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Restoration

# FERNBANK ZENS

## 5331 Fernbank Road

### Site Servicing Report



Prepared for: Claridge Homes

**FERNBANK ZENS**  
**5331 Fernbank Road**  
**OTTAWA, ONTARIO**  
**Site Servicing Report**

Prepared By:

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Submitted: June 2, 2021  
Revised: November 5, 2021  
Revised: February 17, 2022

Novatech File: 121-011  
Ref: R-2021-079

February 17, 2022

City of Ottawa  
Planning and Infrastructure Approvals  
110 Laurier Street West, 4th Floor  
Ottawa, ON, K1P 1J1

**Attention: Eric Surprenant**

**Reference: Fernbank Zens - 5331 Fernbank Road  
Site Servicing Report  
Our File No.: 121011**

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Please find enclosed for your review the revised Site Servicing Report including the hydraulic network analysis and stormwater management for the Fernbank Zens at 5331 Fernbank Road. The site is bounded by Cope Drive to the north, the existing SOHO development to the east, Fernbank Road to the south and Terry Fox Drive to the west.

This report addresses the approach to site servicing (sanitary/storm/watermain) and to stormwater management for the subject property. Also, the hydraulic analysis portion examines the proposed water distribution system as it relates to the existing infrastructure and future watermain distribution. This report demonstrates that the site servicing and stormwater management can be achieved and that the proposed water distribution system can provide adequate system pressures for the maximum day plus fire and the peak hour design conditions at all nodes throughout the development.

This report is submitted in support of the engineering detailed design for the Claridge Homes site plan application.

Trusting this report is adequate for your purposes. Should you have any questions, or require additional information pertaining to the enclosed report, please contact us.

Yours truly,

**NOVATECH**



Drew Blair, P. Eng.  
Senior Project Manager

Cc Vincent Denomme, Claridge Homes

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## 1.0 INTRODUCTION

This Site Servicing Report was prepared as part of the engineering detailed design for the Fernbank Zens residential development at 5331 Fernbank Road.

### 1.1 The Site

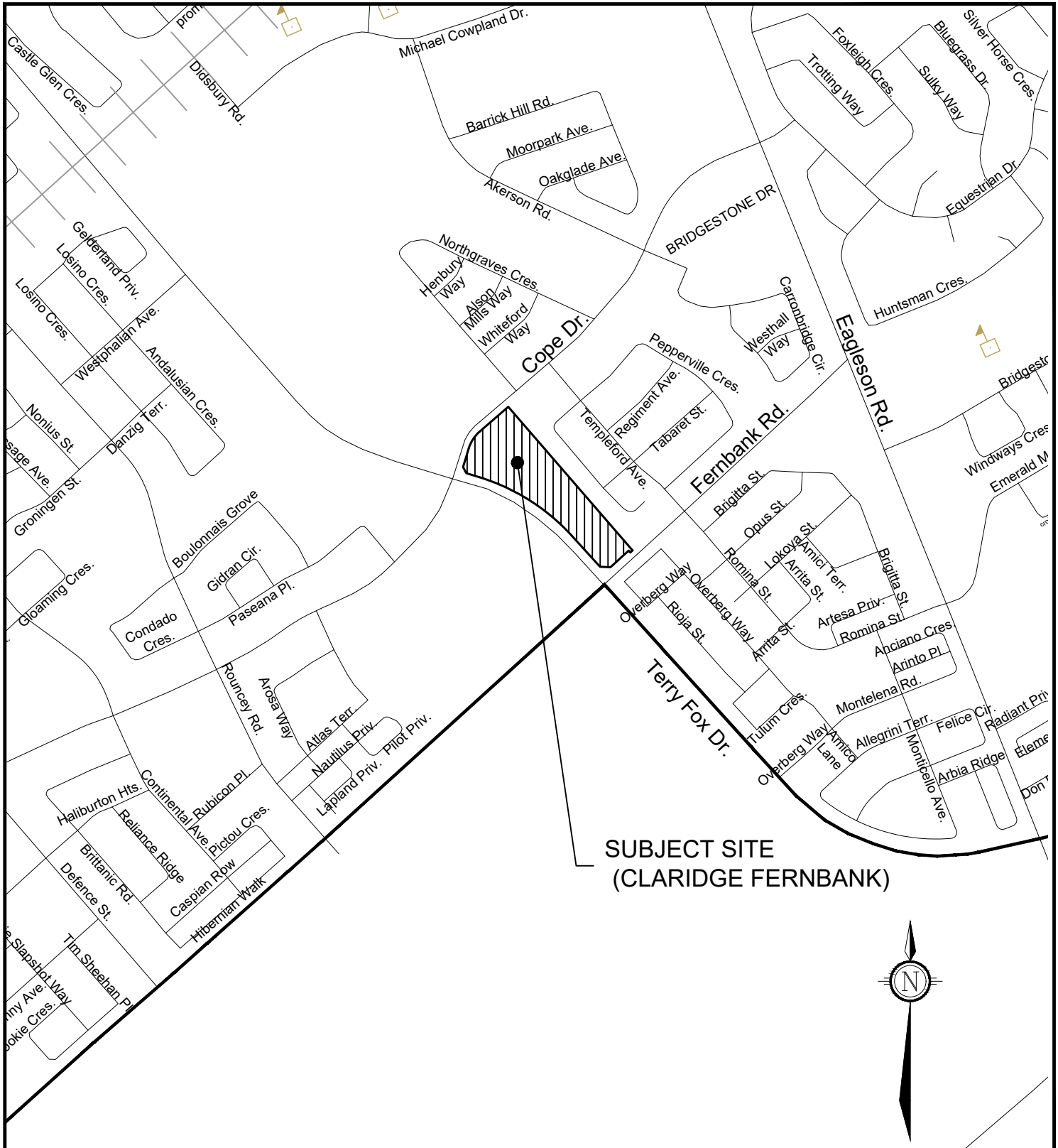
The proposed Fernbank Zens site (**approximately 3.70 ha**) is owned by Claridge Homes and located within the City of Ottawa. The site is bounded by Cope Drive to the north, the existing SOHO development to the east, Fernbank Road to the south and Terry Fox Drive to the west as shown on **Figure 1a/1b** – Key Plan.

The legal description of the property is designated as Part of Lot 30 Concession 10, Goulbourn, Part 1 Plan 4R17373 , Except Part 4, Plan 4R20112; Ottawa. Subject to an Easement in Favour of Hydro Ottawa Limited Over Parts 5,6, 7, 8 and 9 Plan 4R20112 as in OC455206. Road Allowance Between Lots 30 and 31 Concession 10, Goulbourn Lying Between Parts 3 and 4 on 4R17373 and Part 2 on Plan 4R20112, as Closed by N599928; Ottawa. Part of Lot 31, Concession 10, Goulbourn, Part 1 on Plan 4R19334 City of Ottawa.

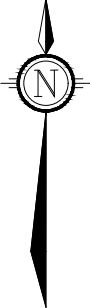
The Fernbank Zens site is proposed to be developed as a residential site plan which will consist of approximately 192 Zen type dwelling units within 16 stacked buildings and on-site parking with access from Cope Drive and Terry Fox Drive as shown on **Figure 2** – Site Plan. The existing lands are presently vacant but were previously occupied by farmland as shown on **Figure 3** – Existing Conditions.

**Figure 1a – Key Plan**





SUBJECT SITE  
(CLARIDGE FERNBANK)



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CLARIDGE FERNBANK

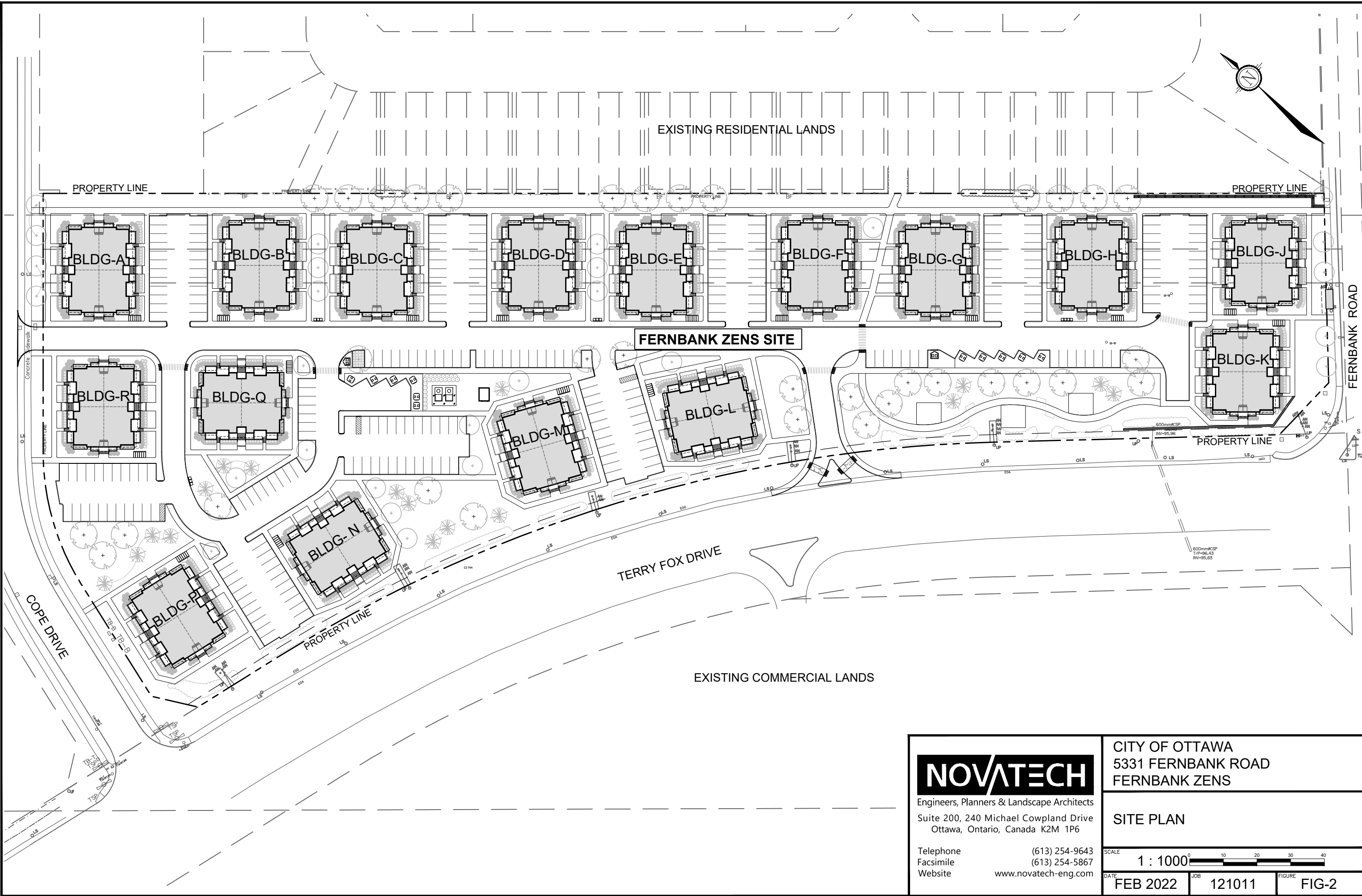
KEY PLAN

SCALE N.T.S.

DATE	JUNE 2021	JOB	121011	FIGURE	FIG-1B
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CITY OF OTTAWA  
5331 FERNBANK ROAD  
FERNBANK ZENS

SITE PLAN

SCALE 1 : 1000

DATE FEB 2022 JOB 121011 FIGURE FIG-2

## 1.2 Planning Context

The subject property is designated General Urban Area in the City of Ottawa Official Plan. General Urban Areas are generally areas of commercial, industrial or medium and high-density residential housing. The proposed development conforms to these policies of the Official Plan.

The Subject Site is currently zoned *General Mixed Use – GM* and subject to Urban Exception number 2411 under the *City of Ottawa’s Zoning By-law 2008-250*. The purpose of the *General Mixed Use – GM* is to:

1. *allow residential, commercial and institutional uses, or mixed-use development in the **General Urban Area** and in the Upper Town, Lowertown and Sandy Hill West Character Areas of the Central Area designations of the Official Plan;*
2. *limit commercial uses to individual occupancies or in groupings in well-defined areas such that they do not affect the development of the designated Traditional and Arterial Mainstreets as viable mixed-use areas;*
3. *permit uses that are often large and serve or draw from broader areas than the surrounding community and which may generate traffic, noise or other impacts provided the anticipated impacts are adequately mitigated or otherwise addressed; and*
4. *impose development standards that will ensure that the uses are compatible and complement surrounding land uses.*

The proposed development of a low density apartment building is a permitted land use within the *General Mixed Use – GM* zone. The building has been designed to be compliant with the standards of the *General Mixed-Use Zone*, and the residential nature of the building is compatible with the surrounding properties.

## 1.3 Referenced Guidelines

This report has been prepared in accordance with the City of Ottawa Servicing Study Guidelines for Development Applications, the Water Distribution Design Guidelines (July 2010), the Ottawa Sewer Design Guidelines (October 2012) and the three (3) subsequent Technical Bulletins (ISTB-2018-01, ISTB-2018-02 and ISTB-2018-03).

