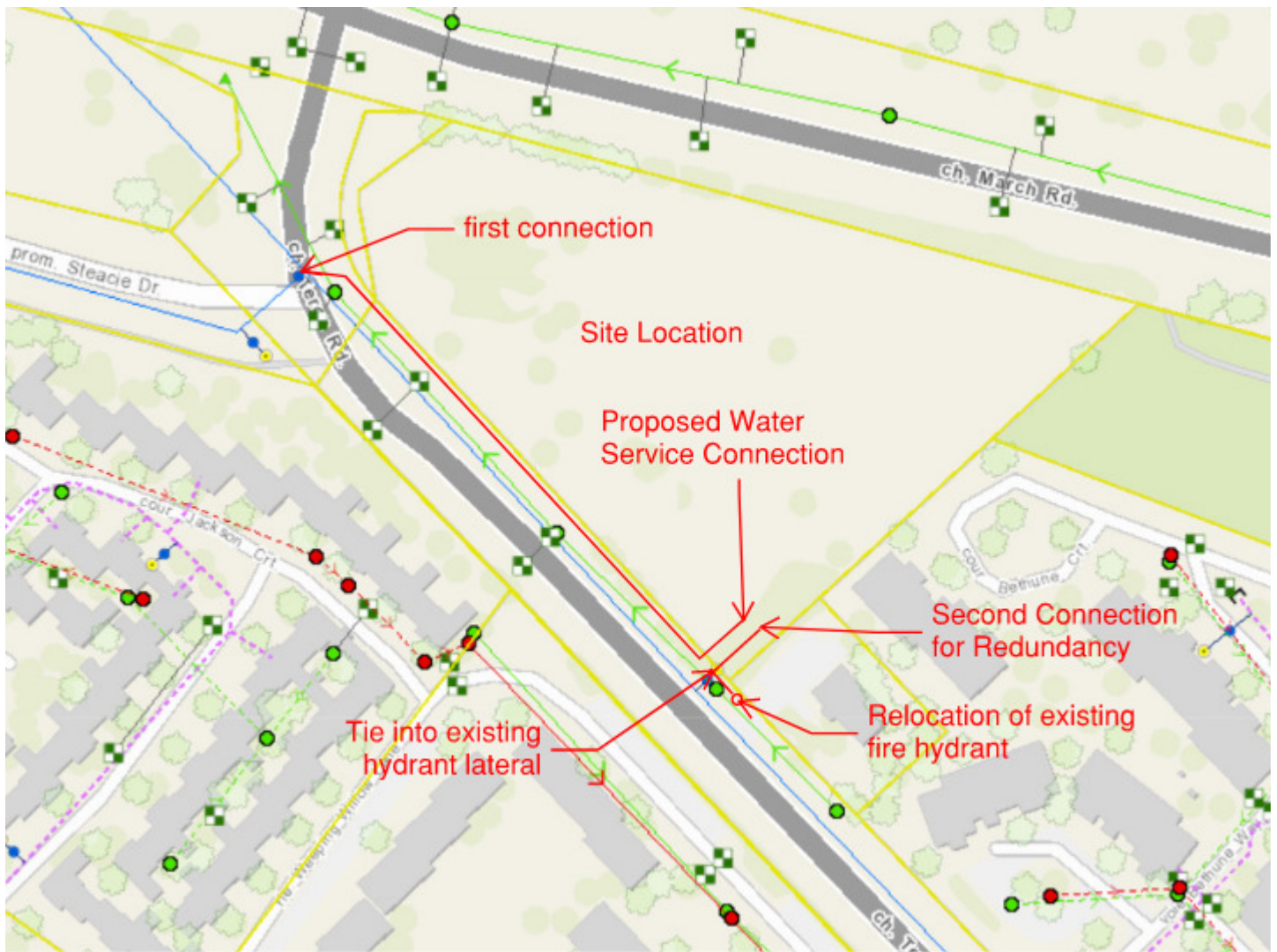
Thanks for the St. James Boundary Condition.

We also need the boundary condition for the 1151 and 1131 Teron Road project.

The proposed 9-Storey and 3-Storey Buildings will be serviced by an extension from Steacie Drive and extended along Teron Road to the development site.

For redundancy, the second connection will be tied into the existing hydrant lateral along Teron Road. And the existing hydrant will be relocated since the existing hydrant is in conflict with the proposed entrance.

Please see below site location and proposed connection for your reference.



The fire flow and domestic water demands calculations are attached for your review.

Please provide boundary condition at the connection points of Steacie Drive and Teron Road.

Should you have any questions please do not hesitate to contact me.

Yours truly,

Ding Bang (Winston) Yang, P.Eng.
Project Engineer
Infrastructure



T+ 1 613-690-0538

2611 Queensview Drive, Suite 300
Ottawa, Ontario,
K2B 8K2, Canada

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Proposed 9-Storey Building
Fire Flow Requirements Based on Fire Underwriters Survey (FUS) 1999

1. An estimate of the Fire Flow required for a given fire area may be estimated by: $F = 220 C \sqrt{A}$

F = required fire flow in litres per minute

C = coefficient related to the type of construction

1.5 for wood construction (structure essentially combustible)

1.0 for ordinary construction (brick or other masonry walls, combustible floor and interior)

0.8 for noncombustible construction (unprotected metal structural components, masonry or metal walls)

0.6 for fire-resistive construction (fully protected frame, floors, roof)

A = total floor area in square metres (including all storeys, but excluding basements at least 50% below grade)

A = 9889 m²

C = 0.8

F = 17502.0 L/min

rounded off to 18,000 L/min (min value of 2000 L/min)

2. The value obtained in 1. may be reduced by as much as 25% for occupancies having a low contents fire hazard.

Non-combustible -25%

Limited Combustible -15%

Combustible 0%

Free Burning 15%

Rapid Burning 25%

Reduction due to low occupancy hazard -15% x 18,000 = 15,300 L/min

3. The value obtained in 2. may be reduced by as much as 50% for buildings equipped with automatic sprinkler protection.

Adequate Sprinkler confirms to NFPA13 -30%

Water supply common for sprinklers & fire hoses -10%

Fully supervised system -10%

No Automatic Sprinkler System 0%

Reduction due to Sprinkler System -50% x 15,300 = -7,650 L/min

4. The value obtained in 2. is increased for structures exposed within 45 metres by the fire area under consideration.

Separation Charge

0 to 3 m 25%

3.1 to 10 m 20%

10.1 to 20 m 15%

20.1 to 30 m 10%

30.1 to 45 m 5%

Side 1 170 0% north side

Side 2 18 15% east side

Side 3 46 0% south side

Side 4 270 0% west side

15%

(Total shall not exceed 75%)

Increase due to separation 15% x 15,300 = 2,295 L/min

5. The flow requirement is the value obtained in 2., minus the reduction in 3., plus the addition in 4.

The fire flow requirement is 10,000 L/min (Rounded to nearest 1000 L/min)

or 167 L/sec

or 2,642 gpm (us)

or 2,200 gpm (uk)



Proposed 3-Storey Building
Fire Flow Requirements Based on Fire Underwriters Survey (FUS) 1999

1. An estimate of the Fire Flow required for a given fire area may be estimated by: $F = 220 C \sqrt{A}$

F = required fire flow in litres per minute

C = coefficient related to the type of construction

1.5 for wood construction (structure essentially combustible)

1.0 for ordinary construction (brick or other masonry walls, combustible floor and interior)

0.8 for noncombustible construction (unprotected metal structural components, masonry or metal walls)

0.6 for fire-resistive construction (fully protected frame, floors, roof)

A = total floor area in square metres (including all storeys, but excluding basements at least 50% below grade)

A = 1640 m²

C = 0.8

F = 7127.5 L/min

rounded off to 7,000 L/min (min value of 2000 L/min)

2. The value obtained in 1. may be reduced by as much as 25% for occupancies having a low contents fire hazard.

Non-combustible -25%

Limited Combustible -15%

Combustible 0%

Free Burning 15%

Rapid Burning 25%

Reduction due to low occupancy hazard -15% x 7,000 = 5,950 L/min

3. The value obtained in 2. may be reduced by as much as 50% for buildings equipped with automatic sprinkler protection.

Adequate Sprinkler confirms to NFPA13 -30%

Water supply common for sprinklers & fire hoses -10%

Fully supervised system -10%

No Automatic Sprinkler System 0%

Reduction due to Sprinkler System -50% x 5,950 = -2,975 L/min

4. The value obtained in 2. is increased for structures exposed within 45 metres by the fire area under consideration.

Separation Charge

0 to 3 m 25%

3.1 to 10 m 20%

10.1 to 20 m 15%

20.1 to 30 m 10%

30.1 to 45 m 5%

Side 1 15 15% north side

Side 2 11 15% east side

Side 3 46 0% south side

Side 4 18 15% west side

45%

(Total shall not exceed 75%)

Increase due to separation 45% x 5,950 = 2,678 L/min

5. The flow requirement is the value obtained in 2., minus the reduction in 3., plus the addition in 4.

The fire flow requirement is 6,000 L/min (Rounded to nearest 1000 L/min)

or 100 L/sec

or 1,585 gpm (us)

or 1,320 gpm (uk)

Based on method described in:

"Water Supply for Public Fire Protection - A Guide to Recommended Practice", 1991
by Fire Underwriters Survey



Proposed Buildings	Residential				Non-Residential			Average Daily			Maximum Daily			Maximum Hourly			Fire
	Units			Pop.	Industrial	Institutional	Commercial	Demand (l/s)			Demand (l/s)			Demand (l/s)			Demand
	SF	APT	ST		(ha)	(ha)	(ha)	Res.	Non-Res.	Total	Res.	Non-Res.	Total	Res.	Non-Res.	Total	
Proposed 9-Storey Building																	
1 Bedroom		59		83				0.27		0.27	0.67		0.67	1.47		1.47	167
2 Bedroom		54		113				0.37		0.37	0.92		0.92	2.02		2.02	167
Proposed 3-Storey Building																	
1 Bedroom		8		11				0.04		0.04	0.09		0.09	0.20		0.20	100
2 Bedroom		10		21				0.07		0.07	0.17		0.17	0.37		0.37	100

