

R4_UB zoning

rovision	Requirement	Proposed	
ot Width (min)	10 m	10.06 m	1
ot Area (min)	300 m ²	306.98 m ²	✓
uilding Height (max)	11 m	10.7 m	✓
ont Yard Setback (min)	4.3 m	4.30 m	1
terior Side Yard	1.5 m	North Side: 1.5 m	1
etback (min)	000/ 5/1 1 1 1 / (0.45)	South Side: 1.85 m	√
ear Yard Setback (min)	30% of the lot depth (9.15 m)	9.15 m	•
ermitted Projections	Bay window where window faces a lot line	0.8 m and 3.5 m from the	
errilited i rojections	- 1m, but not closer than 1.2 m from a lot	front lot line	1
	line		
	Open stairway, stoop, landing and steps,		
	where at or below the floor level of the first	2.1 m from front lot line	1
	floor - in the front yard - no closer than		
	0.6 m to a lot line; and		
	Exit stairs providing required egress under	2.2	./
	the Building Code may project a max. of 2.2 m into the required rear yard	2.2 m	•
aste Management	Max. width of path for movement of	1.5 m	1
rasio Management	garbage containers: 2.2 m		
	Min. setback from interior and rear lot		_
	lines: 0.6 m	0.6 m	1
	Min. Number of Accessory Structures: 2	2	1
	Min. Number of Accessory Structures: 2	2	*
	Max. permitted size: <50% (92.05 m²) of		
	the rear yard area and cumulative size of	6 m ²	✓
	55 m ²		
andscaped Area (min)	Rear yard		
	At minimum, 35 m ² of the rear yard must	Rear yard soft landscaping:	✓
	be softly landscaped:	38.31 m ²	
	Must comprise at least one aggregated		
	Must comprise at least one aggregated rectangular area of at least 25m ² and		1
	whose longer dimension is not more than		ľ
	twice its shorter dimension, for the		
	purposes of tree planting		
	Front yard		
	>3.0 m = Min. 35% (15.14 m ²)	18.16 m ²	✓
arking (min)	In the case of a low-rise apartment	0	✓
	dwelling in the R4-UB zone, no motor vehicle parking is permitted on a lot less		
	than 450 m ² in area		
sitor Parking (min)	For 12 units or less, no visitor parking	0	√
		4	-/
ke Parking (min)	0.5 spaces per unit: 4	4	*
	Min. width of access path to spaces: 1.5 m	1.5 m	1
açade Design	Windows		
	Must comprise at least 25% windows	25.35%	✓
	Recesses At least 20% of the front façade must be	One balcony is provided	
	recessed an addition 0.6 m from the front	One balcony is provided on	/
	setback line	each storey above the first storey – no recession	
		required	
	No additional recession of the front façade	, 54464	
	is required when balconies are provided		
	on the front façade as follows:		
	In the case of a lot width less than 15 m		
	width, one balcony or porch for each		
	storey at or above the first storey is		
	storey at or above the first storey is	Min. balcony 1x 2 = 2.0 m ²	√