## 1.4 Additional Reports

This Servicing Design Brief provides information on the considerations and approach by which Novatech Engineering Consultants Ltd. (NECL) has designed and evaluated the proposed servicing system for the Fernbank Zens lands. This report should be read in conjunction with the following:

- 1) *Geotechnical Investigation – Proposed Residential Development, 5331 Fernbank Road, Ottawa, Ontario, Paterson Group Inc., March 5, 2021. Report No. PG5683-1*
- 2) *Serviceability Report – Cavanaugh Construction Ltd. / Karam SOHO West – Rev 3, Stantec Consulting Ltd., October 31, 2007*
- 3) *Cavanaugh Construction – Soho West (Phase 1 and 2), Kanata South, City of Ottawa Stormwater Management Report, Stantec Consulting Ltd. October 31, 2007*
- 4) *Monahan Drain Constructed Wetlands – Updated Hydrologic and Hydraulic Analysis, City of Ottawa, J.F. Sabourin and Associates Inc (JFSA), March, 2019*

- 5) *Servicing and Stormwater Management Brief - Van Gaal Lands 5331 Fernbank Road and 1039 Terry Fox Drive, Novatech Engineers, Planners & Landscape Architects, September 1, 2015*
- 6) *Van Gaal Lands Claridge Developments — 1039 Terry Fox Drive and 5331 Fernbank Road – Site Serviceability and Stormwater Management Report, Novatech, May 2021*

## 1.5 Consultations and Approvals

The Subject Site is located upstream of the approved Phase 1 of the Trailwest (formerly SOHO West) Subdivision. The SOHO West Serviceability Report, *SOHO West- Rev. 3, Serviceability Report, Prepared by Stantec, dated October 31<sup>st</sup>, 2007*, calculated sanitary and stormwater flows to outlet to Cope Drive from the land that makes up 5331 Fernbank Road.

The Ministry of the Environment (MOE) and the Rideau Valley Conservation Authority (RVCA) will be consulted regarding the proposed development.

## 2.0 PRE-DEVELOPMENT CONDITIONS

### 2.1 The Site

The Fernbank Zens site is approximately 3.70 hectares and is currently undeveloped and is mainly former agricultural lands that are currently fallow. There is access to the site via Cope Drive to the north and Terry Fox Drive to the west. The Existing Conditions Plan is provided as Figure 3.

### 2.2 Existing Drainage

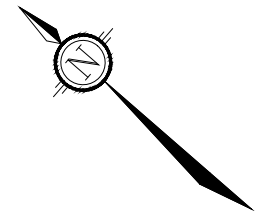
Under existing conditions, the site grading is relatively flat with sheet drainage to an existing ditch to the west along Terry Fox Drive and an existing ditch along the old Hazeldean Side Road on the east side of the parcel. These ditches eventually convey flows to the Monahan Municipal Drain to the north and east of the site.

### 2.3 Geotechnical Investigation

Paterson Group conducted a geotechnical review in support of the proposed residential development on the Claridge Homes Lands. The findings of this investigation are documented in their report titled *Geotechnical Investigation – Proposed Residential Development, 5331 Fernbank Road [2]*.

The field program for the current geotechnical investigation was carried out in February 2021. It consisted of advancing five (5) boreholes to a maximum depth of 6.7m below ground surface. Previous field investigations were completed by Paterson for the subject site in January 2018 and May 2006. A total of 9 boreholes were advanced to a maximum depth of 14.6 m during the previous investigations. The principal findings are summarized as follows:

- A surficial layer of topsoil of thickness from 0.19m to 0.36m for all boreholes except boreholes BH1-18, BH7-18 and BH8-18. These boreholes had a layer of fill of thickness 0.53m, 0.48m and 0.33m respectively consisting of crushed stone with silt and sand.
- An interbedded brown silty sand with stiff brown clayey silt to silty clay of thickness 1.2m to 3.7m was encountered below the topsoil.
- The brown silty sand with stiff brown clayey silt to silty clay layer is underlain with a deep deposit of firm grey silty clay with some sand of thickness 3.8m to 11.9m.



TEMPLEFORD AVENUE

COPE DRIVE

PATRIOT PLACE

FERNBANK ROAD

CLARIDGE  
FERNBANK  
SITE

TERRY FOX DRIVE

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CITY OF OTTAWA  
CLARIDGE FERNBANK SITE

EXISTING CONDITIONS

SCALE N.T.S.

DATE JUNE 2021 JOB 121011 FIGURE FIG-3

- Based on geological mapping, the bedrock in this area is part of the Gull River formation, which consists of interbedded limestone and dolomite with an overburden drift thickness ranging between 25 to 50 m.
- Groundwater inflow was observed in test pits. Based on these observations, the long-term groundwater level is expected between 1.5 to 2.5 m depth.
- Atterberg limits testing was completed for recovered silty clay samples at selected locations throughout the subject site. Grain size distribution and hydrometer testing was also completed on selected soil samples.
- Based on the results of the Atterberg limit testing mentioned above, the plasticity index was found to be less than 40% in all the tested clay samples. In addition, based on the clay content found in the clay samples from the grain size distribution test results, moisture levels and consistency, the silty clay across the subject site is considered low to medium sensitivity clay and should not be designated as sensitive marine clays.
- The permissible grade raise recommendation for finished grading within 6 m of a building footprint is 1.5 m and the permissible grade raise restriction for finished grading along access lanes and parking lots is 2.0 m.
- Expanded Polystyrene (EPS) geofoam may be used for this site within the porches and garages if the proposed grade raise is greater than allowed.

The report provides engineering guidelines based on Paterson Group's interpretation of the borehole information and project requirements. Refer to the final Geotechnical Report dated March 5, 2021 by Paterson Group for complete details.

### 3.0 STORMWATER MANAGEMENT

The post-development storm sewer and stormwater management system has been designed in accordance with the Ottawa Sewer Design Guidelines and will adhere to previously established release rates for this area.

#### 3.1 Previous Studies (Trailwest Subdivision / Monahan Drain Cell 1)

The subject lands are tributary to the existing storm sewer on Cope Drive, which was designed by Stantec (2007) as part of Phase 1 of the Trailwest (formerly SOHO West) Subdivision. The Fernbank Zens Lands were included in the overall storm drainage design and is represented as subcatchment FUT-13B. Refer to Drawing OSD – Overall Storm Drainage Area Plan, SOHO – Kanata South (Rev. 7), Stantec (February 25, 2009), provided in **Appendix A**.

#### 3.2 Stormwater Management Criteria

##### SOHO (Trailwest) Subdivision (Stantec, 2007)

As part of the overall storm drainage design for the SOHO Subdivision, storm runoff from the Zens Lands (catchment FUT13-B) was allocated to MH1013 on Cope Drive based on the following parameters:

##### Drainage Area Parameters

- Area ID = FUT-13B
- Drainage Area = 3.73 ha
- Runoff Coefficient = 0.65

The stormwater management model for the SOHO subdivision assigned the following stormwater management criteria to catchment FUT-13B:

- Minor system inlet rate = 317.1 L/s (85 L/s/ha x 3.73 ha)
- Major system storage = 60 m<sup>3</sup>/ha
- 100-year Major system peak flow = 781 L/s

J.F Sabourin and Associates completed an updated hydrologic and hydraulic assessment of the Monahan Drain SWM Facility which provided an updated 100-year boundary condition of 95.05m at MH1013 in Cope Drive. Excerpts from these reports are provided in **Appendix A**.

### 3.3 Existing and Proposed Storm Infrastructure

The proposed development will be serviced by approximately 1,175m of storm sewers ranging from 250mm to 825mm in diameter. The minor system outlet is an existing 1200mm x 1800mm concrete box storm sewer at MH1013 on Cope Drive, which runs through the Trailwest Subdivision and conveys runoff to a Vortech hydrodynamic separator for water quality treatment before discharging to Cell 1 of the Monahan Drain. The proposed storm layout can be seen on **Figure 4 – Storm Alignment**.

#### 3.3.1 Minor System (Storm Sewers)

Storm servicing for the proposed development will be provided using a dual-drainage system. Runoff from frequent events will be conveyed by the proposed storm sewers (minor system), while flows from large storm events that exceed the capacity of the minor system will be stored on the surface in road sags and/or conveyed overland along defined overland flow routes (major system).

#### Storm Sewer Design Criteria

The following is the storm sewer design criteria [Ottawa Sewer Design Guidelines (Oct. 2012)]:

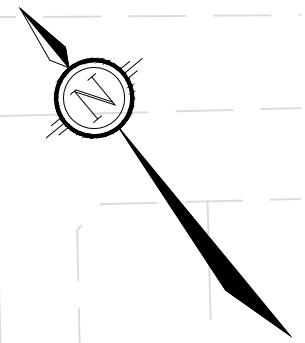
- Rational Method ( $Q$ ) =  $2.78CIA$ , where
  - $Q$  = peak flow (L/s)
  - $C$  = runoff coefficient
    - $C = (0.70 * \%Imp.) + 0.20$
  - $I$  = rainfall intensity for a 2-year return period (mm/hr)
    - $I_{2yr} = 732.951 / [(Tc(min) + 6.199)]^{0.810}$
  - $A$  = site area (ha)
- Minimum Pipe Size = 250 mm; Minimum / Maximum Full Flow Velocity = 0.8 m/s / 3.0 m/s

The on-site storm sewers will be sized to convey the peak flows corresponding to a 2-year return period storm event. Refer to the storm sewer design sheets provided in **Appendix A**.

#### Inlet Control Devices

Inlet control devices (ICDs) will be used to restrict inflows to the minor system. ICDs will be sized to control minor system peak flows to the Cope Drive storm sewer to the allowable release rate of 317.1 L/s.

The uncontrolled flows directed overland have been accounted for as part of the major system design.



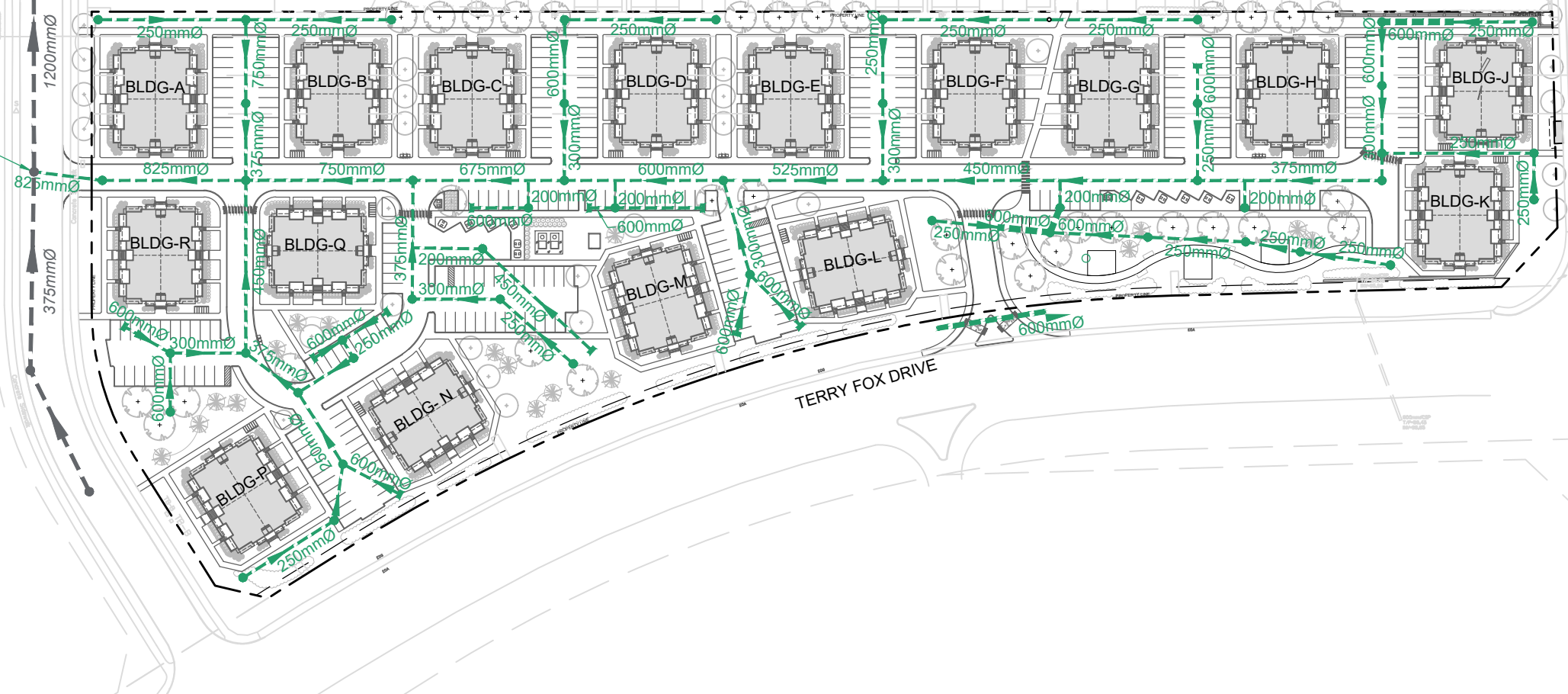
PATRIOT PLACE

FERNBANK ROAD

COPE DRIVE

TERRY FOX DRIVE

CONNECT TO EXISTING STMMH  
INV.=94.08



**LEGEND**

- SITE BOUNDARY
- PROPOSED STORM SEWER C/W  
FLOW DIRECTION
- EXISTING STORM SEWER C/W  
FLOW DIRECTION

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CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

**STORM ALIGNMENT**

1 : 1500



FEB 2022

121011

FIG4-STM

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### **Hydraulic Grade Line**

The storm sewers will be designed to ensure the hydraulic grade line (HGL) elevation for a 100-year storm event will provide a minimum 0.30 m clearance from the underside of footing (USF) elevation.

#### **3.3.2 Major System (Overland Flow)**

Under post-development conditions, the majority of the site will be graded to provide an overland flow path to convey major system runoff towards Cope Drive. The uncontrolled areas have been graded to direct flows overland to either the adjacent Fernbank Road ROW or Terry Fox Drive ROW. Refer to the Grading Plans (Drawing 121011-GR1 and GR2).

#### **Major System (Overland Flow) Criteria**

Runoff from storms that exceed the minor system capacity are to be stored or conveyed overland within the right-of-way and/or defined drainage easements. The following overland flow criteria from the OSDG will be applied to the design:

- Ensure that major system flows have a maximum dynamic depth of 0.35 m (static ponding + dynamic flow) during the 100-year event.
- Ensure the product of velocity x depth does not exceed 0.60 during the 100-year event.