Population Densities

Single Family	3.4 person/unit
Semi-Detached	2.7 person/unit
Duplex	2.3 person/unit
Townhome (Row)	2.7 person/unit
Bachelor Apartment	1.4 person/unit
1 Bedroom Apartment	1.4 person/unit
2 Bedroom Apartment	2.1 person/unit
3 Bedroom Apartment	3.1 person/unit
4 Bedroom Apartment	4.1 person/unit
Avg. Apartment	1.8 person/unit

Average Daily Demand

Residential	280 l/cap/day
Industrial	35000 l/ha/day
Institutional	28000 l/ha/day
Commercial	28000 l/ha/day

Maximum Daily Demand

Residential	2.5 x avg. day
Industrial	1.5 x avg. day
Institutional	1.5 x avg. day
Commercial	1.5 x avg. day

Maximum Hourly Demand

Residential	2.2 x max. day
Industrial	1.8 x max. day
Institutional	1.8 x max. day
Commercial	1.8 x max. day

APPENDIX

APPENDIX

C

- SANITARY SEWER DESIGN SHEET

**1131 and 1151 Teron Road
Residential Development
Project: 20M-01534-00
Date: February, 2022**



LOCATION				RESIDENTIAL AREA AND POPULATION										INDUSTRIAL				COMMERCIAL		INSTITUTIONAL		I+C+I		INFILTRATION				PIPE							
LOCATION	FROM M.H.	TO M.H.	SANITARY DRAINAGE AREA ID	INDV AREA (ha)	ACCU AREA (ha)	NUMBER OF UNITS						POPULATION		PEAK FACT.	PEAK FLOW (l/s)	GROSS AREA (ha)	DEVEL AREA (ha)	ACCU. AREA (ha)	PEAK FACTOR	INDIV AREA (ha)	ACCU. AREA (ha)	INDIV AREA (ha)	ACCU. AREA (ha)	PEAK FLOW (l/s)	INDIV AREA (ha)	ACCU. AREA (ha)	INFILT. FLOW (l/s)	TOTAL FLOW (l/s)	LENGTH (m)	DIA. (mm)	SLOPE (%)	CAP. (l/s) (FULL)	VEL. (m/s) (FULL)	AVAIL. CAP (%)	
						SINGLES	SEMS	TOWNS	1-BED APT.	2-BED APT.	3-BED APT.	INDIV POP.	ACCU POP.																						
TO WEEPING WILLOW LANE																																			
	BLDG	SAMH101		0.174	0.174				67.00	64.00		228	228	3.50	2.59											0.174	0.17	0.06	2.65	1.00	200	1.00	32.80	1.04	91.93%
	SAMH101	Ex. SANMH			0.174							228	228	3.50	2.59											0.000	0.17	0.06	2.65	41.03	200	0.35	19.40	0.62	86.36%
Jackson Court	EXISTING	EXISTING		0.690	0.690			9.00				24	24	3.69	0.29											0.690	0.69	0.23	0.52	118.00	250	0.20	26.59	0.54	98.05%
Weeping Willow Lane	EXISTING	Ex. SANMH		0.080	0.770			2.00				5	30	3.68	0.35											0.080	0.77	0.25	0.61	53.00	250	0.20	26.59	0.54	97.71%
Weeping Willow Lane	Ex. SANMH	EXISTING			0.944							0	258	3.48	2.91											0.000	0.94	0.31	3.22	48.00	250	0.20	26.59	0.54	87.88%
																			</																

APPENDIX

APPENDIX

D

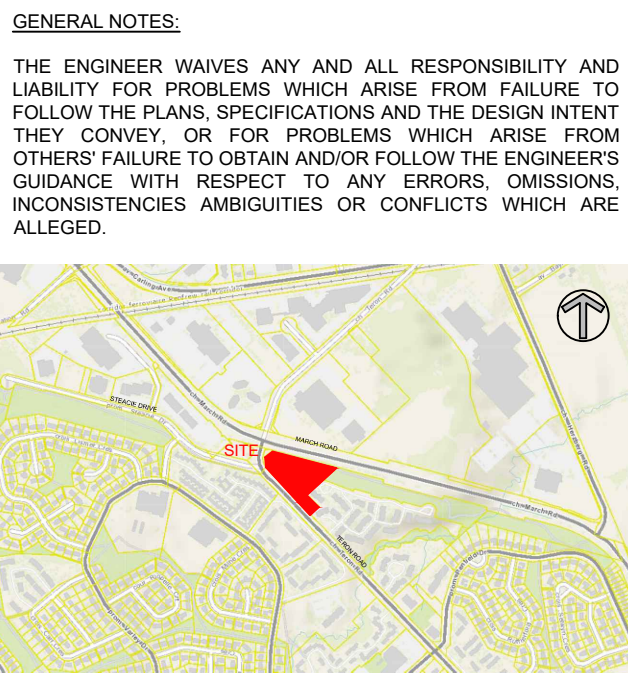
- STORM SEWER DESIGN SHEET
- STORM DRAINAGE PLAN C04 AND C04A
- GRADING PLAN C02
- SERVICING PLAN C03, C03A AND C03B
- STORMCEPTOR EF4 DETAILS AND SIZING REPORT
- FLOW CONTROL ROOF DRAINAGE DECLARATION

STORM SEWER DESIGN SHEET

1131 and 1151 Teron Road
Residential Development
Project: 20M-01534-00
Date: February, 2022



LOCATION				AREA (Ha)						RATIONAL DESIGN FLOW														PROPOSED SEWER DATA									
STREET	AREA ID	FROM	TO	C= 0.25	C= 0.35	C= 0.50	C= 0.60	C= 0.75	C= 0.90	IND 2.78AC	CUM 2.78 AC	INLET (min)	TOTAL (min)	i (2) (mm/hr)	i (5) (mm/hr)	i (100) (mm/hr)	BLDG FLOW (L/s)	2yr PEAK FLOW (L/s)	5yr PEAK FLOW (L/s)	100yr PEAK FLOW (L/s)	ICD FIXED FLOW (L/s)	DESIGN FLOW (L/s)	MODIFIED DESIGN FLOW (L/s)	MATERIAL PIPE	SIZE (mm)	SLOPE (%)	LENGTH (m)	CAPACITY (l/s)	VELOCITY (m/s)	TIME IN PIPE	AVAIL CAP (2yr) (L/s)	(%)	
To March Road Ditch																																	
March Road	B-BLDG1-2, B-101-102	BUILDING SERVICE	STMH101	0.061					0.316	0.833	0.833	10.00	10.05	76.81	104.19	178.56		63.98					63.98		PVC DR-35	375.0	1.00	5.00	175.51	1.59	0.05	111.53	63.55%
		STMH101	STMH102							0.000	0.833	10.05	10.60	76.60	103.92	178.08		63.81					63.81		PVC DR-35	375.0	0.30	28.45	96.13	0.87	0.55	32.32	33.62%
		STMH102	STMH104							0.000	0.833	10.60	11.20	74.58	101.14	173.27		62.13					62.13		PVC DR-35	375.0	0.30	31.55	96.13	0.87	0.60	34.00	35.37%
March Road	A-101	CB101	STMH103	0.042					0.146	0.394	0.394	10.00	10.18	76.81	104.19	178.56		30.30					30.30		PVC DR-35	250.0	1.00	13.38	59.53	1.21	0.18	29.23	49.10%
		STMH103	STMH104							0.000	0.394	10.18	10.35	76.11	103.23	176.89		30.02					30.02		PVC DR-35	375.0	0.30	8.85	96.13	0.87	0.17	66.11	68.77%
	A-102	CB102	STMH104-STMH105	0.022					0.100	0.265	0.265	10.00	10.15	76.81	104.19	178.56		20.39					20.39		PVC DR-35	250.0	1.00	11.00	59.53	1.21	0.15	39.14	65.75%
	A-103	CB103	STMH104-STMH105	0.044					0.132	0.361	0.361	10.00	10.15	76.81	104.19	178.56		27.71					27.71		PVC DR-35	250.0	1.00	10.90	59.53	1.21	0.15	31.81	53.44%
		STMH104	STMH105							0.000	1.854	11.20	12.37	72.48	98.24	168.27		134.36					134.36		PVC DR-35	525.0	0.17	57.40	177.50	0.82	1.17	43.14	24.30%
		STMH105	OUTLET							0.000	1.854	12.37	12.66	68.76	93.14	159.45		127.47					127.47		PVC DR-35	525.0	0.17	14.05	177.50	0.82	0.29	50.02	28.18%
Definition: Q=2.78CiA, where: Q = Peak Flow in Litres per Second (L/s) A = Area in Hectares (Ha) i = Rainfall Intensity in millimeters per hour (mm/hr) i = 732.951/(TC+6.199)^0.810 i = 1174.184/(TC+6.014)^0.816 i = 1735.688/(TC+6.014)^0.820 2 Year 5 Year 100 Year				Notes: 1. Mannings coefficient (n) = 0.013 Time-of-Concentration in the Swale FAA Equation: t (min) = 3.258 [(1.1 - C) L^0.5 / S^0.33] Where: Longest Watercourse Length, L (m). S (%) Runoff Coef.C = Impervious						Designed: D.B.Y. Checked: D.B.Y./I.J. Dwg. Reference: C04						No.		Revision				Date											
																1.		City Submission No. 1				2021-04-12											
																2.		City Submission No. 2				2021-10-04											
																3.		City Submission No. 3				2022-02-18											
						File Reference: 20M-01534-00						Date: 2022-02-18						Sheet No: 1 of 1															