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SITE PLAN SYMBOLS LEGEND



TREE

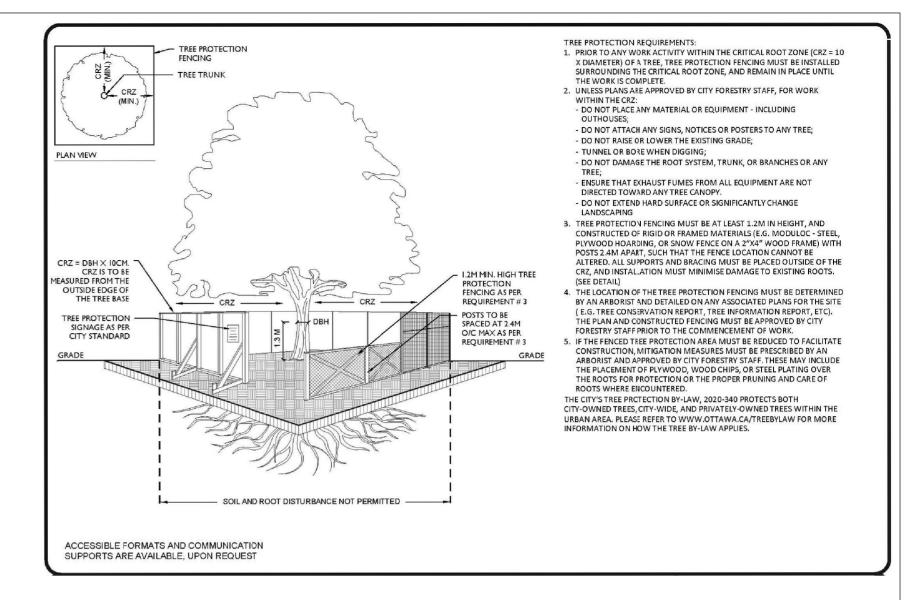
C.R.Z. FENCE

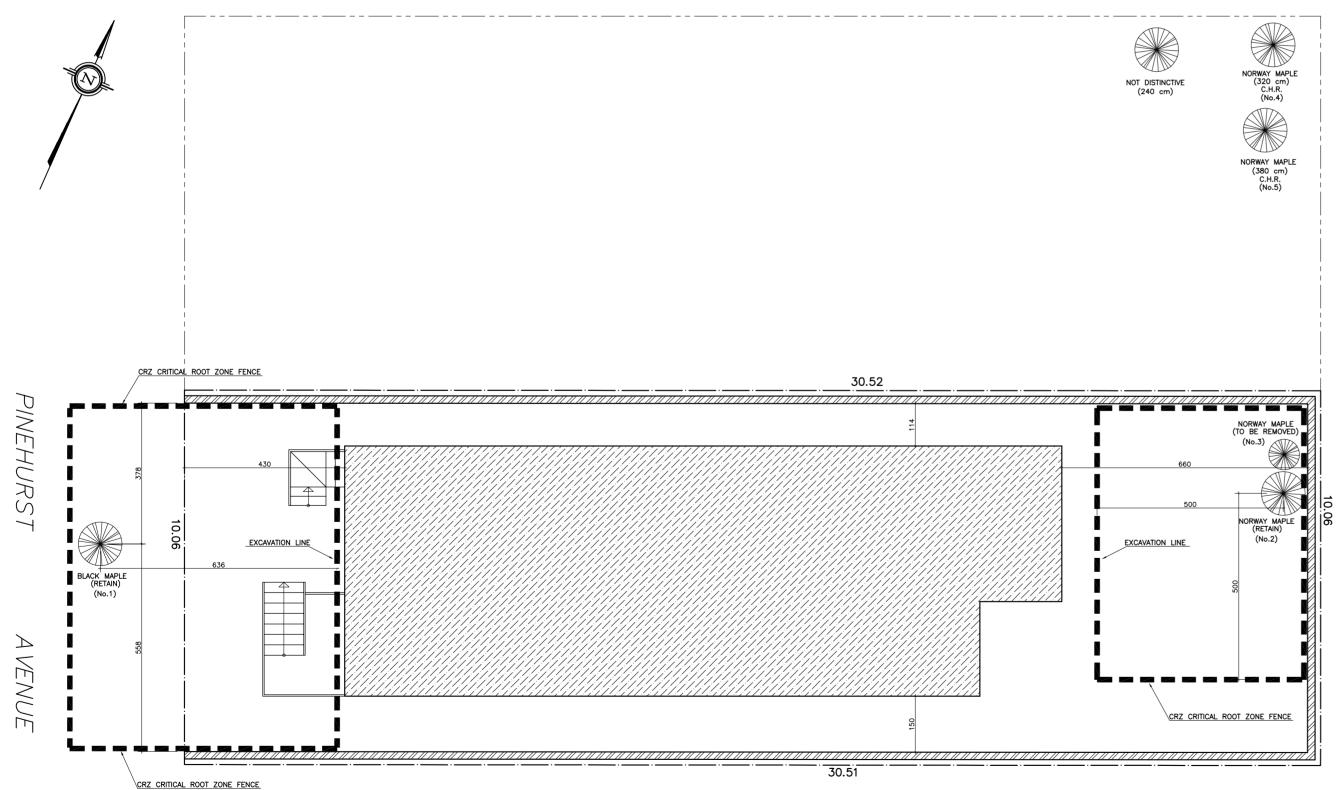


BUILDING

NEIGHBORING PROPERTY LOT LINE

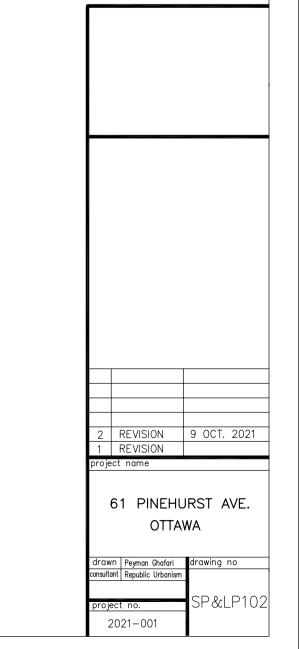
..___. 61 PINEHURST PROPERTY LINE