The major system will be evaluated using a hydraulic model to ensure that the maximum total flow depth (static + dynamic) will be restricted to 0.35 m during the 100-year storm event; and water levels will not touch the building envelope / lowest opening during the Stress Test event (100-year +20%).

#### **3.4 Proposed Stormwater Management Strategy**

##### **Stormwater Quality Control**

The existing Vortechs unit immediately upstream the outlet to Cell 1 of the Monahan Drain Constructed Wetlands has been designed to provide an Enhanced level of water quality control for the contributing drainage area, including Fernbank Zens Lands. The proposed site layout has a slightly smaller drainage area and the same coefficient than was used to size the Vortechs unit, and as such will provide the required level of water quality treatment – refer to **Table 3.1**.

**Table 3.1: Vortechs Sizing Criteria (Fernbank Zens)**

Design	Catchment ID	Parameters	Description
Stantec (2007)	FUT-13B	3.73 ha, C = 0.65	Area to Cope Drive / Vortechs Unit
Novatech (2021)	A1-A27	3.55 ha, C = 0.67	Area to Cope Drive / Vortechs Unit
	U1, U5	0.15 ha, C = 0.27	Uncontrolled Areas
	TOTAL	3.70 ha, C = 0.65	Total Drainage Area (Controlled + Uncontrolled)



### Stormwater Quantity Control

Surface/Underground storage will be provided within the road sags/parking areas/oversized underground storage pipes, based on the minimum major system storage requirement of 60 m<sup>3</sup>/ha taken from the downstream Trailwest (SOHO West) approved design by Stantec.

The Cope Drive storm sewer and Cell 1 of the Monahan Drain Constructed Wetlands have been designed to accommodate post-development runoff from the site based on a contributing drainage area of 3.73 ha and a runoff coefficient of C = 0.65. The proposed development has a total drainage area of 3.70 ha and a runoff coefficient of C = 0.65. Therefore, there will be no increase in runoff volume to the Monahan Drain from the 2007 Stantec design and the 2019 J.F Sabourin review.

### **3.4.1 Stormwater Management Model Development**

The PCSWMM model has been developed to account for both minor and major system flows from the development and ensure no adverse impacts on the downstream watercourses and wetland areas. The result of the analysis were used to:

- Determine the total major and minor system runoff from the site;
- Size the ICDs for each inlet to the storm sewer system;
- Calculate the storm sewer hydraulic gradeline for the 100-year storm event;
- Evaluate overland flow depths and ponding volumes during the 100-year event; and
- Ensure no ponding occurs during the 2-year storm event.

### **3.4.2 PCSWMM Model Parameters**

#### Design Storms

The model includes the following design storms based on the City of Ottawa IDF data presented in the City of Ottawa Sewer Design Guidelines (October 2012). The 24-hour SCS storm distribution was provided by JFSA and was used for the analysis of the Monahan Drain.

- 3-hour Chicago Storm Distribution (10-minute time step)
- 24-hour SCS Storm Distribution from JFSA (12-minute time step)

The 3-hour Chicago storm distribution includes the 2-year, 5-year, 100-year, and 100-year (+20%) return periods while the 24-hour SCS storm distribution includes only the 100-year return period.

#### PCSWMM Model Schematics, Output Data and Modeling Files

PCSWMM model schematics and output data for the 100-year 3-hour Chicago and 100-year 24-hour SCS (JFSA) storm distributions are provided in **Appendix A**. The PCSWMM modeling files are provided electronically as part of the submission package.

#### Subcatchment Areas / Runoff Coefficients

- For modeling purposes, the site has been divided into subcatchments based on the drainage areas tributary to each inlet of the proposed storm sewer system. The catchment areas are shown on the Storm Drainage Area Plans (**121011-STM**). Refer to the Grading Plans (**121011-GR1 and GR2**) and the General Plan of Services (**121011-GP1 and GP2**) for the location of high points and low points, and the storm sewer layout, respectively.
- The weighted runoff coefficients and percent impervious values are provided in **Appendix A**. As per the City of Ottawa Sewer Design Guidelines (October 2012), the percent impervious values are based on the following equation:

$$\% \text{ Imp.} = (C - 0.20) / 0.7$$

The hydrologic parameters for each subcatchment were developed based on the Grading Plans and the Storm Drainage Area Plans. An overview of the drainage area parameters is provided in **Table 3.2**.

**Table 3.2: Hydrologic Model Parameters**

Area ID	Catchment Area (ha)	Runoff Coeff. (C)	Percent Imperv. (%)	No Depression (%)	Flow Path Length (m)	Equivalent Width (m)	Average Slope (%)
Controlled Areas							
A01	0.04	0.52	45.7	70	20	20.0	1.5
A02	0.04	0.72	74.3	70	15	26.7	1.5
A03	0.08	0.56	51.4	70	20	40.0	1.5
A04	0.21	0.80	85.7	15	25	84.0	1.5
A05	0.09	0.78	82.9	20	25	36.0	1.5
A06	0.12	0.83	90.0	20	20	60.0	1.5
A07	0.18	0.52	45.7	5	35	51.4	1.5
A08	0.07	0.49	41.4	70	20	35.0	1.5
A09	0.13	0.81	87.1	20	20	65.0	1.5
A10	0.19	0.57	52.9	80	25	76.0	1.5
A11	0.12	0.81	87.1	40	20	60.0	1.5
A12	0.32	0.76	80.0	40	40	80.0	1.5
A13	0.12	0.71	72.9	40	20	60.0	1.5
A14	0.15	0.58	54.3	80	25	60.0	1.5
A15	0.12	0.81	87.1	45	20	60.0	1.5
A16	0.08	0.72	74.3	15	15	53.3	1.5
A17	0.12	0.37	24.3	85	35	34.3	1.5
A18	0.13	0.77	81.4	20	30	43.3	1.5
A19	0.14	0.80	85.7	15	35	40.0	1.5
A20	0.17	0.57	52.9	80	25	68.0	1.5
A21	0.25	0.80	85.7	30	25	100.0	1.5
A22	0.06	0.45	35.7	80	15	40.0	1.5
A23	0.13	0.80	85.7	50	20	65.0	1.5
A24	0.15	0.69	70.0	30	20	75.0	1.5
A25	0.09	0.39	27.1	85	20	45.0	1.5
A26	0.18	0.74	77.1	15	25	72.0	1.5
A27	0.07	0.70	71.4	60	20	35.0	1.5
<b>TOTAL</b>	<b>3.55</b>	<b>0.67</b>	<b>67.1</b>				
Uncontrolled Areas							
U01	0.02	0.41	30.0	90	5	40.0	1.5
U02	0.04	0.20	5.0	0	5	80.0	33.33
U03	0.06	0.20	5.0	0	5	120.0	33.33
U04	0.01	0.79	84.3	80	15	6.7	1.5
U05	0.02	0.26	8.6	0	5	40.0	1.5
<b>TOTAL</b>	<b>0.15</b>	<b>0.27</b>	<b>10</b>				

**Depression Storage**

- The default values for depression storage (1.57mm impervious / 4.67 mm pervious) have been applied to all catchments.
- The 'zero impervious' parameter (areas with no depression storage) for all catchments is based off the percent of roof top areas to total impervious area.

**Subarea Routing**

- Subarea routing for all catchments draining to Cope Drive is 'pervious to impervious'.

**Minor System Conduits (Bend / Exit Losses)**

- The minor system network was created in Civil3D and imported into PCSWMM.
- The following exit losses have been inputted into the model. They represent the loss coefficient based on the bend angle, as per the Appendix 6-B in the City of Ottawa Sewer Design Guidelines (October 2012).

<u>Bend Angle</u>	<u>Loss Coefficient</u>
0	0.00
15	0.09
30	0.21
45	0.39
60	0.64
75	0.96
90	1.32

**Downstream Boundary Condition (Minor System)**

- The storm sewer outlet for the Fernbank Zens Lands is the existing maintenance hole (MH1013) on Cope Drive.
- The boundary condition for the storm outlet was set at the 100-year HGL elevation of the outgoing sewer (95.05m). This is based on the Sensitivity Analysis completed by JFSA. It represents an ultimate buildout condition of the vacant lands within the watershed. The boundary condition correspondence has been provided in **Appendix A**.

**3.5 Minor System**

Runoff from the site will be captured by the proposed on-site storm sewer network and attenuated by ICDs. Storage will be provided within a combination of underground storage (i.e. pipes / structures) and surface storage.

Inflows to the storm sewer were modeled based on the characteristics of each inlet. All the catchbasins in the roadways and parking areas are located at low points except for CB01 which is on-grade. Inflows to the storm sewer are based on the ICD specified for the inlet and the maximum depth of ponding. ICDs have been sized to limit the outlet peak flows to the allowable release rate of 317.1 L/s. Details are outlined as follows in **Table 3.3**. ICD information is indicated on the General Plan of Services (drawing 121011-GP1 and GP2).

Table 3.3: Inlet Control Devices and Design Flows

Structure ID	ICD Size & Inlet Rate						
	ICD Type	T/G (m)	Orifice Invert (m)	100-year Head on Orifice (m)	2-year Orifice Peak Flow* (L/s)	5-year Orifice Peak Flow* (L/s)	100-year Orifice Peak Flow* (L/s)
CBMH01	83mm	96.85	94.86	2.18	19.9	20.7	20.2
CBMH02	105mm	96.70	94.64	2.35	29.4	33.9	32.2
CBMH03	80mm	96.85	94.83	2.33	16.9	19.5	19.4
CBMH04	Tempest LMF Vortex 101	97.15	94.98	2.47	13.1	13.9	14.0
CBMH05	80mm	97.30	95.23	2.23	17.1	19.6	20.1
CBMH06	108mm	97.35	95.34	2.25	26.5	34.6	36.4
CBMH07	114mm	96.95	94.92	2.29	37.2	39.4	39.5
CBMH08	Tempest LMF Vortex 92	96.85	94.95	2.21	9.6	10.8	10.9
CBMH09	83mm	96.80	94.83	2.19	17.8	20.7	20.2
CBMH10	85mm	96.85	95.02	2.12	13.4	20.1	21.6
CBMH11	80mm	96.80	95.21	1.81	14.6	17.3	18.1
CBMH12	Tempest LMF Vortex 72	96.83	94.81	2.27	5.1	7.0	6.8
CBMH13	Tempest LMF Vortex 75	96.83	94.82	2.26	5.3	7.5	7.4
CBMH14	Tempest LMF Vortex 79	97.25	95.18	2.38	7.8	8.2	8.4
CBMH15	73mm	97.30	95.60	1.87	14.5	14.9	15.3
CBMH16	104mm	97.45	95.50	1.70	9.9	15.1	28.4
CB01	83mm	96.88	95.27	1.63	1.1	2.2	9.1

\*PCSWMM model results for a 3-hour Chicago storm distribution.

### 3.5.1 Hydraulic Grade Line (PCSWMM)

The Hydraulic Grade Line (HGL) within the storm sewer system was evaluated using the fixed HGL of 95.05 at MH 1013 on Cope Drive. This HGL elevation surcharges the storm sewer on Cope Drive by 0.24m (obvert elevation = 94.81m).

The results of the analysis were used to ensure that a minimum freeboard of 0.30m is provided between the 100-year hydraulic gradeline (HGL) and the designed underside of footing (USF) elevations. The HGL analysis confirms that all Buildings will have at least 0.30m of freeboard between the modeled hydraulic gradeline and the nearest USF. The HGL elevations for a 20% increase (rainfall intensity and total precipitation) in the 100-year storm even were also reviewed to ensure the HGL is below the USF.

**Table 3.4** provides a summary of the 100-year HGL elevation at each storm manhole within the proposed development. The 100-year+20% HGL elevations have been provided in **Appendix A**.

Manhole ID	MH Obvert Elevation	T/G Elevation	HGL Elevation 100yr-3hr	HGL Elevation 100yr+20%	Design USF	Clearance 100-yr
	(m)	(m)	(m)	(m)	(m)	(m)
MH200	95.50	97.60	95.40	95.41	96.07	0.67
MH202	95.38	97.57	95.29	95.30	95.97	0.68
MH204	95.22	97.42	95.20	95.21	95.78	0.58
MH206	95.13	97.26	95.17	95.18	95.70	0.53
MH208	95.07	97.03	95.14	95.15	95.60	0.46
MH210	95.01	97.09	95.12	95.12	95.45	0.33
MH212	94.97	96.94	95.10	95.11	95.40	0.30
MH214	94.93	96.91	95.08	95.09	95.38	0.30
MH218	95.58	97.54	95.48	95.49	96.15	0.67
MH220	95.09	97.16	95.14	95.15	-	-
MH222	95.11	97.12	95.13	95.14	95.65	0.52
MH224	95.06	96.97	95.12	95.13	-	-
MH230	95.18	97.03	95.16	95.17	-	-

**Table 3.4: 100-Year Hydraulic Gradeline Elevations**

### 3.5.2 Major System

The major system network was evaluated using the PCSWMM model to ensure that the overland flow depths and velocities conform to City standards. A summary of ponding depths at each inlet for the 2-year, 5-year, 100-year and 100-year (+20%) events are provided in **Appendix A**. The maximum static and dynamic ponding depths within the roadways are less than 0.35m during all events and the product of depth x velocity will be less than 0.60.

The underground and surface storage provided upstream of each ICD are represented in the model using a combination of storage curves and oversized storm sewers (**Appendix A**), which use a depth vs area relationship to represent the corresponding storage volumes at a given elevation. The underground parking area sewer pipes have been oversized in some areas to provide the required storage. They are installed at minimum slope however are accessible at either end for cleaning and maintenance purposes.

**Table 3.5** provides a summary of the maximum static and 100-year ponding elevation at each catchbasin manhole within the proposed development.