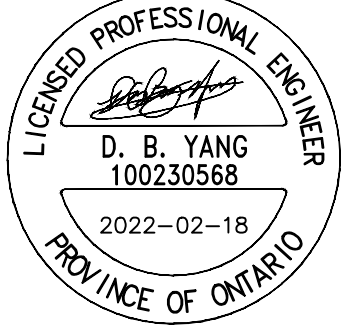
KEY PLAN
(N.T.S)

05	REVISED AS PER CITY COMMENTS	D.Y.	2022-02-18
04	RE-ISSUED FOR TENDER	D.Y.	2022-02-16
03	ISSUED FOR TENDER	D.Y.	2021-12-08
02	REVISED AS PER CITY COMMENTS	D.Y.	2021-10-04
01	ISSUED FOR SPC	D.Y.	2021-04-16
No.	REVISIONS	BY	DATE

HORIZONTAL SCALE:

SCALE: 1:300

DISTANCES SHOWN ON THIS PLAN ARE IN METRES
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CLIENT

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C/O ANAND AGGARWAL
MANOR PARK MANAGEMENT
231 BRITTANY DRIVE, SUITE D
OTTAWA, ON K1K 0R8



 ANNIS, O'SULLIVAN, VOLLEBEKK
Ontario Land Surveyors
14 CONCOURSE GATE, SUITE 500, NEPEAN, ONTARIO, K2E 7S5
TEL.(613)727-0850 FAX(613)727-1079

DESIGNED BY: D.Y.	DRAWN BY: D.Y.	APPROVED BY: D.Y./I.J.
PROJECT		

1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

DRAWING TITLE

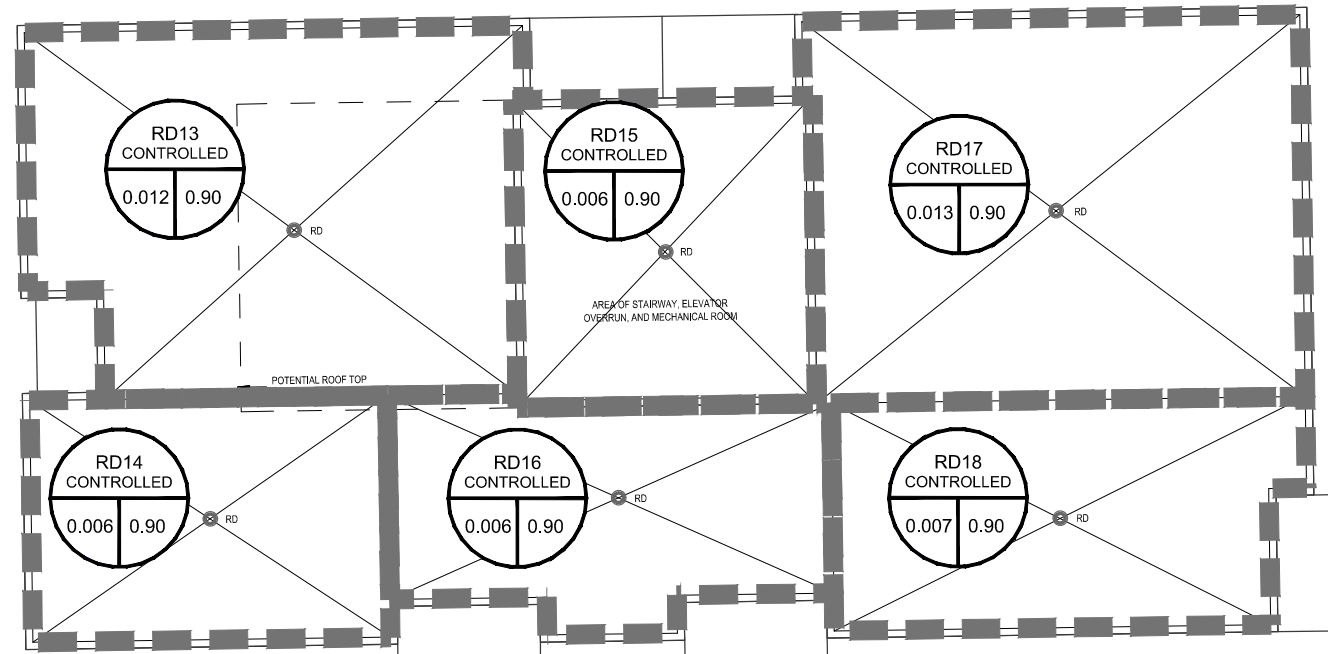
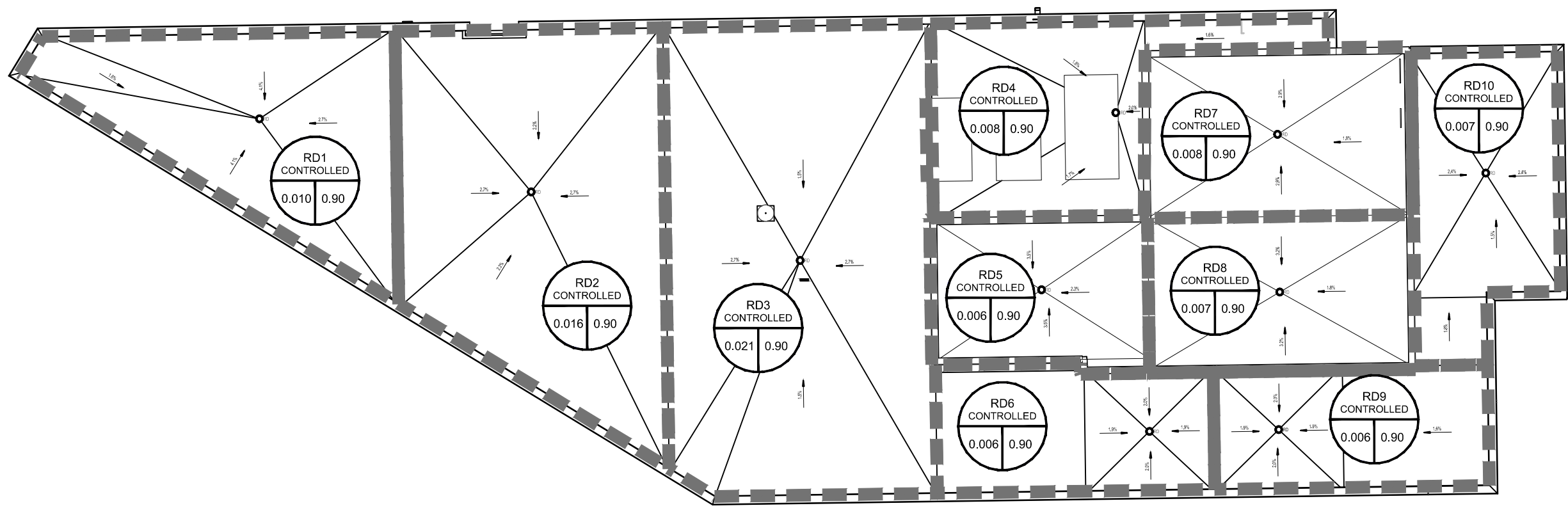
DRAINAGE AREA PLAN

PROJECT NO.	DRAWING NO.
20M-01534-00	

C04

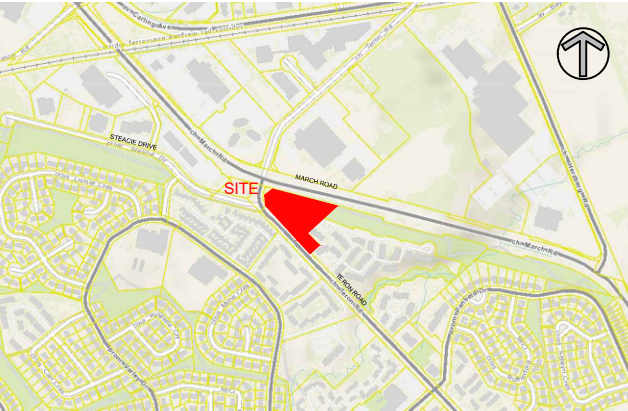
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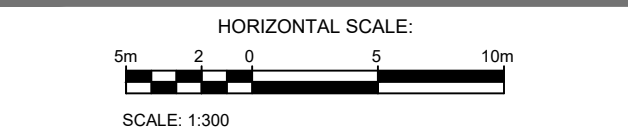
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01	ISSUED FOR SPC	D.Y.	2021-04-16



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DESIGNED BY: D.Y. DRAWN BY: D.Y. APPROVED BY: D.Y./I.J.

PROJECT
1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

DRAWING TITLE

ROOF DRAINAGE PLAN

PROJECT NO. 20M-01534-00 DRAWING NO. C04A

Adjustable Accutrol Weir

Tag:

Adjustable Flow Control for Roof Drains

ADJUSTABLE ACCUTROL (for Large Sump Roof Drains only)

For more flexibility in controlling flow with heads deeper than 2", Watts Drainage offers the Adjustable Accutrol. The Adjustable Accutrol Weir is designed with a single parabolic opening that can be covered to restrict flow above 2" of head to less than 5 gpm per inch, up to 6" of head. To adjust the flow rate for depths over 2" of head, set the slot in the adjustable upper cone according to the flow rate required. Refer to Table 1 below.

Note: Flow rates are directly proportional to the amount of weir opening that is exposed.

EXAMPLE:

For example, if the adjustable upper cone is set to cover 1/2 of the weir opening, flow rates above 2" of head will be restricted to 2 1/2 gpm per inch of head.

Therefore, at 3" of head, the flow rate through the Accutrol Weir that has 1/2 the slot exposed will be:
[5 gpm (per inch of head) x 2 inches of head] + 2 1/2 gpm (for the third inch of head) = 12 1/2 gpm.