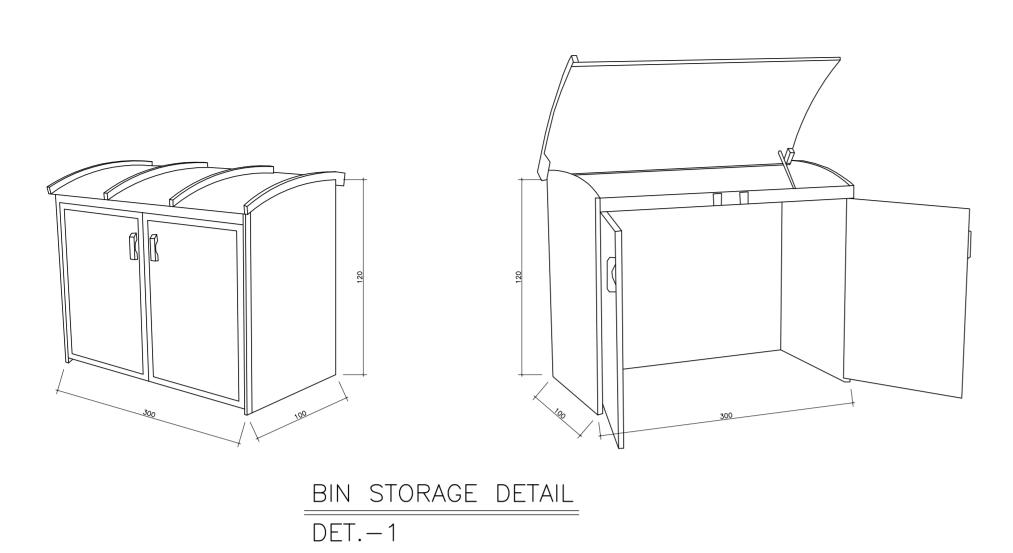
TREE PROTECTION FENCING

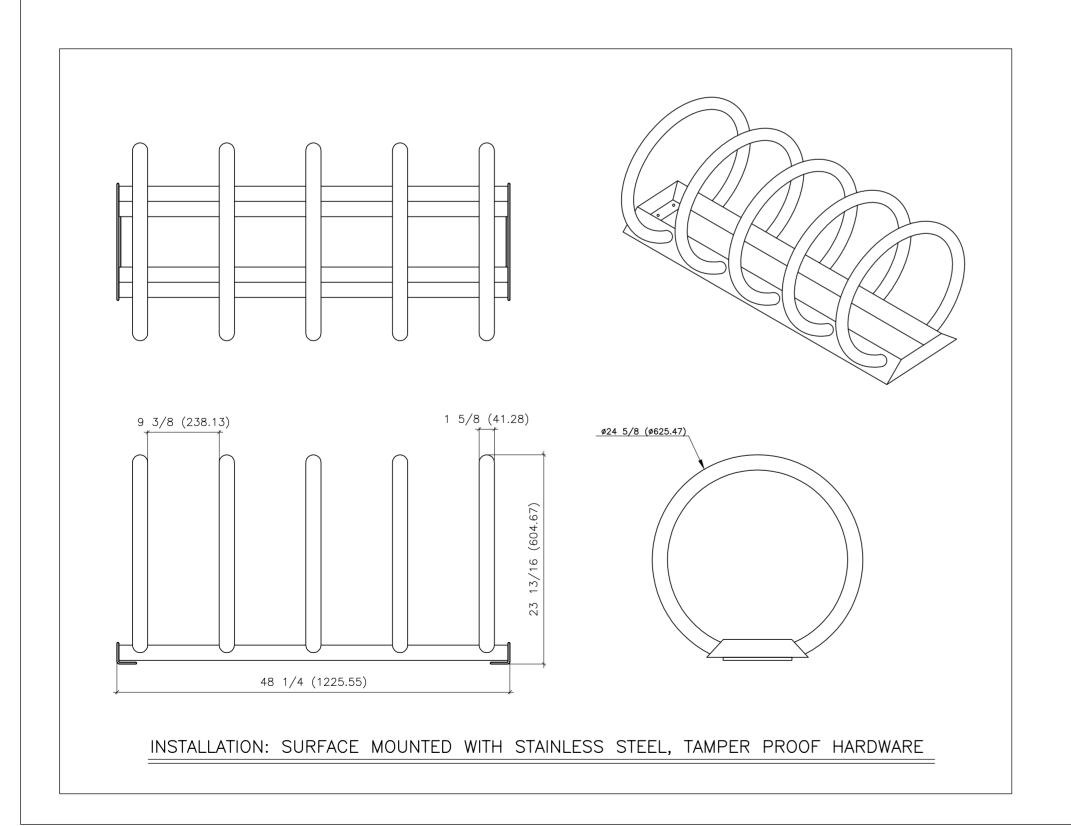
N.T.S.

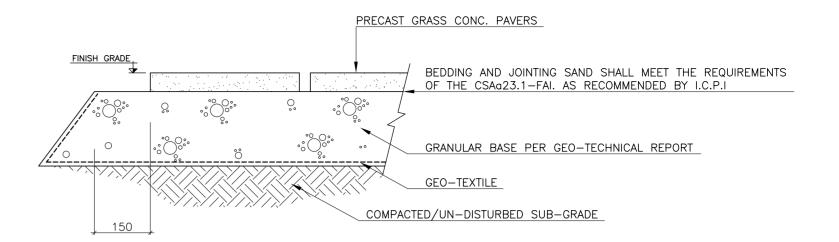


TREE PROTECTION PLAN

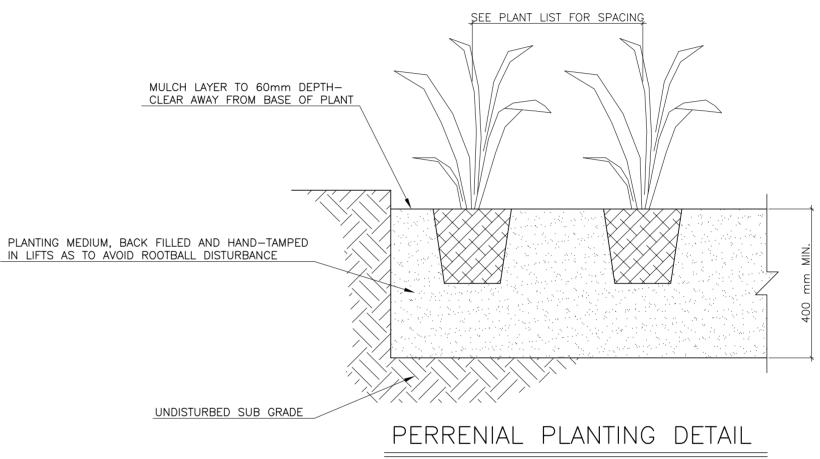
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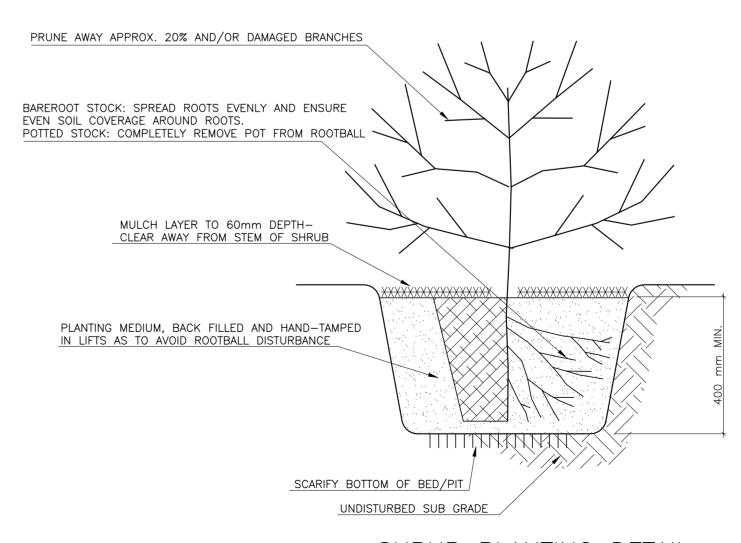