**Table 3.5: Overland Flow Results (100-year Event)**

Structure	T/G (m)	Max. Static Ponding (Spill Depth)		100-yr Event (3hr)			
		Elev. (m)	Depth (m)	Elev. (m)	Depth (m)	Cascading Flow?	Cascade Depth (m)
CBMH01	96.85	97.15	0.30	97.04	0.19	N	0.00
CBMH02	96.70	97.00	0.30	96.99	0.29	N	0.00
CBMH03	96.85	97.15	0.30	97.16	0.31	Y	0.01
CBMH04	97.15	97.45	0.30	97.45	0.30	N	0.00

Structure	T/G (m)	Max. Static Ponding (Spill Depth)		100-yr Event (3hr)			
		Elev. (m)	Depth (m)	Elev. (m)	Depth (m)	Cascading Flow?	Cascade Depth (m)
CBMH05	97.30	97.60	0.30	97.46	0.16	N	0.00
CBMH06	97.35	97.65	0.30	97.59	0.24	N	0.00
CBMH07	96.95	97.25	0.30	97.21	0.26	N	0.00
CBMH08	96.85	97.15	0.30	97.16	0.31	Y	0.01
CBMH09	96.80	97.10	0.30	97.02	0.22	N	0.00
CBMH10	96.85	97.15	0.30	97.14	0.29	N	0.01
CBMH11	96.80	97.10	0.30	97.02	0.22	N	0.00
CBMH12	96.83	97.13	0.30	97.08	0.25	N	0.00
CBMH13	96.83	97.13	0.30	97.08	0.25	N	0.00
CBMH14	97.25	97.55	0.30	97.56	0.31	Y	0.01
CBMH15	97.30	97.60	0.30	97.47	0.17	N	0.00
CBMH16	97.45	97.50	0.05	97.20	0.00	N	0.00

The model results demonstrate that each storage area provides sufficient underground storage to ensure no surface ponding during the 2-year design event (the 2-year HGL elevation at each structure does not exceed the corresponding top of grate elevation).

An expanded table of the ponding depths at low points in the roadway and landscaped areas (including the stress-test event) is provided in **Appendix A**. Based on these results, the proposed storm drainage system will not experience any adverse flooding even with a 20% increase to the 100-year event.

### 3.5.3 Peak Flows (PCSWMM)

**Table 3.6** provides a summary of the minor and major system flows from the Fernbank Zens Lands to Cope Drive, Fernbank Road ROW and Terry Fox Drive ROW for all storm events up to and including the 100-year.

**Table 3.6: Summary of Peak Flows (PCSWMM)**

Outfall	Allowable Release Rate	2-year Peak Flow (L/s)	5-year Peak Flow (L/s)	100-year Peak Flow <sup>(2)</sup> (L/s)		Description
				3-hour Chicago	24-hour SCS	
Minor System	317.1 L/s	249.0	299.5	317.1	311.5	To Cope Drive MH1013
Major System	781 L/s	11.5	17.1	28.1	22.7	Flow to Cope Drive (OF4, HP-CB01)
		1.9	6.4	16.8	12.8	Flow to Fernbank ROW (OF3)
		3.7	19.1	42.7	31.6	Flow to Terry Fox ROW (OF1, OF2)
<b>TOTAL</b>	<b>1,098.1 L/s</b>	<b>266.1</b>	<b>342.1</b>	<b>404.7</b>	<b>378.6</b>	

<sup>(2)</sup> PCSWMM model results; fixed outfall at 95.05m (100-year HGL elevation at MH 1013 on Cope Drive).

The 100-year minor system peak flow to Cope Drive is controlled to the allowable release rate of 317.1 L/s for both the 3-hour Chicago and 24-hour SCS distributions.

The major system peak flows are significantly less than the allowable rate of 781 L/s. The PCSWMM model is based on the grading design, which provides significantly more than the required 60m<sup>3</sup>/ha of major system storage.

## 4.0 SANITARY SEWER SYSTEM

### 4.1 Previous Studies

The Subject Site is located upstream of Phase 1 of the Trailwest (formerly SOHO West) Subdivision. The SOHO West Serviceability Report, *SOHO West- Rev. 3, Serviceability Report, Prepared by Stantec, dated October 31<sup>st</sup>, 2007*, calculated sanitary flows to outlet to Cope Drive from the lands that make up 1039 Terry Fox Drive and 5331 Fernbank Road, which includes the subject lands and lands north of the Monahan Drain and lands south of Cope Drive. Sanitary flows in this report were calculated to be 45.95L/s to outlet to the sanitary sewers on Cope Drive, which ultimately outlet to the Hazeldean Pump Station. Refer to **Appendix B** for excerpts.

In 2015, a rezoning application was submitted for the lands located at 5331 Fernbank Road & 1039 Terry Fox Drive. The land north of the Monahan Drain was rezoned from IP4 to IP to allow for the development of office buildings. The subject lands was rezoned from IP4 to R3X [2410]-h to allow for residential development. And lastly, the land south of Cope Drive to Fernbank Road was rezoned from IP4 to IP with exceptions to all for commercial development. The exceptions would allow for retail store and retail food store to be permitted as secondary uses. As part of the submission a servicing and stormwater report was included titled, *Van Gaal Lands: 5331 Fernbank Road and 1039 Terry Fox Drive, Ottawa, ON, Servicing & Stormwater Management Brief, completed by Novatech, Ref. No.: R-2015-123, dated September 1, 2015*. The 2015 report comprised of two separate outlets for the sanitary flow from 1039 Terry Fox Drive and 5331 Fernbank Road.

The subject lands and the lands south of Cope Drive outlet to the sanitary sewers on Cope Drive. A sanitary flow of 16.23L/s was calculated for the Cope Drive sanitary sewers.

The business park outlets to the existing 900mm sanitary sewer along Hazeldean Side Road due to its close proximity to the Hazeldean Pump Station. A sanitary flow of 25.81L/s was calculated to outlet to the Hazeldean Side Road sewer.

The total sanitary flows to the Hazeldean Pump Station was calculated to be 42.04L/s.

### 4.2 Existing Sanitary Sewer System for the Subject Lands

Currently, there is an existing 525mm sanitary trunk sewer along Cope Drive to the south and a 200mm sanitary sewer along Northgraves Crescent to the northeast. The sanitary trunk sewer along Cope Drive currently services the existing commercial plaza located at 5357 Fernbank Road and the existing Trailwest community. The Cope Drive trunk sewer ultimately outlets to the Hazeldean Pump Station via the sanitary pipe system in the Trailwest subdivision. Through pre-consultation with the City of Ottawa for the Van Gaal lands (north of Cope Drive), the underside of footing elevations (USFs) shall be a minimum of 95.30m, which is the emergency overflow elevation at the Pump Station. These conditions should apply to the subject site as both developments outlet to Cope Drive at the same location. Please see the **Appendix** for correspondence.

### 4.3 Proposed Sanitary Sewer Outlet

It is proposed that the site will outlet directly to the 525mm sanitary trunk sewer along Cope Drive. The proposed outlet is consistent with the approved SOHO West Serviceability Report (Stantec) and the approved Servicing & Stormwater Management Report (Novatech) as part of the rezoning application for the Van Gaal Lands. Refer to Section 1.3 for report details.

The proposed development can be serviced with a 200mm sanitary sewer system. The proposed sanitary layout can be seen on **Figure 5 – Sanitary Alignment**.

### 4.4 Design Criteria

Sanitary sewers, for the proposed development, are designed based on criteria established by the City of Ottawa in the following documents:

- Section 4.0 of the City of Ottawa Sewer Design Guidelines (October 2012).
- Technical Bulletin ISTB-2018-01 from the City of Ottawa regarding new sanitary design parameters. Design parameters from this technical bulletin will supersede values within the Sewer Design Guidelines (2012).

The resulting design parameters are summarized as follows:

Population Flow = 280 L/capita/day

Infiltration = 0.33 L/s/ha

Apartment = 2.1 persons per unit

Maximum Residential Peak Factor = 4.0

Harmon Correction Factor = 0.8

Industrial/Commercial/Institutional Peak Factor

= 1.0, if area is <20% of total contributing area

= 1.5, if area is >20% of total contributing area

Industrial Peaking Factor: As per Appendix 4-B of the City of Ottawa Sewer Design Guidelines

Minimum velocity = 0.6m/s

Manning's n = 0.013

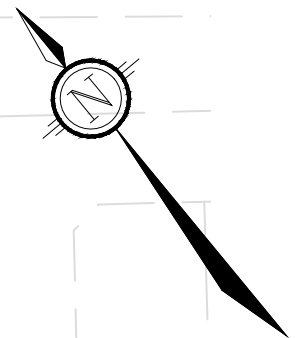
### 4.5 Proposed Sanitary Sewer System

The calculated peak sanitary design flow for the development is 5.68 L/s. For detailed calculations refer to the Sanitary Sewer Design Sheet located in **Appendix B** and **Figure 5 – Sanitary Alignment** for sanitary drainage areas.

Sanitary flows from the subject lands were previously calculated in Stantec's Serviceability Report and the approved 2015 Servicing & Stormwater Management Report (Novatech) as part of the rezoning application for the Van Gaal Lands. As previously noted, sanitary flows from the lands north of the Monahan Drain will be directed to an existing 900mm diameter sanitary sewer on Hazeldean Side Road with the remaining two parcels outletting to the Cope Drive trunk sewer.

As a result, the proposed sanitary flows directed to the Cope Drive trunk sewer will be significantly less than previously calculated.





**LEGEND**

- SITE BOUNDARY
- PROPOSED SANITARY SEWER  
C/W FLOW DIRECTION
- EXISTING SANITARY SEWER C/W  
FLOW DIRECTION

**NOVATECH**

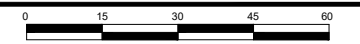
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CITY OF OTTAWA  
5331 FERNBANK ROAD  
FERNBANK ZENS

**SANITARY ALIGNMENT**

1 : 1500



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### Outlet to Cope Drive Sewers

Proposed sanitary flows outletting to the Cope Drive trunk sewer versus the previously calculated sanitary flows from previous serviceability reports are listed in **Table 4.1**.

**Table 4.1: Sanitary Flow Summary to Cope Drive**

Development Condition	Population	Area (ha)	Peak Flow (L/s)	Peak Ext. Flow (L/s)	Peak Design Flow (L/s)
Claridge Residential Site North of Cope Dr. (Van Gaal Lands)	535	8.14	5.88	2.66	8.34
Subject Site		3.68	4.46	1.22	5.68
Total Flow (Proposed)					14.02
Stantec Serviceability Report	2811	23.14	39.47*	6.48	45.95
Novatech Approved Serviceability Report (rezoning)*		11.87	12.91	3.32	16.23

\*Based on Table 4.1 of the rezoning report, Van Gaal Lands: 5331 Fernbank Road and 1039 Terry Fox Drive, Ottawa, ON, Servicing & Stormwater Management Brief, completed by Novatech, Ref. No.: R-2015-123, dated September 1, 2015.

The total proposed sanitary flow from the subject site and the residential area north of Cope Drive (Van Gaal Lands) is 14.02 L/s, which represents a 69% decrease in sanitary flows compared to the calculated flows in the Stantec Serviceability Report (45.95 L/s) and a 13.0% decrease in sanitary flows compared to the calculated flows from Novatech's approved rezoning Servicing and Stormwater Management report (16.23L/s). This indicates there will be adequate capacity in the Cope Drive sewers to accommodate the proposed development.

For design sheet, drainage plans and design parameters from the Stantec Serviceability Report, refer to excerpts in **Appendix B**. For excerpts from Novatech's approved rezoning Servicing and Stormwater Management Report, refer to **Appendix B**.

## **5.0 WATER SUPPLY SYSTEM**

### **5.1 Proposed Watermain System**

As part of the detail design process, the City of Ottawa requires the developer to prepare a hydraulic network analysis of the proposed water distribution system within the Fernbank Zens site, confirming capacity in the water system as it relates to the existing infrastructure. The purpose of the hydraulic analysis is to confirm that the development can be adequately serviced from the existing 300mm diameter watermain on Cope Drive located in north of the Fernbank Zens site.

It is proposed to service the Fernbank Zens site with a 200mm watermain and localized 150mm mainline with two connections to the existing 300mm watermain on Cope Drive. The first connection will be made to the 300mm watermain on Cope Drive approximately 35m southwest of Northgraves Crescent. The second connection will be made to the 300mm watermain on Cope Drive approximately 75m southwest of Northgraves Crescent.

The site will be serviced internally with 38mm services to heated external cabinets at the corners of each building. Each 38mm waterline will service 3 dwelling units with 4 services (12 units) per building.

**Figure 6** – Water Network Plan highlights the proposed works and connection points. All existing watermain boundary conditions were provided by the City of Ottawa and are included in **Appendix C**.

## 5.2 Design Criteria

The following design criteria (from the City of Ottawa and MOE Guidelines) were used to assess the proposed watermain sizes:

### Residential (Based on MOE Design Guidelines for < 500 population)

Residential Demand:	280L per person per day
Apartments/Zen Units:	2.1 persons per unit
Maximum Daily Demand:	3.0 x Average Daily Demand
Peak Hour Demand:	4.5 x Average Daily Demand
Fire Flow Demand:	Fire Underwriters Survey
Fire Demand:	267.0 L/s Maximum for Fernbank Zens as per Fire Underwriter's Survey for Public Fire Protection.

### System Pressures:

Maximum (System):	690 kPa (100 psi) as per City of Ottawa Guidelines
Maximum (Service):	550 kPa (80 psi) as per Ontario Plumbing Code
Minimum:	275 kPa (40 psi) except during fire flow condition
Minimum (fire):	140 kPa (20 psi)

The City of Ottawa Water Distribution Guidelines indicates the maximum pressure to be 690 kPa (100 psi) for unoccupied areas.