1/2 Weir Opening Exposed Shown Above

TABLE 1. Adjustable Accutrol Flow Rate Settings

Weir Opening Exposed	1"	2"	3"	4"	5"	6"
Full Exposed	5	10	15	20	25	30
3/4	5	10	13.75	17.5	21.25	25
1/2	5	10	10.5	13	15.5	20
1/4	5	10	11.25	12.5	13.75	15
Closed	5	5	5	5	5	5

Job Name _____ Contractor _____
Job Location _____ Contractor's P.O. No. _____
Engineer _____ Representative _____

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Roof Drains Areas and Storage Volume Table							type
Roof Drainage #	Roof Area m²	Ponding Area m²	Ponding Depth m	Ponding Volume m³	Release Rate l/s		
RD1	99.0	99.0	0.150	4.95	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD2	164.0	164.0	0.150	8.20	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD3	212.0	212.0	0.150	10.60	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD4	80.0	80.0	0.150	4.00	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD5	56.0	56.0	0.150	2.80	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD6	58.0	58.0	0.150	2.90	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD7	77.0	77.0	0.150	3.85	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD8	71.0	71.0	0.150	3.55	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD9	56.0	56.0	0.150	2.80	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD10	69.0	69.0	0.150	3.45	1.25	WATTS Accutrol with 1/2 weir opening exposed	
RD13	120.0	120.0	0.150	6.00	1.58	WATTS Accutrol with 3/4 weir opening exposed	
RD14	61.0	61.0	0.090	1.83	1.34	WATTS Accutrol with 3/4 weir opening exposed	
RD15	65.0	65.0	0.090	1.95	1.34	WATTS Accutrol with 3/4 weir opening exposed	
RD16	64.0	64.0	0.090	1.92	1.34	WATTS Accutrol with 3/4 weir opening exposed	
RD17	131.0	131.0	0.150	6.55	1.58	WATTS Accutrol with 3/4 weir opening exposed	
RD18	72.0	72.0	0.090	2.16	0.87	WATTS Accutrol with 3/4 weir opening exposed	
Total	1455.0	1455.0		67.5	20.6		

FLOW CONTROL ROOF DRAINAGE DECLARATION

THIS FORM TO BE COMPLETED BY THE MECHANICAL AND STRUCTURAL ENGINEERS RESPONSIBLE FOR DESIGN

Permit Application No.

Project Name:

1151 Teron Road

Building Location:

1151 Teron Road

Municipality:

City of Ottawa

The roof drainage system has been designed in accordance with the following criteria: (please check one of the following).

- M1. ☐ Conventionally drained roof (no flow control roof drains used).
- M2. ☒ Flow control roof drains meeting the following conditions have been incorporated in this design:
- (a) the maximum drain down time does not exceed 24h,
 - (b) one or more scuppers are installed so that the maximum depth of water on the roof cannot exceed 150mm,
 - (c) drains are located not more than 15m from the edge of roof and not more than 30m from adjacent drains, and
 - (d) there is at least one drain for each 900 sq.m.
- M3. ☐ A flow control drainage system that does not meet the minimum drainage criteria described in M2 has been incorporated in this design.

PROFESSIONAL SEAL APPLIED BY:

Practitioner's Name:

Michael St. Louis

Firm:

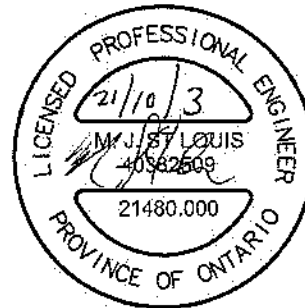
Smith + Andersen

Phone #:

613 230 1186 ext 3120

City: Ottawa

Province: Ontario



Mechanical Engineer's Seal

- S1. ☐ The design parameters incorporated into the overall structural design are consistent with the information provided by the Mechanical Engineer in M2. Loads due to rain are not considered to act simultaneously with loads due to snow as per Sentence 4.1.6.4 (3) OBC.
- S2. ☐ The structure has been designed incorporating the additional structural loading due to rain acting simultaneously with the snow load. The design parameters are consistent with the control flow drainage system designed by the mechanical engineer.

PROFESSIONAL SEAL APPLIED BY:

Practitioner's Name:

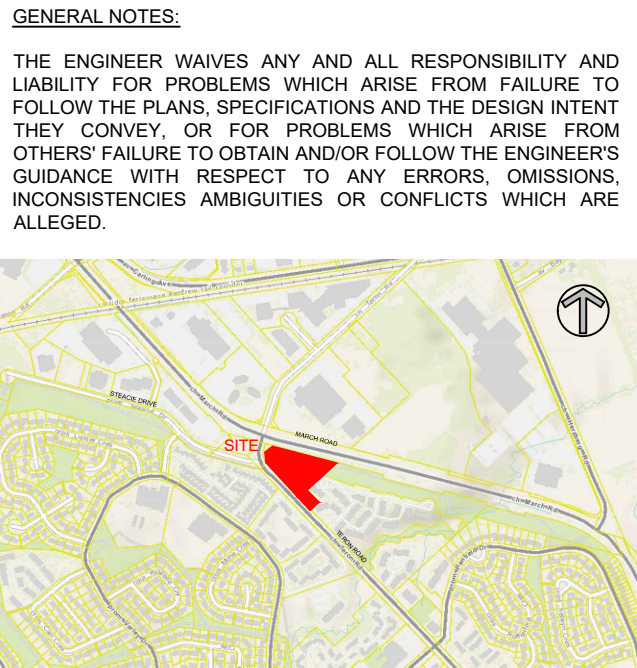
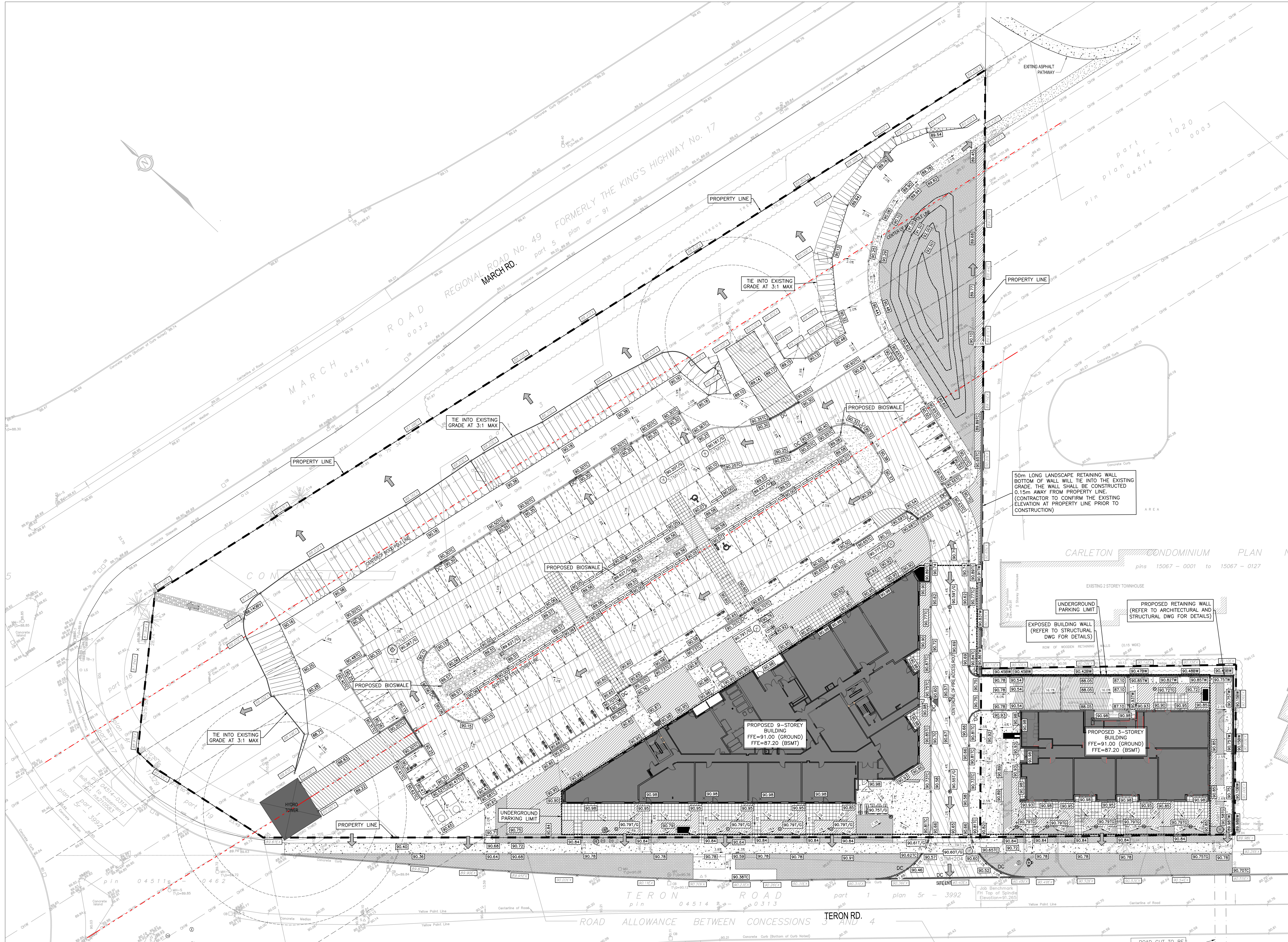
Firm:

Phone #:

City:

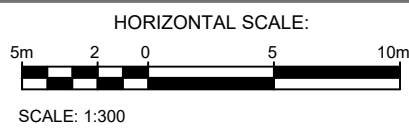
Province:

Structural Engineer's Seal



KEY PLAN
(NTS)

No.	REVISIONS	BY	DATE
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OTTAWA, ON K1K 0R8



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Ontario Land Surveyors
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TEL: (416) 727-0850 FAX: (416) 727-1079

DESIGNED BY: D.Y. DRAWN BY: D.Y. APPROVED BY: D.Y./J.J.