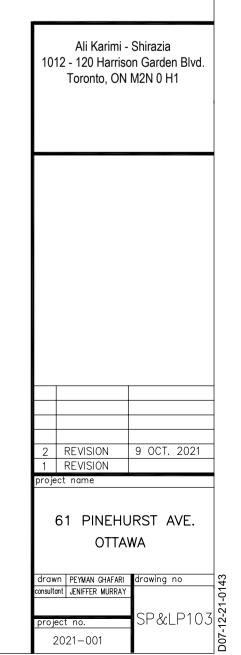


PRE-CAST CONCRETE UNIT PAVER DETAIL

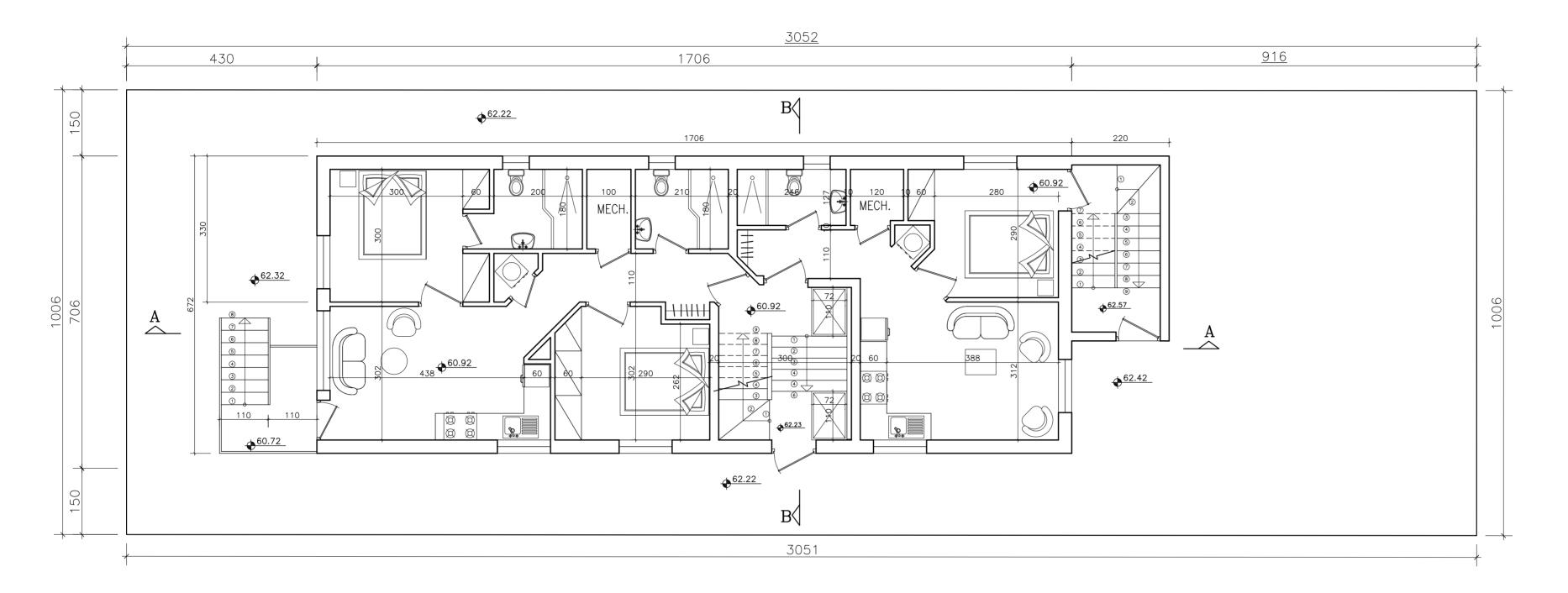




SHRUB PLANTING DETAIL



2021-001



BASEMENT PLAN

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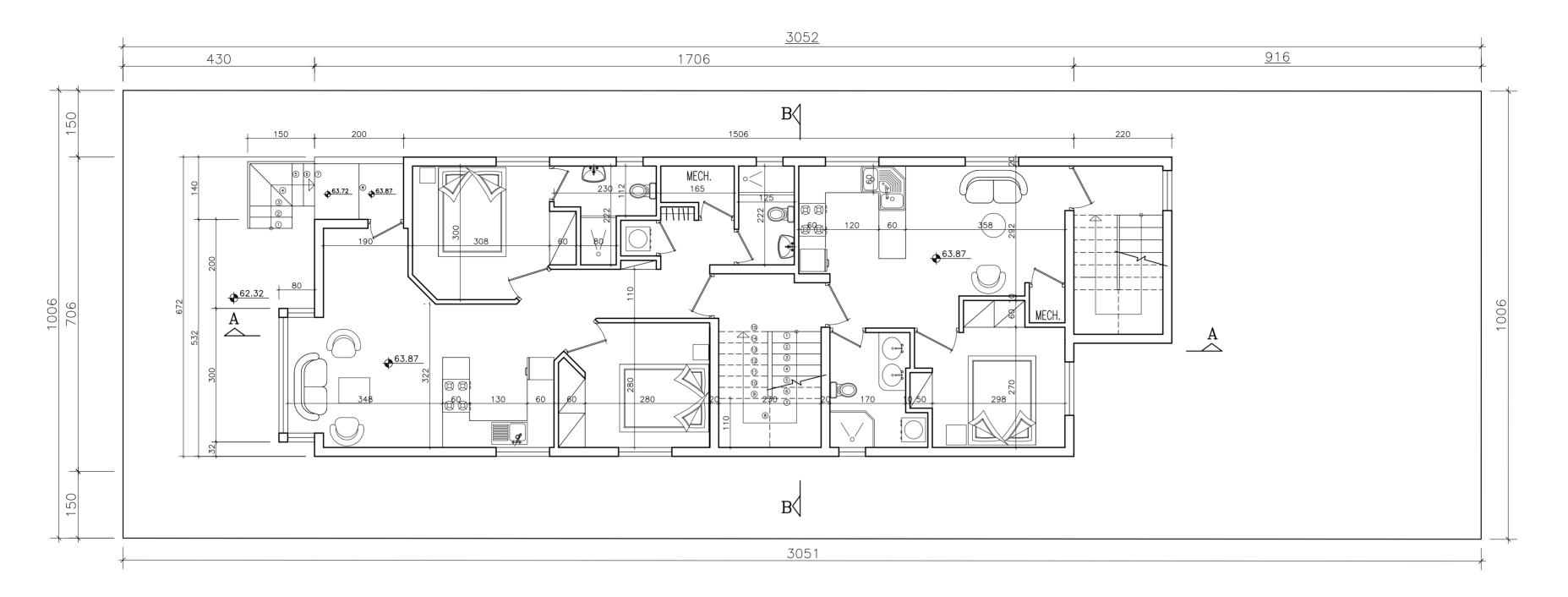