### Friction Factors:

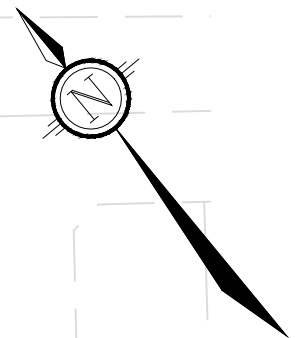
Size	C-Factor
Less than 200mm	100
200mm-300mm	110

### Design Criteria for Water Demand:

Average Daily Demand; Maximum Daily Demand plus Fire Flow; and Peak Hour Demand.

## 5.3 Hydraulic Analysis

The hydraulic modelling program "EPANET for Windows Version 2.0" was used for the purpose of analyzing the performance of the proposed watermain network under the various operating conditions.



**LEGEND**

- SITE BOUNDARY
- PROPOSED WATERMAIN
- EXISTING WATERMAIN

**NOVATECH**

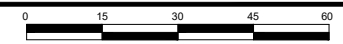
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CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

**WATER NETWORK PLAN**

1 : 1500



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The following table summarizes the demands under the various combined operating conditions for the Fernbank Zens site. Refer to Appendix C for the detailed list of the demands listed by node and operating condition.

**Table 5.1: Hydraulic Model Demand – Fernbank Zens**

Description	Demand
No. of Inhabitants	403
Average Daily Flow	1.31 L/s
Max. Daily Flow (MD)	3.92 L/s
Peak Hour Flow (PH)	5.88 L/s

Detailed hydraulic modeling of the proposed system network was conducted for the Fernbank Zens site to confirm the proposed layout has adequate capacity to service the development. The analysis pinpoints the minimum system pressures expected as a result of the maximum daily demand, the maximum daily demand plus fire flow and the peak hour demand design conditions. For watermain node network, refer to Appendix C for Fig WM-Proposed Watermain Layout and Nodes. Refer to Appendix C for the detailed results.

**Table 5.2: Hydraulic Model Results – Fernbank Zens**

Operating Condition	Minimum Operating Pressure
<b>Max Daily Demand + Fire Flow</b>	<b>Watermain</b>
MD = 0.61 L/s FF= 266.66 L/s at node N1	435.37 kPa 63.14 psi (at Node 3)
MD = 0.25 L/s FF= 250.00 L/s at node N4	258.10 kPa 37.43 psi (at Node 4)
MD = 0.49 L/s FF= 233.32 L/s at node N5	260.46 kPa 37.78 psi (at Node 5)
MD = 0.25 L/s FF= 233.32 L/s at node N6	260.46 kPa 37.78 psi (at Node 5)
<b>Peak Hour Demand</b>	
PH = 5.88 L/s	576.24 kPa 83.58 psi (At Node 6)
<b>Maximum High Pressure</b>	
MHP = Node N11	634.71 kPa 92.06 psi
<b>Maximum Time On Site</b>	
MTS = Node N4	19.5 hours

The results indicate that acceptable minimum system pressures will exist throughout the proposed distribution system under all design conditions.

The proposed water distribution system was checked for high pressures during average daily demand using a hydraulic boundary condition of 161.4m as provided by the City of Ottawa. The model indicates that pressures above 550 kPa (80 psi) exist within the site, up to a maximum of 634.71 kPa (92.06 psi). Therefore, pressure reducing valves will be required for all units. Refer to Appendix C for details.

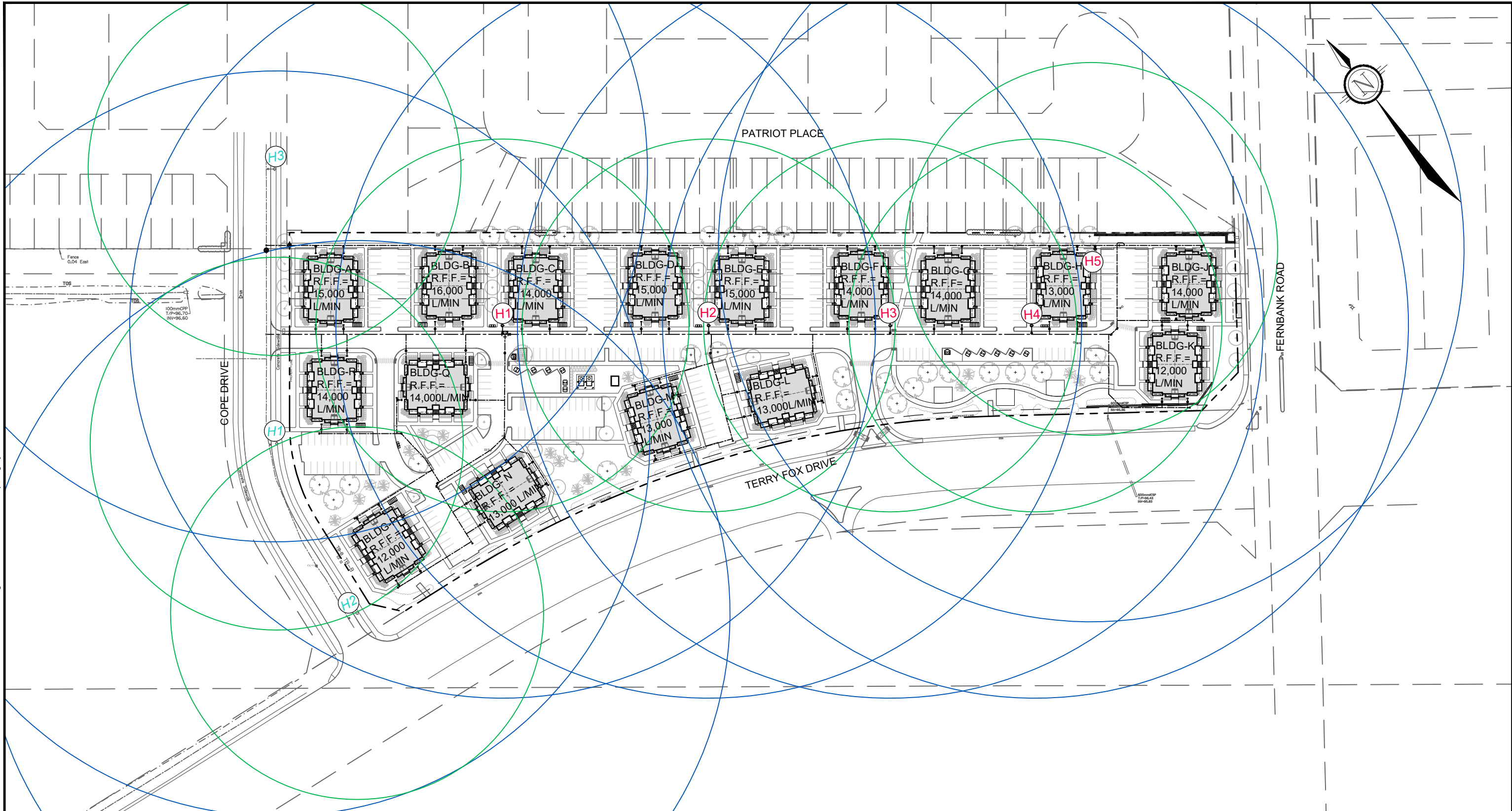
#### 5.4 Fire Flow Demands

The hydraulic analysis of the water distribution network demonstrated that the system has sufficient capacity to provide the required fire flows based on the Fire Underwriters Survey (FUS) calculations. Refer to Appendix C for detailed calculations for each building. The actual functionality of the system is limited by the available flow rate from each Hydrant. Existing and proposed hydrants are Class AA and the maximum available flow rate at each hydrant is 5,700 L/min. A further evaluation was conducted as per Technical Bulletin ISTB-2018-02 Appendix I: Guideline on Coordination of Hydrant Placement with Required Fire Flow. The results are summarized in Table 5.3: Fire Flow Results and in **Figure 7** - Fire Hydrant Coverage Plan.

**Table 5.3: Fire Flow Results**

Block	Fire Flow Demand (L/min)	Fire Hydrants within 75m	Fire Hydrants within 150m	*Available Fire Flow (L/min)
A	15,000	Existing Hydrant 1 Existing Hydrant 3	Existing Hydrant 2 Hydrant 1	19,000
B	16,000	Hydrant 1	Existing Hydrant 1 Existing Hydrant 2 Existing Hydrant 3 Hydrant 2	20,900
C	14,000	Hydrant 1	Existing Hydrant 1 Existing Hydrant 3 Hydrant 2 Hydrant 3	20,900
D	15,000	Hydrant 1 Hydrant 2	Hydrant 3	15,200
E	15,000	Hydrant 2 Hydrant 3	Hydrant 1 Hydrant 4 Hydrant 5	22,800
F	14,000	Hydrant 2 Hydrant 3	Hydrant 1 Hydrant 4 Hydrant 5	22,800
G	14,000	Hydrant 3 Hydrant 4 Hydrant 5	Hydrant 2	20,900
H	13,000	Hydrant 4 Hydrant 5	Hydrant 3	15,200
J	14,000	Hydrant 4 Hydrant 5	Hydrant 3	15,200

M:\2021\121011\DATA\Calculations\Sewer Calcs\Water\202105XX-Submission\121011-HYDCOV.dwg, FIG 7, Feb 18, 2022 - 2:11pm, rgrayton



**LEGEND**

- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- R.F.F. REQUIRED FIRE FLOW
- 75m COVERAGE RADIUS
- 150m COVERAGE RADIUS
- Ⓜ PROPOSED HYDRANT
- Ⓜ EXISTING HYDRANT

**NOVATECH**

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CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

**FIRE HYDRANT COVERAGE PLAN**

SCALE 1 : 1500

DATE FEB 2022 JOB 121011 FIGURE FIG-7

K	12,000	Hydrant 4 Hydrant 5	Hydrant 3	15,200
L	13,000	Hydrant 2 Hydrant 3	Hydrant 1 Hydrant 4 Hydrant 5	22,800
M	13,000	Hydrant 2	Hydrant 1 Hydrant 3	13,300
N	13,000	Hydrant 1	Existing Hydrant 1 Existing Hydrant 2 Hydrant 2	17,100
P	12,000	Existing Hydrant 1 Existing Hydrant 2	Hydrant 1	15,200
Q	14,000	Hydrant 1	Existing Hydrant 1 Existing Hydrant 2 Existing Hydrant 3 Hydrant 2	20,900
R	14,000	Hydrant 1	Existing Hydrant 1 Existing Hydrant 2 Existing Hydrant 3 Hydrant 2	20,900

\* Existing and proposed hydrants are Class AA and the maximum available flow rate at each hydrant is 5,700 L/min.

The proposed water distribution system and the number of proposed hydrants satisfies the requirements for available flow based on Technical Bulletin ISTB-2018-02 Appendix I: Guideline on Coordination of Hydrant Placement with Required Fire Flow.

## 5.5 Watermain Conclusions

The water distribution network as proposed can provide an adequate system pressure for the maximum day plus fire and the peak hour design conditions at all nodes throughout the development. These adequate pressures can be achieved under the current conditions of existing infrastructure. The water distribution network also provides an adequate number of fire hydrants to meet the fire flow requirements for the proposed structures.

## 6.0 ROADWAYS

### 6.1 Roadway Characteristics

The Fernbank Zens development will have a roadway width of 6.7m throughout with parking areas along the sides.

### 6.2 Traffic

An analysis of the effect from the proposed Fernbank Zens development on the existing traffic patterns has been performed and detailed in the report, *Proposed Residential Development, 5331 Fernbank Road, Transportation Impact Assessment, completed by Novatech, Ref. No.: R-2020-053, dated June 2, 2021*; and is submitted under a separate cover. Please refer to this report for more details.

### 6.3 Pedestrian Facilities

There are 1.8m wide existing concrete sidewalks along Cope Drive and Fernbank Road and 1.8m wide pathways are proposed within the development. Pathway connections are provided through



the development between Cope Drive and Fernbank Road and east to Patriot Place in the existing SOHO development.

#### **6.4 Noise**

The analysis of the roadway traffic along Terry Fox Drive, Fernbank Road and Cope Drive indicates that the City of Ottawa's criteria for residential noise will be exceeded, primarily for units in close proximity to the noise sources. Attenuation measures are required and they may include the installation of central air conditioning, forced air ventilation, specified window and wall assemblies and/or a notice may be placed on title with regards to the noise levels to be expected. The detailed results are included in the Detailed Noise Control Study and is submitted under a separate cover. Refer to *Fernbank Zens, 5331 Fernbank Road, Detailed Noise Control Study, dated November 5, 2021 by Novatech, Report No.: R-2021-074* for more details.

#### **7.0 EROSION AND SEDIMENT CONTROL**

Erosion and sediment control measures will be implemented during construction in accordance with the "Guidelines on Erosion and Sediment Control for Urban Construction Sites" (Government of Ontario, May 1987).

Typical erosion and sediment control measures recommended include, but are not limited to, the use of silt fences around perimeter of site (OPSD 219.110), filter fabric or inserts under catch basin/maintenance hole lids, heavy duty silt fence barrier (OPSD 219.130), straw bale check dams (OPSD 219.180), rock check dams (219.210 or OPSD 219.211), riprap (OPSS 511), mud mats, silt bags for dewatering operations, topsoil and sod to disturbed areas and natural grassed waterways. Dewatering and sediment control techniques will be developed for the individual situations based on the above guidelines and utilizing typical measures to ensure erosion and sediment control is controlled in an acceptable manner and there is no negative impact to adjacent lands, water bodies or water treatment/conveyance facilities.

It will be the responsibility of the Contractor to submit a detailed construction schedule and appropriate staging, dewatering and erosion and sediment control plans to the Contract Administrator for review and approval prior to the commencement of work. A copy of the City of Ottawa Special Provision F-1004 is included in the Appendix which will become part of any contract and which outlines the contractual requirements which includes preparation of a detailed erosion and sediment control plan.