PROJECT
1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

DRAWING TITLE
GRADING PLAN

PROJECT NO.
20M-01534-00

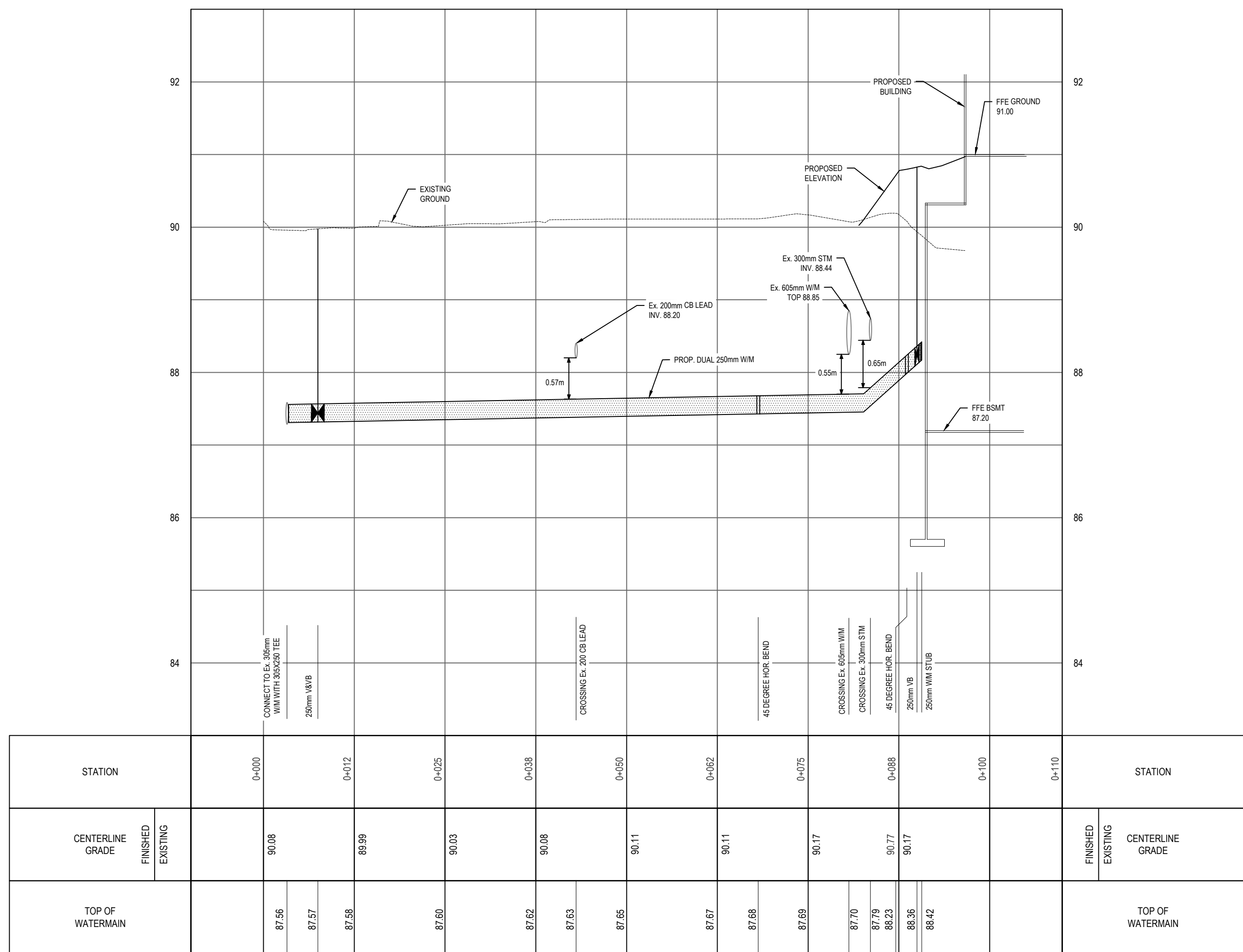
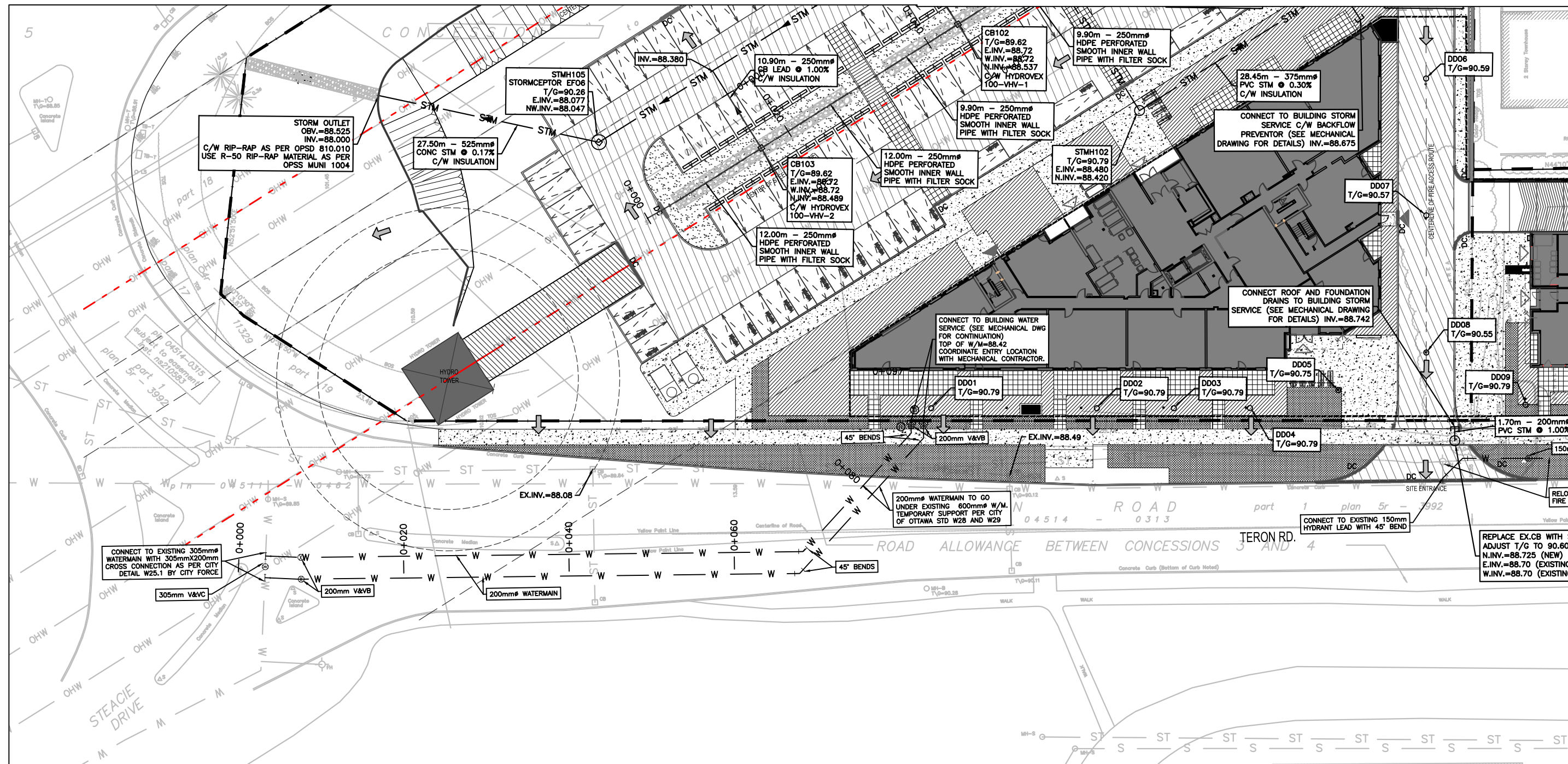
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C02

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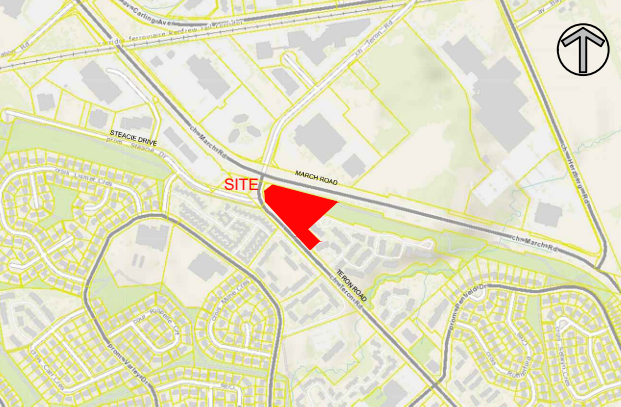
D07-12-19-0187