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FIRST FLOOR PLAN

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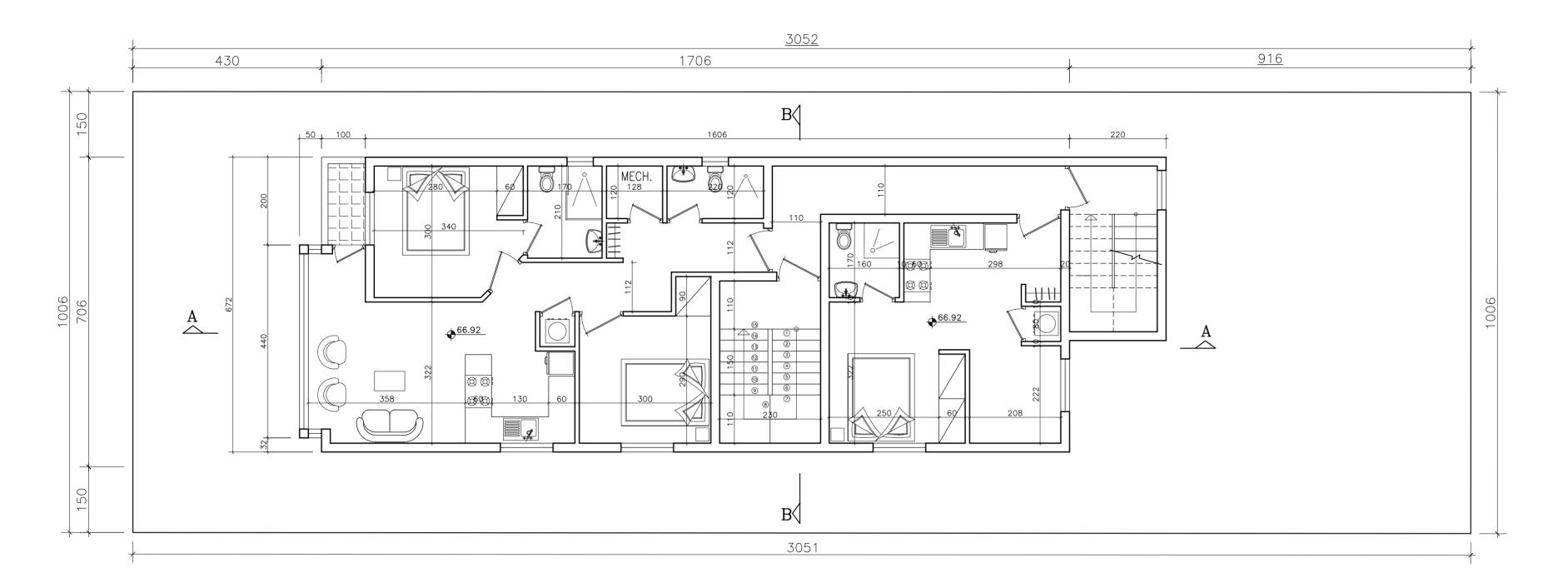
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SECOND FLOOR PLAN