#### **General**

- All erosion and sediment control measures are to be installed to the satisfaction of the engineer, the municipality and the conservation authority prior to undertaking any site alterations (filling, grading, removal of vegetation, etc.) and remain present during all phases of site preparation and construction.
- A qualified inspector should conduct daily visits during construction to ensure that the contractor is working in accordance with the design drawings and that mitigation measures are being implemented as specified.
  - A light duty silt fence barrier is to be installed in the locations shown on the Erosion and Sediment Control Plan.
  - Straw bale barriers are to be installed in drainage ditches.

- Filter cloth is to be placed under the grates of all proposed and existing catchbasins and structures.
- After complete build-out, all sewers are to be inspected and cleaned and all sediment and construction fencing is to be removed.
- The contractor shall ensure that proper dust control is provided with the application of water (and if required, calcium chloride) during dry periods.
- The contractor shall immediately report to the engineer or inspector any accidental discharges of sediment material into any ditch or sewer system. Appropriate response measures shall be carried out by the contractor without delay.
- The contractor acknowledges that failure to implement erosion and sediment control measures may result in penalties imposed by any applicable regulatory agency.

## 8.0 UTILITIES

The development will be serviced by hydro, phone, gas and cable, which will be constructed in a four-party trench, as per the City and utility standard right-of-way cross-sections. Canada Post will service the site with community mailboxes. Site lighting will be provided along roadways and walkways as per City standards.

## 9.0 PHASING

The proposed development will be constructed in one phase.

## 10.0 DEVIATIONS FROM SEWER DESIGN GUIDELINES

### *Specifics*

The cover over the storm sewer in certain instances is less than the standard outlined in the City Sewer Design Guidelines as some of the storm sewers have been oversized for underground stormwater management in some locations. There are grade raise restrictions on this site which, if the site grading was raised to meet the minimum storm sewer cover over these few oversized pipes, there would be a corresponding large increase in the development cost with the use of lightweight fill over the entire site instead of some localized insulation over the oversized storm sewer laterals in certain areas.

## 11.0 CONCLUSIONS

- Storm servicing for the development will be provided using a dual drainage system: minor system flows (up to the 2-year event) will be conveyed by storm sewers or stored underground, while major system flows will be stored at low points in the roadways and parking areas. Flows that exceed the provided storage will be conveyed overland along defined overland flow routes to either Cope Drive, Fernbank Road or Terry Fox Drive.
- Water quality control for the proposed development will be provided by the existing approved Vortech units located at the outfall to Cell 1 of the Monahan Drain Constructed Wetlands.
- Peak flows leaving the site will be less than the allowable release rate for both the minor and major systems and will therefore have no adverse impact on the existing development downstream.

- A minimum clearance of 0.30m will be provided between the 100-year hydraulic grade line (HGL) and the designed underside of footing elevations.
- Sanitary service will be provided by 200mm-diameter sanitary sewers within the development with an outlet connection at Cope Drive to an existing 525mm-diameter sanitary sewer.
- Water service will be provided by a 200mm-diameter watermain from Cope Drive connected at both the northwest private street connections and the northeast corner of the site to provide a loop, with a combination of 38mm, 50mm, 150mm and 200mm diameter watermain within the development.
- Local private roadways will be 6.7m throughout the site with parking areas situated along the sides. Internal pathways will be provided to give pedestrian access within and through the development and existing sidewalks along Cope Drive and Fernbank Road.
- Noise attenuation measures (noise wall) are not required on the site for the outdoor amenity areas. Building façade analysis was completed and the corresponding building requirements are outlined in the Detailed Noise Control Study.
- Erosion and sediment control measures (i.e. filter fabric, silt fences, etc.) will be implemented prior to construction and are to remain in place until vegetation is established.
- Erosion and sediment control measures associated with construction are to be implemented as outlined in Section 7.0.
- The development will be serviced by hydro, phone, gas and cable, which will be constructed in a three-party trench, as per the City and utility standard right-of-way cross-sections. Canada Post will service the site with community mailboxes. Site lighting will be provided along roadways and pathways as per City standards.

It is recommended that the City of Ottawa approve the findings of this report in support of the engineering detail design for the Fernbank Zen's site at 5331 Fernbank Road.

**NOVATECH**

Prepared by:



Steve Zorgel, P. Eng.  
Project Coordinator

Reviewed/Approved by:

Drew Blair, P. Eng.  
Project Manager



## Appendix A

**STORM SEWER DESIGN SHEET**  
**5331 FERNBANK**  
 FLOW RATES BASED ON RATIONAL METHOD



LOCATION				AREA (ha)			FLOW							TOTAL FLOW	SEWER DATA									
Street	Catchment ID	From MH	To MH	Area (ha)	C	AC (ha)	Indiv 2.78 AC	Accum 2.78 AC	Time of Concentration	Rainfall Intensity 2 Year (mm/hr)	Rainfall Intensity 5 Year (mm/hr)	Rainfall Intensity 10 Year (mm/hr)	Peak Flow (L/s)	Total Peak Flow, Q (L/s)	Dia. (m) Actual	Dia. (mm)	Type	Slope (%)	Length (m)	Capacity (L/s)	Velocity (m/s)	Flow Time (min)	Ratio Q/Q full	
	A1	CBMH16	218	0.04	0.52	0.02	0.058	0.058	10.00	76.81			4.4	10.6	0.254	250	PVC	0.45	39.6	41.6	0.82	0.80	25%	
	A2			0.04	0.72	0.03	0.080	0.138	10.00	76.81														10.6
									10.80															
	A3	CBMH6	218	0.08	0.56	0.04	0.125	0.125	10.00	76.81			9.6	45.4	0.305	300	PVC	0.40	17.6	63.7	0.87	0.34	71%	
	A4			0.21	0.80	0.17	0.467	0.592	10.00	76.81														45.4
									10.34															
		218	200			0.00	0.000	0.729	10.80	73.85			53.9	53.9	0.381	375	PVC	0.28	7.1	96.7	0.85	0.14	56%	
	A5	200	202	0.09	0.78	0.07	0.195	0.925	10.94	73.36			67.8	67.8	0.381	375	PVC	0.25	48.0	91.4	0.80	1.00	74%	
									11.94															
	A6	CBMH5	202	0.12	0.83	0.10	0.277	0.277	10.00	76.81			21.3	21.3	0.254	250	PVC	0.50	20.1	43.8	0.86	0.39	49%	
									10.39															
	A7	202	204	0.18	0.52	0.09	0.260	1.462	11.94	70.07			102.4	129.6	0.457	450	Conc	0.21	81.9	136.2	0.83	1.65	95%	
	A8			0.07	0.49	0.03	0.095	1.557	11.94	70.07														109.1
	A9			0.13	0.81	0.11	0.293	1.850	11.94	70.07			129.6											
									13.59															
	A10	CBMH4	204	0.19	0.57	0.11	0.301	0.301	10.00	76.81			23.1	43.9	0.305	300	PVC	0.35	20.0	59.6	0.82	0.41	74%	
	A11			0.12	0.81	0.10	0.270	0.571	10.00	76.81														43.9
									10.41															

**STORM SEWER DESIGN SHEET**  
**5331 FERNBANK**  
 FLOW RATES BASED ON RATIONAL METHOD



LOCATION				AREA (ha)			FLOW							TOTAL FLOW	SEWER DATA									
Street	Catchment ID	From MH	To MH	Area (ha)	C	AC (ha)	Indiv 2.78 AC	Accum 2.78 AC	Time of Concentration	Rainfall Intensity 2 Year (mm/hr)	Rainfall Intensity 5 Year (mm/hr)	Rainfall Intensity 10 Year (mm/hr)	Peak Flow (L/s)	Total Peak Flow, Q (L/s)	Dia. (m) Actual	Dia. (mm)	Type	Slope (%)	Length (m)	Capacity (L/s)	Velocity (m/s)	Flow Time (min)	Ratio Q/Q full	
		204	206			0.00	0.000	2.421	13.59	65.32			158.1	158.1	0.533	525	Conc	0.22	41.5	210.3	0.94	0.73	75%	
						0.00	0.000	0.000	13.59															
						0.00	0.000	0.000	13.59															
									<b>14.32</b>															
	<b>A12</b>	CBMH7	206	0.32	0.76	0.24	0.676	0.676	10.00	76.81			51.9	51.9	0.305	300	PVC	0.35	25.4	59.6	0.82	0.52	87%	
						0.00	0.000	0.000	10.00															
						0.00	0.000	0.000	10.00															
									<b>10.52</b>															
	<b>A13</b>	206	208	0.12	0.71	0.09	0.237	3.334	14.32	63.41			211.4	211.4	0.610	600	Conc	0.17	41.4	263.9	0.90	0.76	80%	
						0.00	0.000	0.000	14.32															
						0.00	0.000	0.000	14.32															
									<b>15.09</b>															
	<b>A14</b>	CBMH3	208	0.15	0.58	0.09	0.242	0.242	10.00	76.81			18.6	39.3	0.305	300	PVC	0.35	20.0	59.6	0.82	0.41	66%	
								0.00	0.000	0.000	10.00													
								0.00	0.000	0.000	10.00													
	<b>A15</b>			0.12	0.81	0.10	0.270	0.512	10.00	76.81			39.3											
									<b>10.41</b>															
	<b>A16</b>	208	210	0.08	0.72	0.06	0.160	4.006	15.09	61.57			246.7	246.7	0.686	675	Conc	0.15	39.4	339.4	0.92	0.71	73%	
						0.00	0.000	0.000	15.09															
						0.00	0.000	0.000	15.09															
									<b>15.80</b>															
	<b>A17</b>	CBMH1	220	0.12	0.37	0.04	0.123	0.123	10.00	76.81			9.5	30.9	0.305	300	PVC	0.35	22.9	59.6	0.82	0.47	52%	
								0.00	0.000	0.000	10.00													
								0.00	0.000	0.000	10.00													
	<b>A18</b>			0.13	0.77	0.10	0.278	0.402	10.00	76.81			30.9											
									<b>10.00</b>															
	<b>A19</b>	220	210	0.14	0.80	0.11	0.311	0.713	10.47	75.06			53.5	53.5	0.381	375	PVC	0.26	30.9	93.2	0.82	0.63	57%	
						0.00	0.000	0.000	10.47															
						0.00	0.000	0.000	10.47															
									<b>11.10</b>															

**STORM SEWER DESIGN SHEET**  
**5331 FERNBANK**  
 FLOW RATES BASED ON RATIONAL METHOD



LOCATION				AREA (ha)			FLOW							TOTAL FLOW	SEWER DATA									
Street	Catchment ID	From MH	To MH	Area (ha)	C	AC (ha)	Indiv 2.78 AC	Accum 2.78 AC	Time of Concentration	Rainfall Intensity 2 Year (mm/hr)	Rainfall Intensity 5 Year (mm/hr)	Rainfall Intensity 10 Year (mm/hr)	Peak Flow (L/s)	Total Peak Flow, Q (L/s)	Dia. (m) Actual	Dia. (mm)	Type	Slope (%)	Length (m)	Capacity (L/s)	Velocity (m/s)	Flow Time (min)	Ratio Q/Q full	
		210	212			0.00	0.000	4.719	15.80	59.94			282.9	282.9	0.762	750	Conc	0.11	43.5	385.0	0.84	0.86	73%	
						0.00	0.000	0.000	15.80															
						0.00	0.000	0.000	15.80															
									<b>16.66</b>															
	<b>A20</b>	CBMH2	212	0.17	0.57	0.10	0.269	0.269	10.00	76.81			20.7	63.4	0.381	375	PVC	0.25	20.0	91.4	0.80	0.42	69%	
								0.00	0.000	0.000	10.00													
	<b>A21</b>					0.25	0.80	0.20	0.556	0.825	10.00	76.81												
									10.00															
									<b>10.42</b>															
	<b>A22</b>	CBMH8	222	0.06	0.45	0.03	0.075	0.075	10.00	76.81			5.8	28.0	0.254	250	PVC	0.45	22.0	41.6	0.82	0.45	67%	
								0.00	0.000	0.000	10.00													
	<b>A23</b>					0.13	0.80	0.10	0.289	0.364	10.00	76.81												
									10.00															
									<b>10.45</b>															
	<b>A24</b>	CBMH10	230	0.15	0.69	0.10	0.288	0.288	10.00	76.81			22.1	22.1	0.254	250	PVC	0.55	5.5	46.0	0.91	0.10	48%	
						0.00	0.000	0.000	10.00															
						0.00	0.000	0.000	10.00															
		230	222			0.00	0.000	0.288	10.10	76.42			22.0	22.0	0.254	250	PVC	0.47	17.0	42.5	0.84	0.34	52%	
						0.00	0.000	0.000	10.10															
						0.00	0.000	0.000	10.10															
									<b>10.44</b>															
		222	224			0.00	0.000	0.652	10.45	75.13			49.0	49.0	0.381	375	PVC	0.29	17.1	98.4	0.86	0.33	50%	
						0.00	0.000	0.000	10.45															
						0.00	0.000	0.000	10.45															
									<b>10.78</b>															