1. ALL WATERMAIN AND WATERMAIN APPURTENANCES, MATERIALS, CONSTRUCTION AND TESTING METHODS SHALL CONFORM TO THE CURRENT CITY OF OTTAWA AND MINISTRY OF ENVIRONMENT STANDARDS AND SPECIFICATIONS.
2. ALL WATERMAIN 300mm DIAMETER AND SMALLER TO BE POLY VINYL CHLORIDE (PVC) CLASS 150 R 18 MEETING AWWA SPECIFICATION C900.
3. ALL WATERMAIN TO BE INSTALLED AT MINIMUM COVER OF 2.4m BELOW FINISHED GRADE. WHERE WATERMANS CROSS OVER OTHER UTILITIES, A MINIMUM 0.30m CLEARANCE SHALL BE MAINTAINED. WHERE WATERMANS CROSS OVER OTHER UTILITIES, A MINIMUM 0.50m CLEARANCE SHALL BE MAINTAINED. WHERE THE MINIMUM SEPARATION CANNOT BE ACHIEVED, THE WATERMAIN SHALL BE INSTALLED AS PER CITY OF OTTAWA STANDARDS W21 AND W25.2. WHERE 2.4m MINIMUM DEPTH CANNOT BE ACHIEVED, THERMAL INSULATION SHALL BE PROVIDED AS PER CITY OF OTTAWA STANDARD W23. WHERE A WATERMAIN IS IN CLOSE PROXIMITY TO AN OPEN STRUCTURE, THERMAL INSULATION SHALL BE PROVIDED AS PER CITY OF OTTAWA STANDARD W23.
4. CONCRETE THRUST BLOCKS AND MECHANICAL RESTRAINTS ARE TO BE INSTALLED AT ALL TEES, BENDS, HYDRANTS, REDUCERS, ENDS OF MAINS AND CONNECTIONS 100mm and LARGER, IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS W23.3 & W25.4.
5. CATHODIC PROTECTION REQUIRED FOR ALL IRON FITTINGS AS PER CITY OF OTTAWA STANDARD W23.4 & W42.
6. ALL VALVES AND VALVE BOXES AND CHAMBERS, HYDRANTS, AND HYDRANT VALVES AND ASSEMBLES SHALL BE INSTALLED AS PER CITY OF OTTAWA STANDARD
7. FIRE HYDRANT LOCATION AND INSTALLATION AS PER CITY OF OTTAWA STANDARD W18 & W19. CONTRACTOR TO PROVIDE FLOW TEST AND PAINTING OF NEW HYDRANT IN ACCORDANCE WITH CITY STANDARDS.
8. IF WATER MAIN MUST BE DEFLECTED MORE THAN ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.
9. MECHANICAL EXCAVATION WITHIN 3m OF THE CENTERLINE OF THE EXISTING WATERMAIN TO BE IDENTIFIED IN THE FIELD. REMOVAL OF OVERBURDEN UP TO 1m ABOVE THE OVERTOP CAN BE COMPLETED WITH MECHANICAL EQUIPMENT HOWEVER ABOVE DEPTH/CLAY EXCAVATE THE FINAL MATERIAL TO CONFIRM THE LOCATION. A CITY OF OTTAWA INSPECTOR MUST BE ON-SITE AT ALL TIMES DURING THE WORK. AFTER THE 600mm WATERMAIN.



SCALE: HOR 1:500
 VER 1:50


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No.	REVISIONS	BY	DATE

HORIZONTAL SCALE:



SCALE: 1:500

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DESIGNED BY: D.Y. DRAWN BY: D.Y. APPROVED BY: D.Y./I.J.

PROJECT

1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

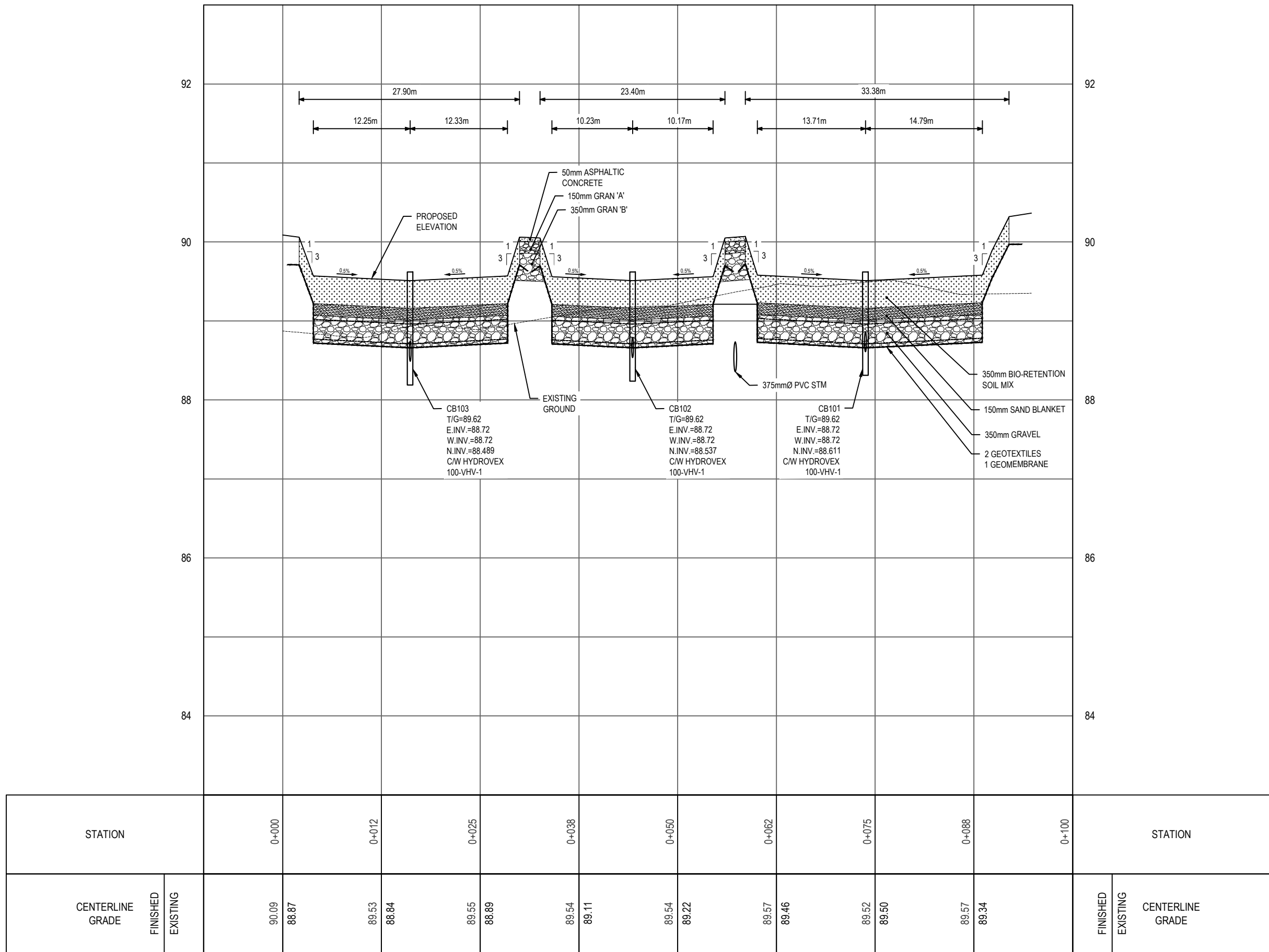
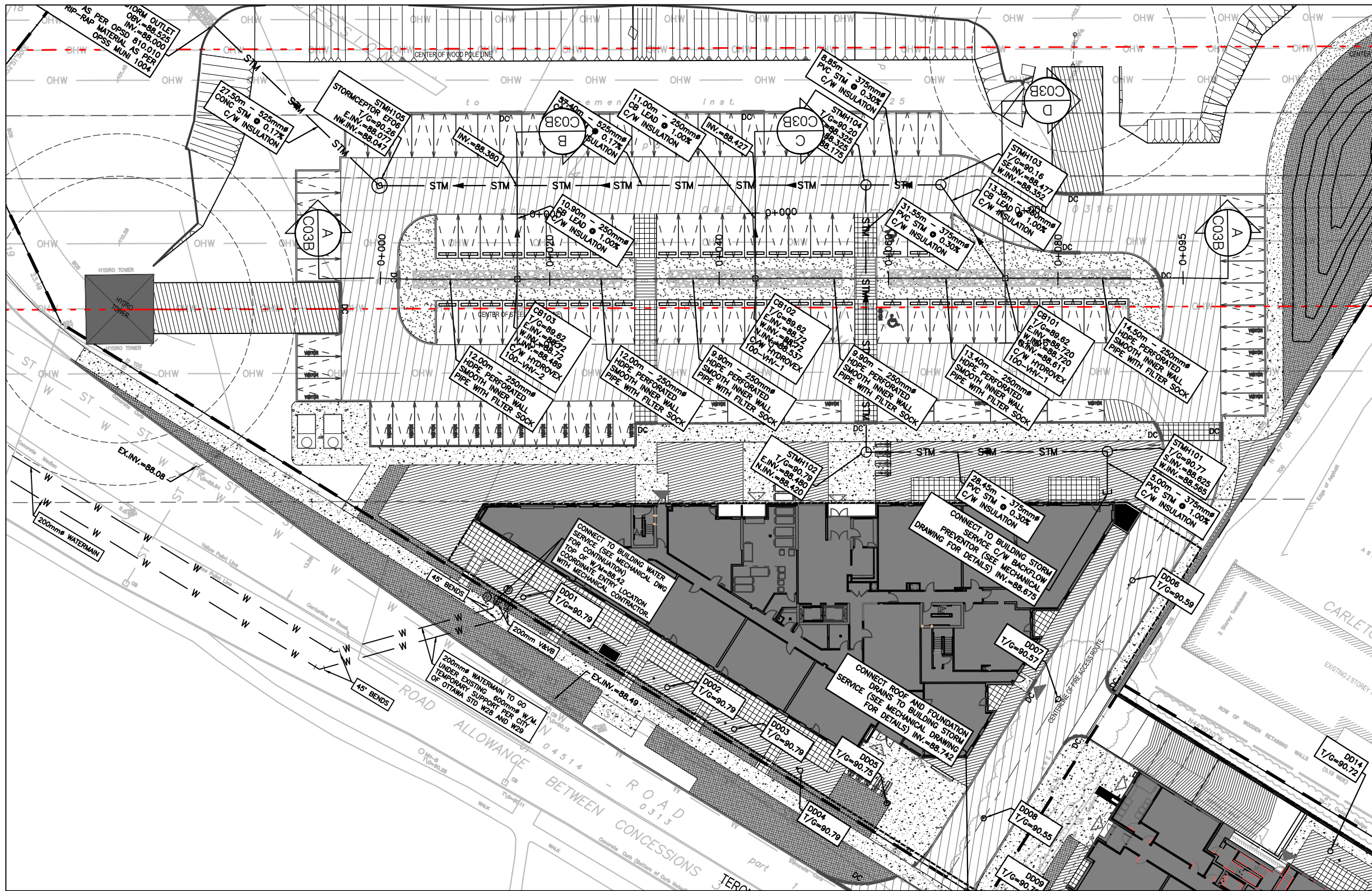
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PROPOSED 250mm W/M
EXTENSION IN TERON ROAD