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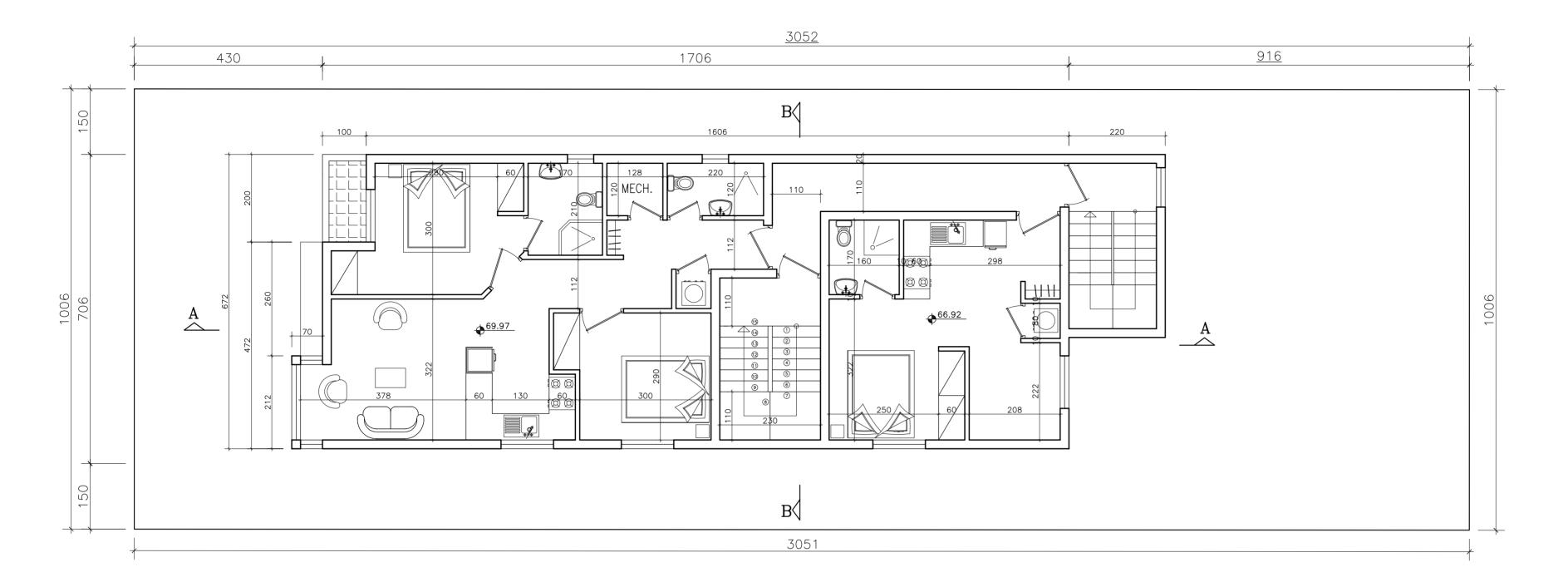
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THIRD FLOOR PLAN