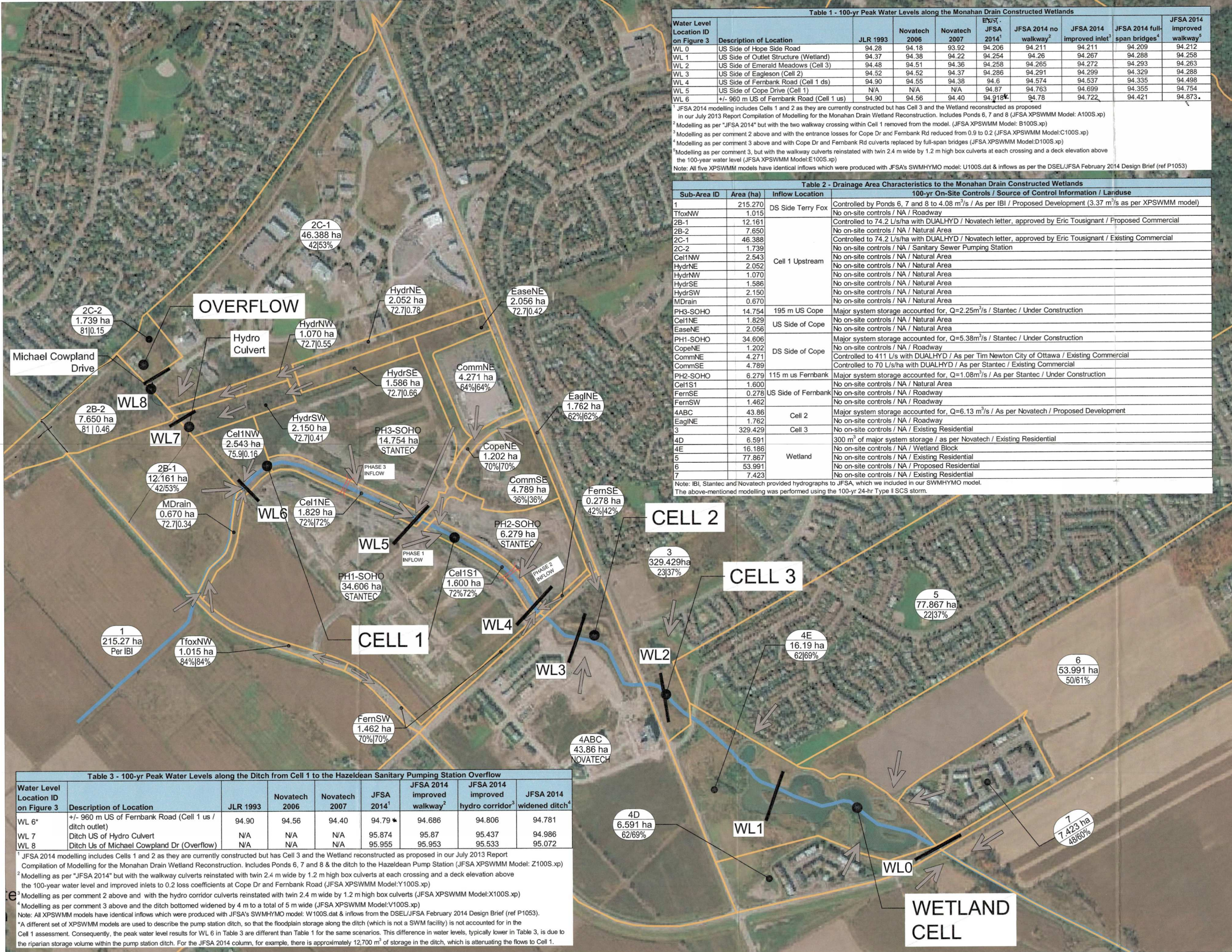
**STORM SEWER DESIGN SHEET**  
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LOCATION				AREA (ha)			FLOW							TOTAL FLOW	SEWER DATA									
Street	Catchment ID	From MH	To MH	Area (ha)	C	AC (ha)	Indiv 2.78 AC	Accum 2.78 AC	Time of Concentration	Rainfall Intensity 2 Year (mm/hr)	Rainfall Intensity 5 Year (mm/hr)	Rainfall Intensity 10 Year (mm/hr)	Peak Flow (L/s)	Total Peak Flow, Q (L/s)	Dia. (m) Actual	Dia. (mm)	Type	Slope (%)	Length (m)	Capacity (L/s)	Velocity (m/s)	Flow Time (min)	Ratio Q/Q full	
	A25	CBMH9	224	0.09	0.39	0.04	0.098	0.098	10.00	76.81			7.5	35.9	0.305	300	PVC	0.35	19.6	59.6	0.82	0.40	60%	
					0.00	0.000	0.000	10.00																
					0.00	0.000	0.000	10.00																
	A26			0.18	0.74	0.13	0.370	0.468	10.00	76.81			35.9											
					0.00	0.000	0.000	10.00																
					0.00	0.000	0.000	10.00																
									<b>10.40</b>															
		224	212			0.00	0.000	1.120	10.78	73.94			82.8	82.8	0.457	450	Conc	0.20	44.9	132.9	0.81	0.92	62%	
						0.00	0.000	0.000	10.78															
						0.00	0.000	0.000	10.78															
									<b>11.70</b>															
		212	214			0.00	0.000	6.664	16.66	58.11			387.3	387.3	0.838	825	Conc	0.11	37.4	496.4	0.90	0.69	78%	
						0.00	0.000	0.000	16.66															
						0.00	0.000	0.000	16.66															
<b>Cope</b>	<b>A27</b>	214	EX 1013MH	0.07	0.70	0.05	0.136	6.801	17.35	56.72			385.8	<b>385.8</b>	0.838	825	Conc	0.11	18.0	496.4	0.90	0.33	78%	
						0.00	0.000	0.000	17.35															
									<b>17.68</b>															

Q = 2.78 AIC, where Q = Peak Flow in Litres per Second (L/s) C = Runoff Coefficient A = Area in hectares (ha) I = Rainfall Intensity (mm/hr)	<b>Consultant:</b>	<b>Novatech</b>
	<b>Date:</b>	June 2, 2021
	<b>Revised:</b>	September 30, 2021
	<b>Revised:</b>	February 3, 2022
	<b>Revised:</b>	February 11, 2022
	<b>Design By:</b>	Matt McKeough
	<b>Client:</b>	
	Claridge Homes	<b>Dwg. Reference:</b> 121011-STM <b>Checked By:</b> DDB

Legend:  
 \* Areas/Runoff Coefficients/Time of Concentration based on detailed storm design sheet and drawing (121011-STM)  
 10.00 Storm sewers designed to the 2 year event (without ponding) for local roads  
 10.00 Storm sewers designed to the 5 year event (without ponding) for collector roads  
 10.00 Storm sewers designed to the 10 year event (without ponding) for arterial roads



**Table 1 - 100-yr Peak Water Levels along the Monahan Drain Constructed Wetlands**

Water Level Location ID on Figure 3	Description of Location	JLR 1993	Novatech 2006	Novatech 2007	JFSAs 2014 <sup>1</sup>	JFSAs 2014 no walkway <sup>2</sup>	JFSAs 2014 improved inlet <sup>3</sup>	JFSAs 2014 full-span bridges <sup>4</sup>	JFSAs 2014 improved walkway <sup>5</sup>
WL 0	US Side of Hope Side Road	94.28	94.18	93.92	94.206	94.211	94.211	94.209	94.212
WL 1	US Side of Outlet Structure (Wetland)	94.37	94.38	94.22	94.254	94.26	94.267	94.288	94.258
WL 2	US Side of Emerald Meadows (Cell 3)	94.48	94.51	94.36	94.258	94.265	94.272	94.293	94.263
WL 3	US Side of Eagleson (Cell 2)	94.52	94.52	94.37	94.286	94.291	94.299	94.329	94.288
WL 4	US Side of Fernbank Road (Cell 1 ds)	94.90	94.55	94.38	94.36	94.6	94.537	94.335	94.498
WL 5	US Side of Cope Drive (Cell 1)	N/A	N/A	N/A	94.87	94.763	94.699	94.355	94.754
WL 6	+/- 960 m US of Fernbank Road (Cell 1 us)	94.90	94.56	94.40	94.918	94.78	94.722	94.421	94.873

<sup>1</sup> JFSAs 2014 modelling includes Cells 1 and 2 as they are currently constructed but has Cell 3 and the Wetland reconstructed as proposed in our July 2013 Report Compilation of Modelling for the Monahan Drain Wetland Reconstruction. Includes Ponds 6, 7 and 8 (JFSAs XPSWMM Model: A100S.xp)

<sup>2</sup> Modelling as per "JFSAs 2014" but with the two walkway culverts reinstated with twin 2.4 m wide by 1.2 m high box culverts at each crossing and a deck elevation above the 100-year water level and improved inlets to 0.2 loss coefficients at Cope Dr and Fernbank Road (JFSAs XPSWMM Model: Y100S.xp)

<sup>3</sup> Modelling as per comment 2 above and with the entrance losses for Cope Dr and Fernbank Rd reduced from 0.9 to 0.2 (JFSAs XPSWMM Model: C100S.xp)

<sup>4</sup> Modelling as per comment 3 above and with Cope Dr and Fernbank Rd culverts replaced by full-span bridges (JFSAs XPSWMM Model: D100S.xp)

<sup>5</sup> Modelling as per comment 3, but with the walkway culverts reinstated with twin 2.4 m wide by 1.2 m high box culverts at each crossing and a deck elevation above the 100-year water level (JFSAs XPSWMM Model: E100S.xp)

Note: All five XPSWMM models have identical inflows which were produced with JFSAs's SWMHYMO model: U100S.dat & inflows as per the DSEL/JFSA February 2014 Design Brief (ref P1053)

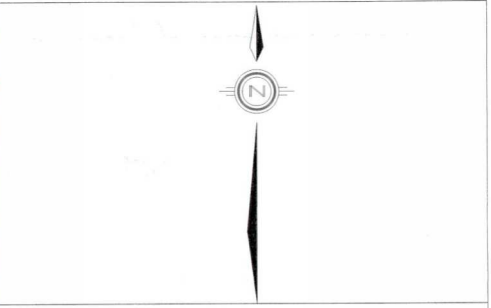
**Table 2 - Drainage Area Characteristics to the Monahan Drain Constructed Wetlands**

Sub-Area ID	Area (ha)	Inflow Location	100-yr On-Site Controls / Source of Control Information / Landuse
1	215.270	DS Side Terry Fox	Controlled by Ponds 6, 7 and 8 to 4.08 m <sup>3</sup> /s / As per IBI / Proposed Development (3.37 m <sup>3</sup> /s as per XPSWMM model)
TfoxNW	1.015		No on-site controls / NA / Roadway
2B-1	12.161		Controlled to 74.2 L/s/ha with DUALHYD / Novatech letter, approved by Eric Tousignant / Proposed Commercial
2B-2	7.650		No on-site controls / NA / Natural Area
2C-1	46.388		Controlled to 74.2 L/s/ha with DUALHYD / Novatech letter, approved by Eric Tousignant / Existing Commercial
2C-2	1.739		No on-site controls / NA / Sanitary Sewer Pumping Station
Cel1NW	2.543	Cell 1 Upstream	No on-site controls / NA / Natural Area
HydrNE	2.052		No on-site controls / NA / Natural Area
HydrNW	1.070		No on-site controls / NA / Natural Area
HydrSE	1.586		No on-site controls / NA / Natural Area
HydrSW	2.150		No on-site controls / NA / Natural Area
MDrain	0.670		No on-site controls / NA / Natural Area
PH3-SOHO	14.754	195 m US Cope	Major system storage accounted for, Q=2.25m <sup>3</sup> /s / Stantec / Under Construction
Cel1NE	1.829	US Side of Cope	No on-site controls / NA / Natural Area
EaseNE	2.056		No on-site controls / NA / Natural Area
PH1-SOHO	34.606	DS Side of Cope	Major system storage accounted for, Q=5.38m <sup>3</sup> /s / Stantec / Under Construction
CopeNE	1.202		No on-site controls / NA / Roadway
CommNE	4.271		Controlled to 411 L/s with DUALHYD / As per Tim Newton City of Ottawa / Existing Commercial
CommSE	4.789		Controlled to 70 L/s/ha with DUALHYD / As per Stantec / Existing Commercial
PH2-SOHO	6.279	115 m US Fernbank	Major system storage accounted for, Q=1.08m <sup>3</sup> /s / As per Stantec / Under Construction
Cel1S1	1.600	US Side of Fernbank	No on-site controls / NA / Natural Area
FernSE	0.278		No on-site controls / NA / Roadway
FernSW	1.462		No on-site controls / NA / Roadway
4ABC	43.86	Cell 2	Major system storage accounted for, Q=6.13 m <sup>3</sup> /s / As per Novatech / Proposed Development
EagNE	1.762		No on-site controls / NA / Roadway
3	329.429	Cell 3	No on-site controls / NA / Existing Residential
4D	6.591		300 m <sup>3</sup> of major system storage / as per Novatech / Existing Residential
4E	16.186	Wetland	No on-site controls / NA / Wetland Block
5	77.867		No on-site controls / NA / Existing Residential
6	53.991		No on-site controls / NA / Proposed Residential
7	7.423		No on-site controls / NA / Existing Residential

Note: IBI, Stantec and Novatech provided hydrographs to JFSAs, which we included in our SWMHYMO model. The above-mentioned modelling was performed using the 100-yr 24-hr Type II SCS storm.