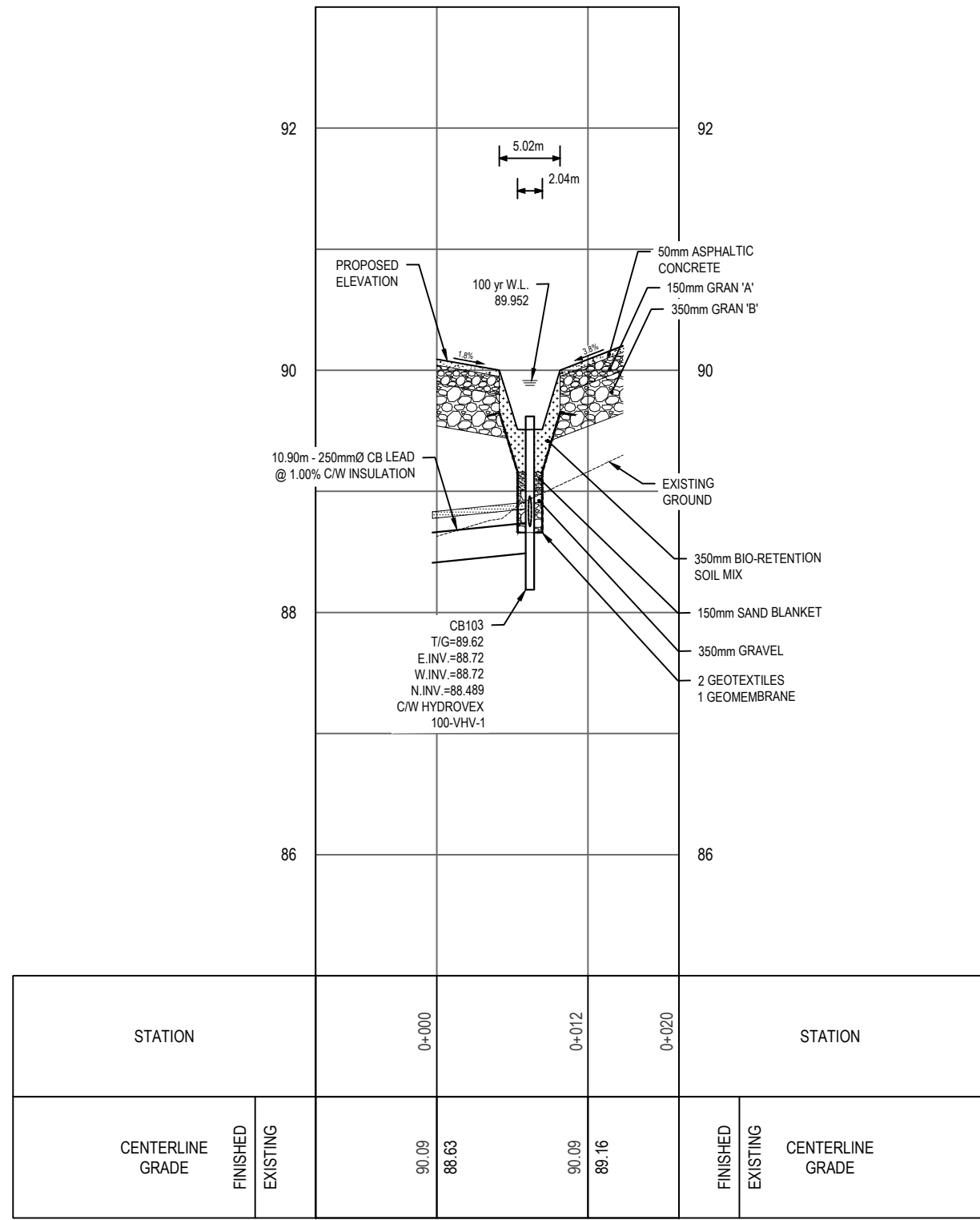
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20M-01534-0

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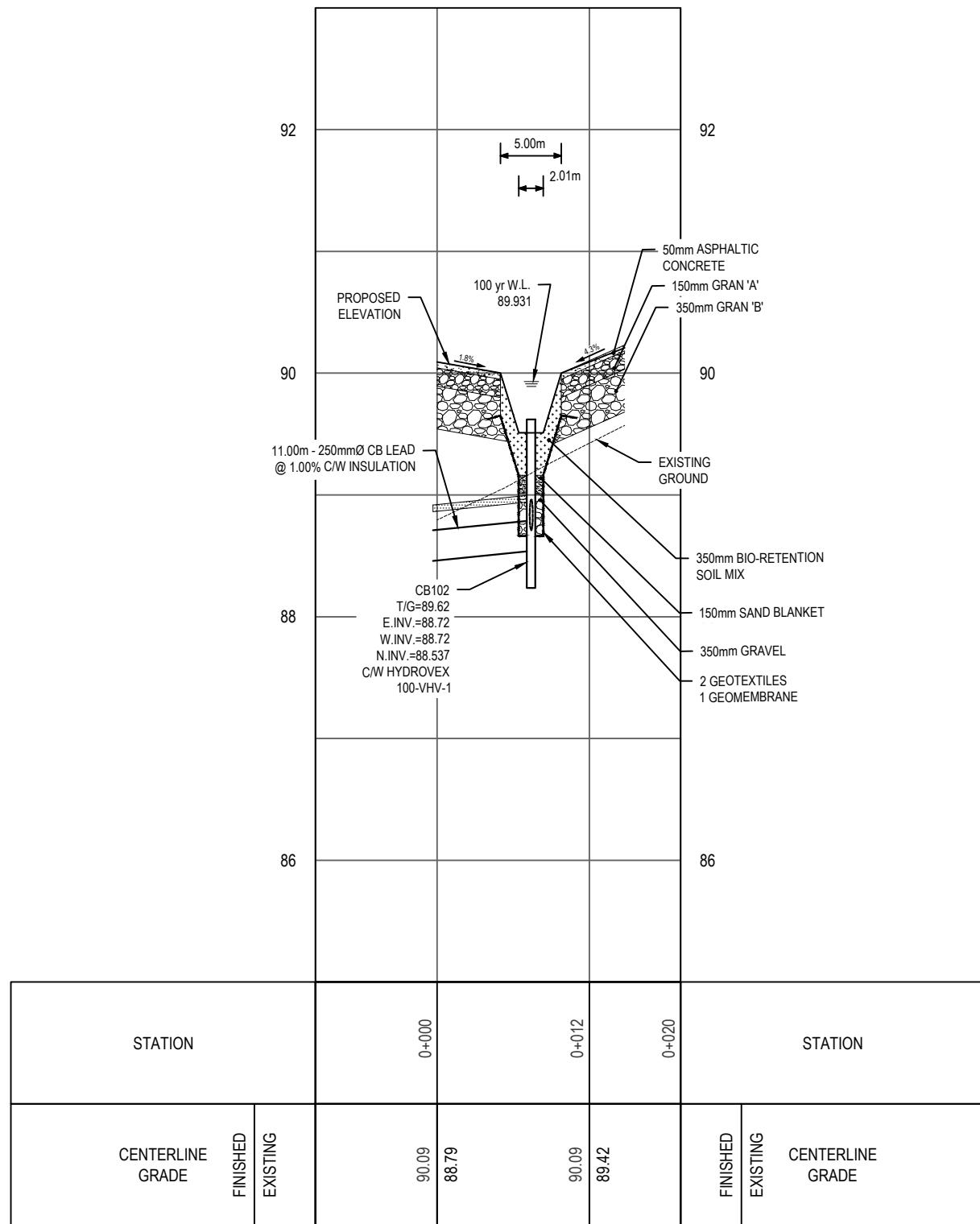
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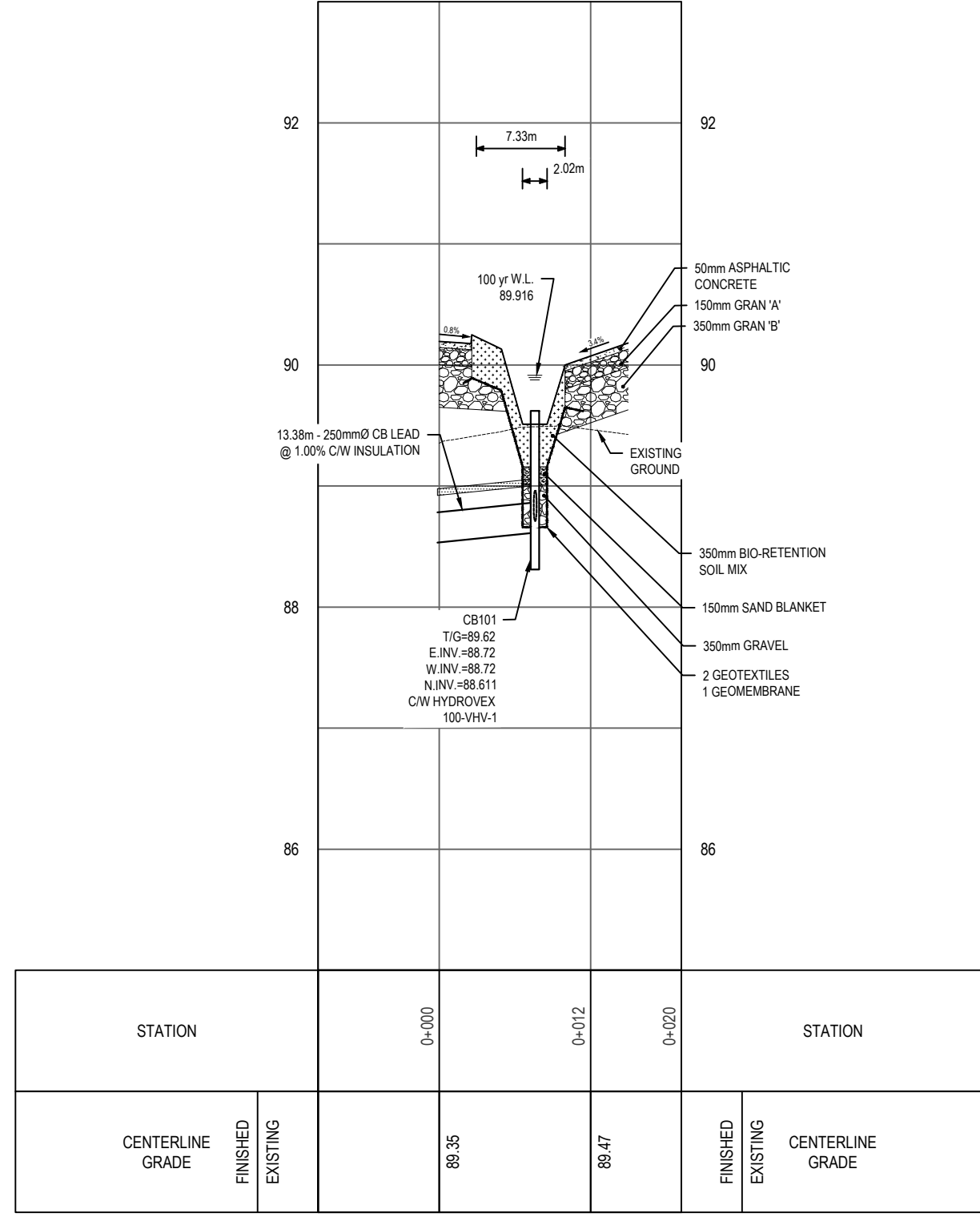
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VER 1:50