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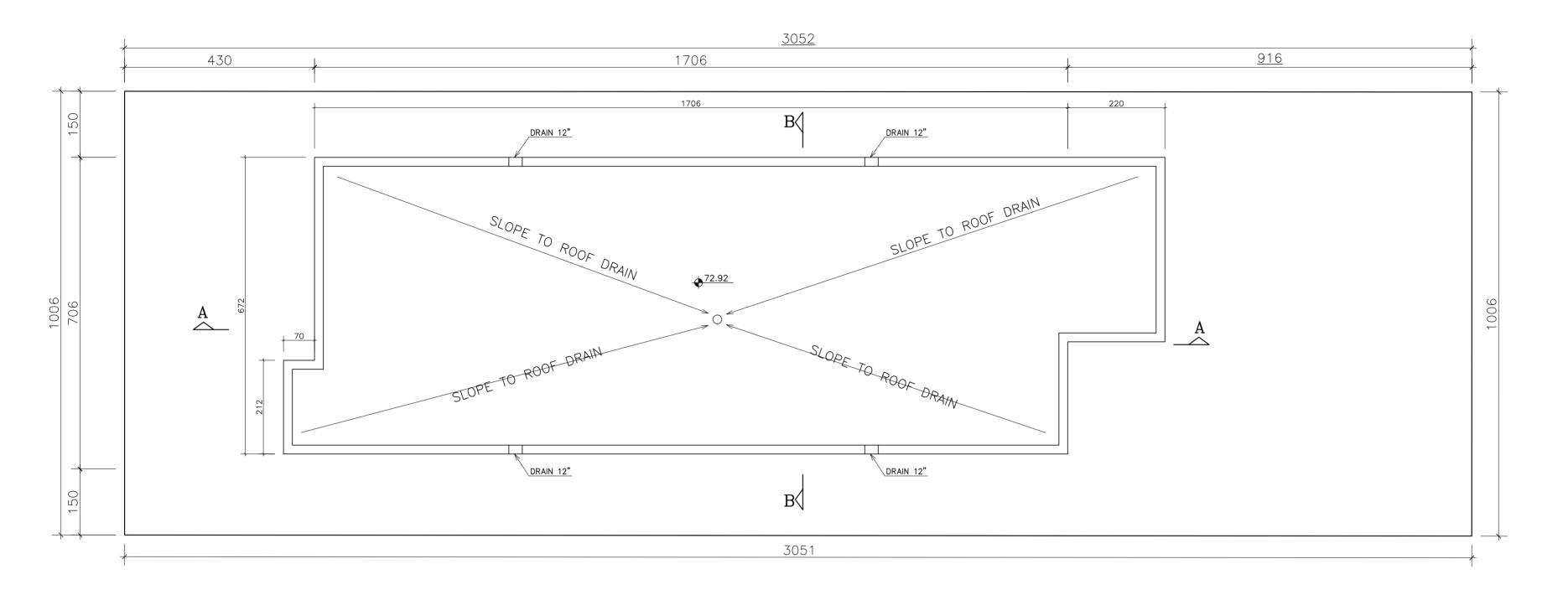
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ROOF PLAN
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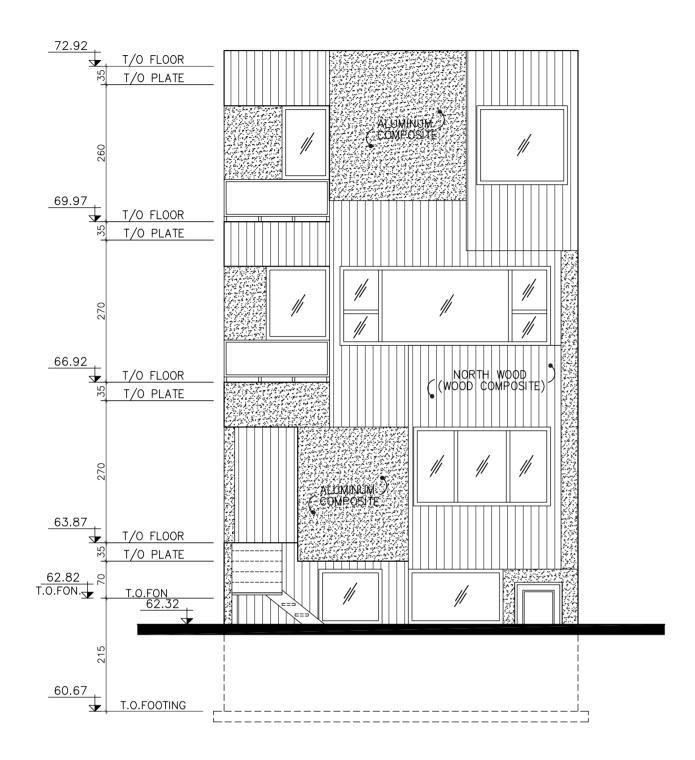
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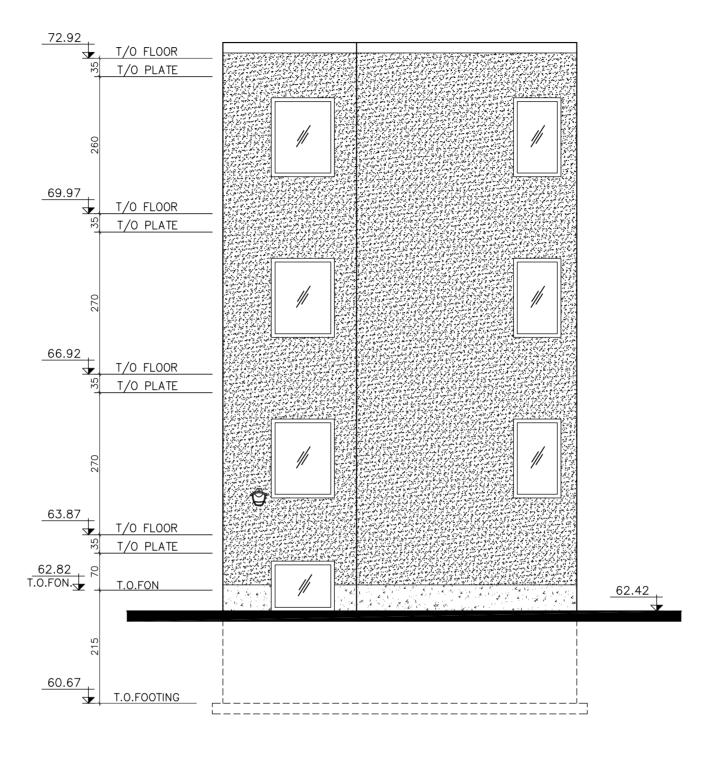
A05



FRONT ELEVATION

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WINDOWS AREA= 18.57m^2 FRONT ELEVATION AREA= 73.24m^2 $18.57 \div 73.24 = 25\%$



REAR ELEVATION

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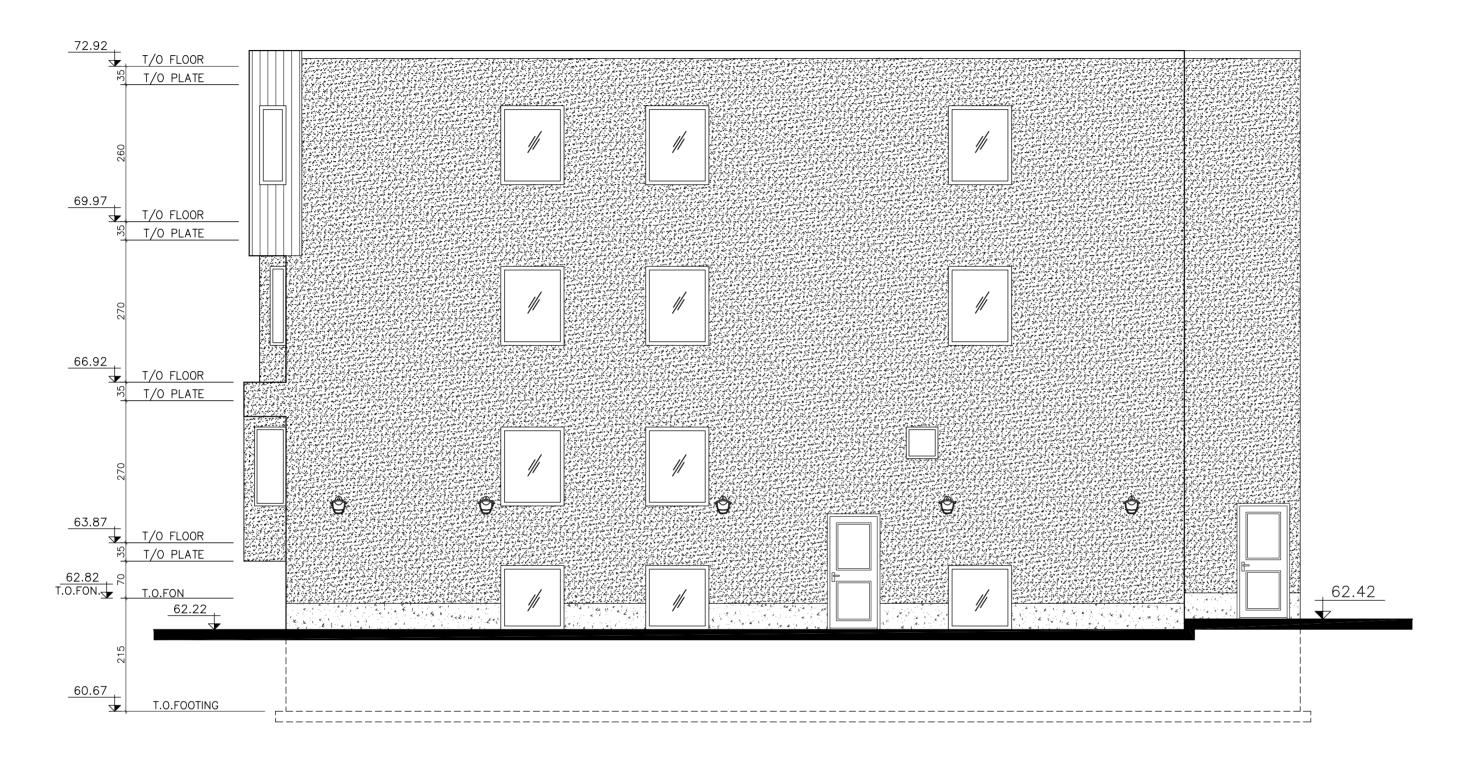
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RIGHT ELEVATION

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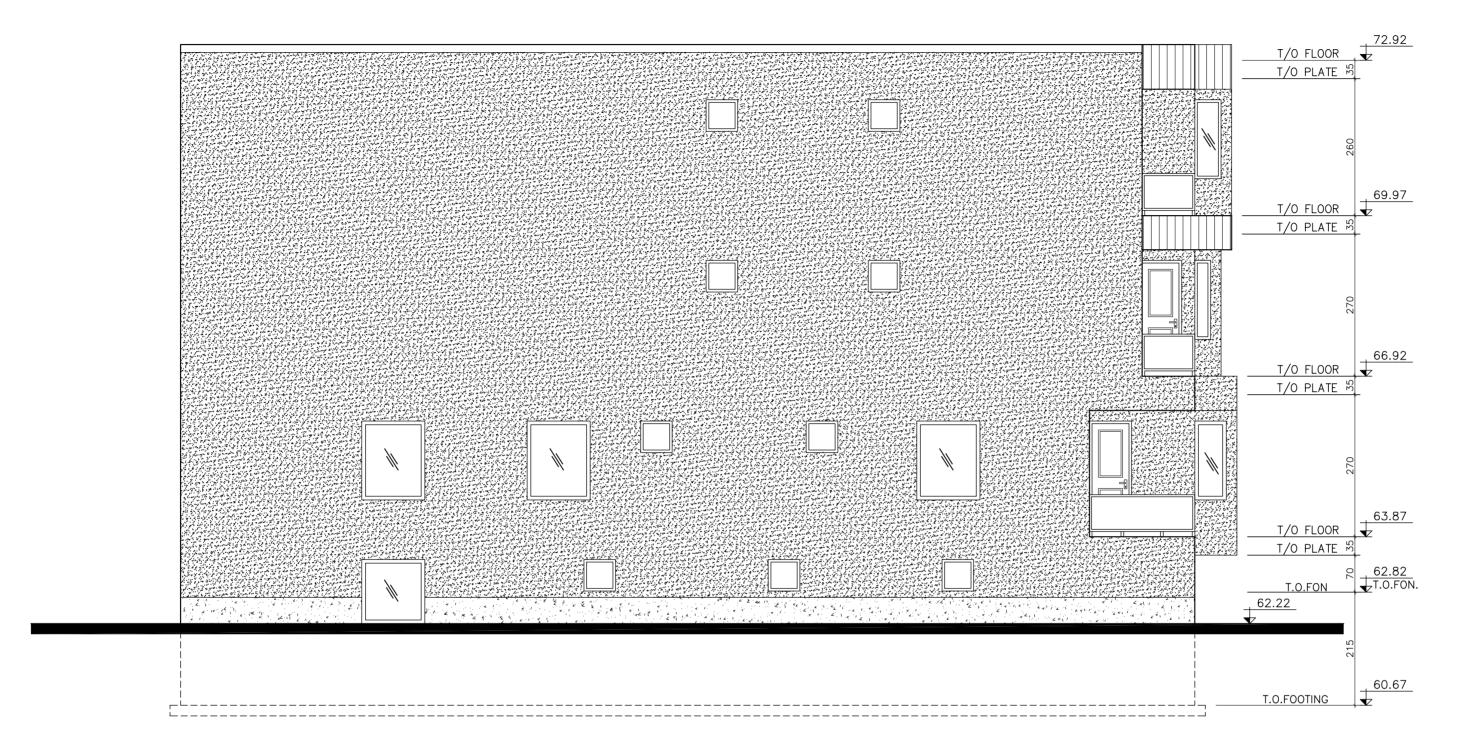
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LEFT ELEVATION

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