SECTION B-B
SCALE: HOR 1:500
VER 1:50



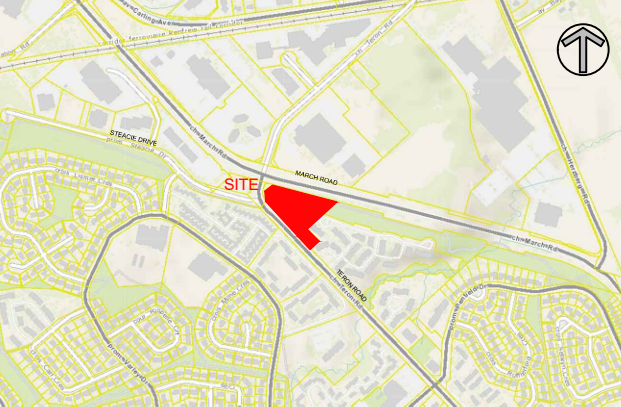
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VER 1:50



SECTION D-D
SCALE: HOR 1:500
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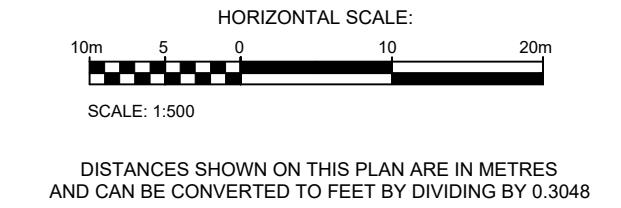
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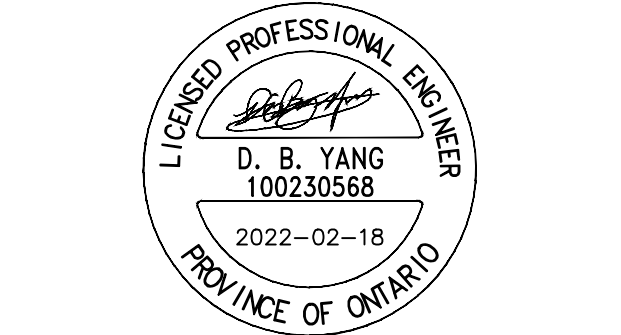


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DESIGNED BY: D.Y. DRAWN BY: D.Y. APPROVED BY: D.Y./J.J.

PROJECT
1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

DRAWING TITLE
BIO-SWALE
PROFILE AND SECTIONS

PROJECT NO. 20M-01534-00 DRAWING NO. C03B

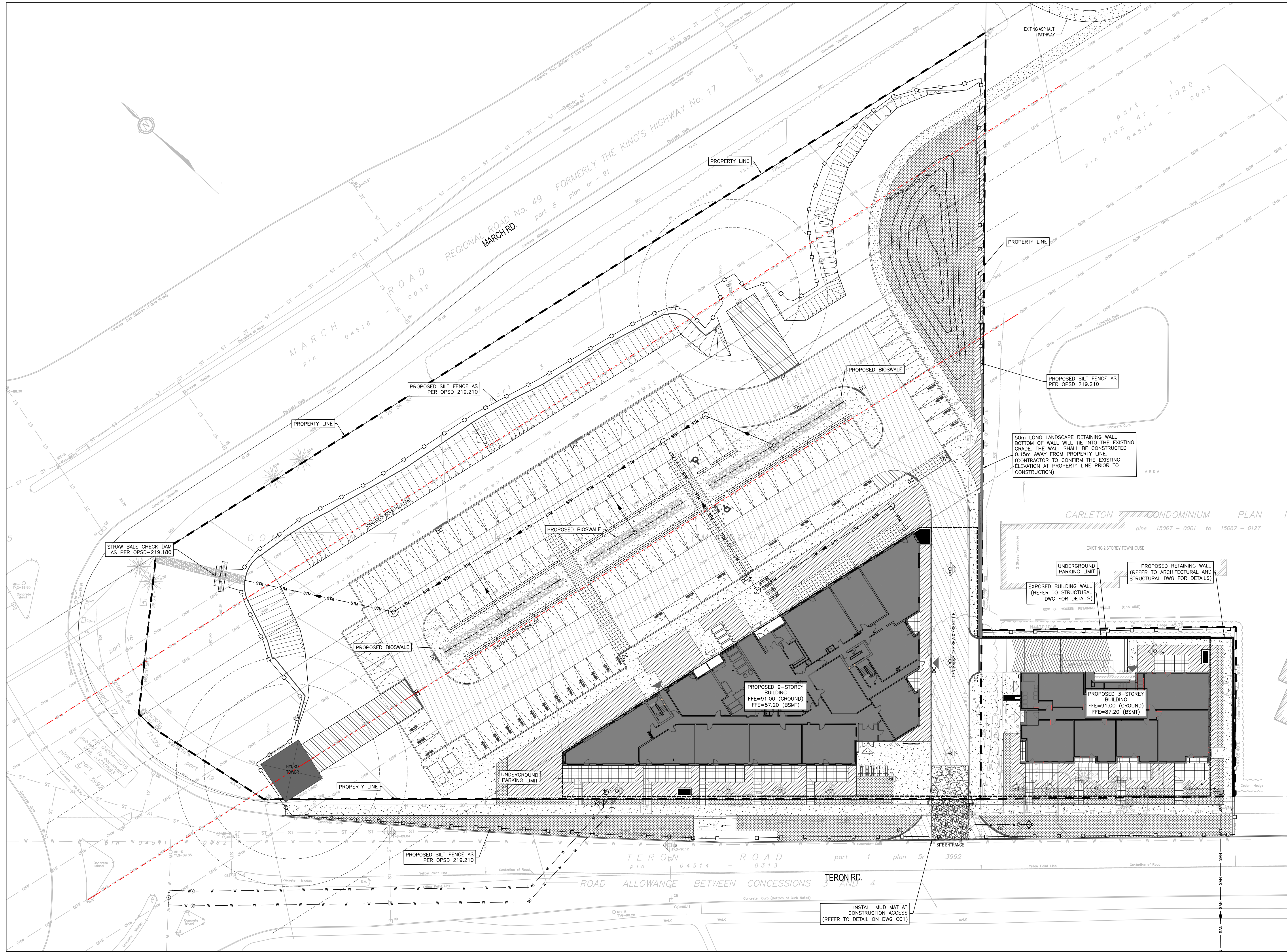
APPENDIX

APPENDIX

E

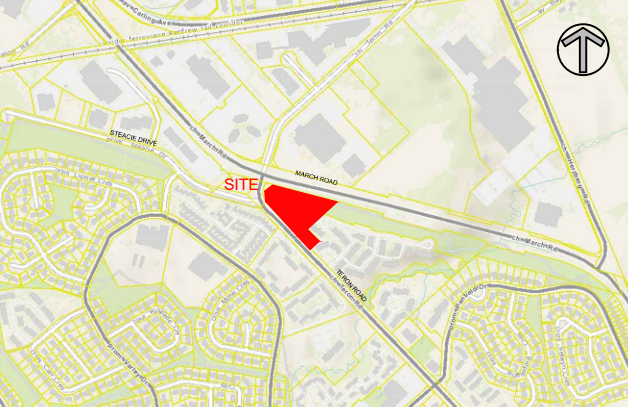
- EROSION AND SEDIMENTATION CONTROL
PLAN C05

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PLOTDATE: Feb 23, 2022 - 11:58am cmy/98741



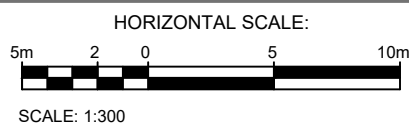
GENERAL NOTES:

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.



KEY PLAN
(NTS)

No.	REVISIONS	BY	DATE
05	REVISED AS PER CITY COMMENTS	D.Y.	2022-02-18
04	RE-ISSUED FOR TENDER	D.Y.	2022-02-16
03	ISSUED FOR TENDER	D.Y.	2021-12-08
02	REVISED AS PER CITY COMMENTS	D.Y.	2021-10-04
01	ISSUED FOR SPC	D.Y.	2021-04-16



DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



NOT VALID UNLESS SIGNED AND DATED



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DESIGNED BY: D.Y. DRAWN BY: D.Y. APPROVED BY: D.Y./J.J.

PROJECT

1151 AND 1131 TERON ROAD
RESIDENTIAL DEVELOPMENT

DRAWING TITLE

EROSION AND SEDIMENTATION
CONTROL PLAN

PROJECT NO.
20M-01534-00

DRAWING NO.

C05

#18465

D07-12-19-0187