**LEGEND :**

- SUBCATCHMENT BOUNDARY
- MONAHAN DRAIN
- DRAINAGE DIRECTION / INFLOW LOCATION TO XPSWMM
- SUB-CATCHMENT ID (STANDHYD)
- SUB-CATCHMENT AREA (HA)
- DIRECT / TOTAL IMPERVIOUSNESS (%)
- SUB-CATCHMENT ID (NASHYD)
- SUB-CATCHMENT AREA (HA)
- CURVE NUMBER | TIME TO PEAK (H)
- WL1 WATER LEVEL LOCATION refer to Table 1
- APPROXIMATE LOCATION of WALKWAYS



J.F. Sabourin & Associates Inc.  
 WATER RESOURCES AND ENVIRONMENTAL CONSULTANTS  
 OTTAWA (613) 836-3884  
 GATINEAU (819) 243-6858



**CLIENT :** Ottawa

**PROJECT :** CELL 1 MODELLING  
 MONAHAN DRAIN CONSTRUCTED  
 WETLANDS

CB	DATE	DESCRIPTION	REV
CB	Sept/14	FINAL	3
CB	Feb/13	For Review / Comments	2
CB	Dec/13	For Discussion	1
CB	Sept/13	For Discussion	0

DETAILED DRAINAGE AREAS TO CELL 1  
 + WATER LEVELS ALONG the MDCW

**FIGURE 3**

DESIGNED: CB  
 DRAWN: CB  
 VERIFIED:  
 APPROVED:

DATE: Sept/14 PROJECT No: 902(03)-13

DRAWING REF: 902(03)-13\Design\CAD  
 \JFSAs Figures 20140903.dwg

**Table 3 - 100-yr Peak Water Levels along the Ditch from Cell 1 to the Hazeldean Sanitary Pumping Station Overflow**

Water Level Location ID on Figure 3	Description of Location	JLR 1993	Novatech 2006	Novatech 2007	JFSAs 2014 <sup>1</sup>	JFSAs 2014 improved walkway <sup>2</sup>	JFSAs 2014 improved hydro corridor <sup>3</sup>	JFSAs 2014 widened ditch <sup>4</sup>
WL 6*	+/- 960 m US of Fernbank Road (Cell 1 us / ditch outlet)	94.90	94.56	94.40	94.79	94.686	94.806	94.781
WL 7	Ditch US of Hydro Culvert	N/A	N/A	N/A	95.874	95.87	95.437	94.986
WL 8	Ditch US of Michael Cowpland Dr (Overflow)	N/A	N/A	N/A	95.955	95.953	95.533	95.072

<sup>1</sup> JFSAs 2014 modelling includes Cells 1 and 2 as they are currently constructed but has Cell 3 and the Wetland reconstructed as proposed in our July 2013 Report Compilation of Modelling for the Monahan Drain Wetland Reconstruction. Includes Ponds 6, 7 and 8 & the ditch to the Hazeldean Pump Station (JFSAs XPSWMM Model: Z100S.xp)

<sup>2</sup> Modelling as per "JFSAs 2014" but with the walkway culverts reinstated with twin 2.4 m wide by 1.2 m high box culverts at each crossing and a deck elevation above the 100-year water level and improved inlets to 0.2 loss coefficients at Cope Dr and Fernbank Road (JFSAs XPSWMM Model: Y100S.xp)

<sup>3</sup> Modelling as per comment 2 above and with the hydro corridor culverts reinstated with twin 2.4 m wide by 1.2 m high box culverts (JFSAs XPSWMM Model: X100S.xp)

<sup>4</sup> Modelling as per comment 3 above and the ditch bottomed widened by 4 m to a total of 5 m wide (JFSAs XPSWMM Model: V100S.xp)

Note: All XPSWMM models have identical inflows which were produced with JFSAs's SWMHYMO model: W100S.dat & inflows from the DSEL/JFSA February 2014 Design Brief (ref P1053).

\*A different set of XPSWMM models are used to describe the pump station ditch, so that the floodplain storage along the ditch (which is not a SWM facility) is not accounted for in the Cell 1 assessment. Consequently, the peak water level results for WL 6 in Table 3 are different than Table 1 for the same scenarios. This difference in water levels, typically lower in Table 3, is due to the riparian storage volume within the pump station ditch. For the JFSAs 2014 column, for example, there is approximately 12,700 m<sup>3</sup> of storage in the ditch, which is attenuating the flows to Cell 1.















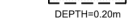


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**Legend**

-  DRAINAGE AREA NO.
-  RUNOFF COEFFICIENT
-  STORM DRAINAGE AREA (ha)
-  DRAINAGE AREA BOUNDARY
-  PROPOSED STORM SEWER & MANHOLE
-  PROPOSED CATCH BASIN (ALL ROAD CB'S TO INCLUDE PERFORATED STUB DRAINS EXTENDING OUT FROM THE CB IN TWO DIRECTIONS PARALLEL TO THE ROADWAY. THESE DRAINS ARE TO BE INSTALLED AT THE BOTTOM OF THE SUBBASE LAYER.)
-  PROPOSED SUBDRAIN CATCH BASIN
-  PROPOSED 250mm PERFORATED PIPE
-  STREET CATCHBASINS TO BE INTERCONNECTED WITH ONLY ONE CONNECTION TO STORM SEWER PER PAIR WHERE NOTED.
-  IPEX TYPE 'A' TO BE INSTALLED IN STREET AND REAR YARD CATCHBASINS WHERE NOTED.
-  PROPOSED CATCH BASIN / MANHOLE c/w IPEX INLET-CONTROL DEVICE TYPE 'A' OR APPROVED EQUIVALENT
-  PONDING AREA LIMITS
-  MAXIMUM PONDING DEPTH DEPTH=0.20m
-  DIRECTION OF OVERLAND FLOW
-  FUTURE PHASE OF STORM DRAINAGE WORKS

**Notes**

1. IPEX TYPE 'A' TO RESTRICT FLOWS TO THE STORM SEWER TO 22L/s AT 1.8m HEAD.

7	REVISED DRIVEWAY & SIDEWALK LOCATIONS, ISSUED FOR FINAL APPROVAL	KJK	JBL	09.02.25
5	REVISED LOT GRADING AND SERVICING	KJK	JBL	08.11.03
4	ISSUED FOR CONSTRUCTION	KJK	JBL	08.01.21
3	REVISED AS PER CITY COMMENTS AND FINAL APPROVAL	KJK	JBL	07.10.29
2	REVISED AS PER CITY COMMENTS	KJK	JBL	07.08.17
1	ISSUED FOR CITY COMMENTS	KJK	JBL	07.07.12

<b>Revision</b>		By	Appd.	YY.MM.DD
File Name:	160400502C-SD	KJK	JBL	KJK
		Dwn.	Chkd.	Dsgn.
				YY.MM.DD

**Permit-Seal**

**Client/Project**

CAVANAGH CONSTRUCTION LTD.

SOHO - KANATA SOUTH

Ottawa ON Canada

**Title**

OVERALL  
STORM DRAINAGE PLAN

Project No.	Scale	0 20 60 100m
160400502C	1:2000	

Drawing No.	Sheet	Revision
OSD	49 of 58	7

**Fernbank Zens - 5331 Fernbank Road (121011)**  
**PCSWMM Model Results (Ponding)**



CB ID	Invert Elev. (m)	Rim Elev. (m)	Spill Elev. (m)	Ponding Depth (m)	HGL Elev. (m) <sup>1</sup>				Ponding Depth (m)				Spill Depth (m)			
					2-yr	5-yr	100-yr	100-yr (+20%)	2-yr	5-yr	100-yr	100-yr (+20%)	2-yr	5-yr	100-yr	100-yr (+20%)
CBMH01	94.86	96.85	97.15	0.30	96.75	96.91	97.04	97.08	0.00	0.06	0.19	0.23	0.00	0.00	0.00	0.00
CBMH02	94.64	96.70	97.00	0.30	96.27	96.79	96.99	97.06	0.00	0.09	0.29	0.36	0.00	0.00	0.00	0.06
CBMH03	94.83	96.85	97.15	0.30	96.41	96.94	97.16	97.18	0.00	0.09	0.31	0.33	0.00	0.00	0.01	0.03
CBMH04	94.98	97.15	97.45	0.30	97.03	97.27	97.45	97.46	0.00	0.12	0.30	0.31	0.00	0.00	0.00	0.01
CBMH05	95.23	97.30	97.60	0.30	96.85	97.36	97.46	97.50	0.00	0.06	0.16	0.20	0.00	0.00	0.00	0.00
CBMH06	95.34	97.35	97.65	0.30	96.54	97.38	97.59	97.65	0.00	0.03	0.24	0.30	0.00	0.00	0.00	0.00
CBMH07	94.92	96.95	97.25	0.30	96.79	97.02	97.21	97.28	0.00	0.07	0.26	0.33	0.00	0.00	0.00	0.03
CBMH08	94.95	96.85	97.15	0.30	96.55	96.98	97.16	97.17	0.00	0.13	0.31	0.32	0.00	0.00	0.01	0.02
CBMH09	94.83	96.80	97.10	0.30	96.35	96.87	97.02	97.10	0.00	0.07	0.22	0.30	0.00	0.00	0.00	0.00
CBMH10	95.02	96.85	97.15	0.30	95.82	96.79	97.14	97.17	0.00	0.00	0.29	0.32	0.00	0.00	0.00	0.02
CBMH11	95.21	96.80	97.10	0.30	96.41	96.87	97.02	97.15	0.00	0.07	0.22	0.35	0.00	0.00	0.00	0.05
CBMH12	94.81	96.83	97.13	0.30	95.91	96.85	97.08	97.18	0.00	0.02	0.25	0.35	0.00	0.00	0.00	0.05
CBMH13	94.82	96.83	97.13	0.30	95.83	96.86	97.08	97.18	0.00	0.03	0.25	0.35	0.00	0.00	0.00	0.05
CBMH14	95.18	97.25	97.55	0.30	97.21	97.39	97.56	97.58	0.00	0.14	0.31	0.33	0.00	0.00	0.01	0.03
CBMH15	95.60	97.30	97.60	0.30	97.28	97.37	97.47	97.51	0.00	0.07	0.17	0.21	0.00	0.00	0.00	0.00
CBMH16	95.50	97.45	97.50	0.05	95.78	96.04	97.20	97.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
RYE01	95.48	97.45	97.60	0.15	96.54	97.39	97.60	97.65	0.00	0.00	0.15	0.20	0.00	0.00	0.00	0.05
RYE02	95.62	97.20	97.35	0.15	95.78	96.05	97.21	97.41	0.00	0.00	0.01	0.21	0.00	0.00	0.00	0.06
RYE03	95.78	97.70	97.85	0.15	97.21	97.40	97.55	97.55	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
RYE04	95.37	97.30	97.60	0.30	97.21	97.39	97.56	97.60	0.00	0.09	0.26	0.30	0.00	0.00	0.00	0.00
RYE05	95.62	97.35	97.60	0.25	97.03	97.28	97.45	97.49	0.00	0.00	0.10	0.14	0.00	0.00	0.00	0.00
RYE06	95.45	97.05	97.30	0.25	96.41	96.95	97.17	97.24	0.00	0.00	0.12	0.19	0.00	0.00	0.00	0.00
RYE07	95.02	96.85	97.20	0.35	96.75	96.92	97.05	97.10	0.00	0.07	0.20	0.25	0.00	0.00	0.00	0.00
RYE08	95.25	96.85	97.07	0.22	96.28	96.80	96.99	97.07	0.00	0.00	0.14	0.22	0.00	0.00	0.00	0.00
RYE09	95.25	96.85	97.10	0.25	96.28	96.80	96.99	97.08	0.00	0.00	0.14	0.23	0.00	0.00	0.00	0.00
RYE10	95.68	97.00	97.20	0.20	96.55	96.98	97.17	97.22	0.00	0.00	0.17	0.22	0.00	0.00	0.00	0.02
RYE11	94.86	96.80	97.10	0.30	96.35	96.87	97.02	97.10	0.00	0.07	0.22	0.30	0.00	0.00	0.00	0.00
RYT01	95.36	97.30	97.65	0.35	96.54	97.39	97.60	97.65	0.00	0.09	0.30	0.35	0.00	0.00	0.00	0.00
RYT02	95.59	97.25	97.60	0.35	97.21	97.39	97.55	97.55	0.00	0.14	0.30	0.30	0.00	0.00	0.00	0.00
RYT03	95.22	97.25	97.55	0.30	97.21	97.39	97.56	97.59	0.00	0.14	0.31	0.34	0.00	0.00	0.01	0.04
RYT04	95.42	97.15	97.45	0.30	97.03	97.28	97.45	97.49	0.00	0.13	0.30	0.34	0.00	0.00	0.00	0.04
RYT05	95.14	97.05	97.40	0.35	97.03	97.28	97.45	97.48	0.00	0.23	0.40	0.43	0.00	0.00	0.05	0.08
RYT06	94.86	96.85	97.20	0.35	96.41	96.94	97.16	97.18	0.00	0.09	0.31	0.33	0.00	0.00	0.00	0.00
RYT07	94.67	96.70	97.05	0.35	96.27	96.79	96.99	97.06	0.00	0.09	0.29	0.36	0.00	0.00	0.00	0.01
RYT09	95.66	97.55	97.60	0.05	97.21	97.39	97.55	97.55	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
RYT10	95.46	97.25	97.57	0.32	97.21	97.39	97.55	97.55	0.00	0.14	0.30	0.30	0.00	0.00	0.00	0.00

<sup>1</sup> 3-hour Chicago Storm.

**Fernbank Zens - 5331 Fernbank Road (121011)**  
**PCSWMM Model Results (HGL)**



MH ID	Obvert Elevation (m)	T/G Elevation (m)	HGL Elevation <sup>1</sup> (m)	Surcharge (m)	Clearance from T/G (m)	HGL in Stress Test <sup>1</sup> (m)
MH200	95.50	96.60	95.40	0.00	1.20	95.41
MH202	95.38	96.57	95.29	0.00	1.28	95.30
MH204	95.22	96.42	95.20	0.00	1.22	95.21
MH206	95.13	96.26	95.17	0.04	1.09	95.18
MH208	95.07	96.03	95.14	0.07	0.89	95.15
MH210	95.01	96.09	95.12	0.11	0.97	95.12
MH212	94.97	95.94	95.10	0.13	0.84	95.11
MH214	94.93	95.91	95.08	0.15	0.83	95.09
MH218	95.58	96.54	95.48	0.00	1.06	95.49
MH220	95.09	96.16	95.14	0.05	1.02	95.15
MH222	95.11	96.12	95.13	0.02	0.99	95.14
MH224	95.06	95.97	95.12	0.06	0.85	95.13
MH230	95.18	96.03	95.16	0.00	0.87	95.17

<sup>1</sup> 3-hour Chicago Storm.

CBMH01			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.86	0.00	1.13	0.0
96.85	1.99	1.13	2.2
97.15	2.29	575.00	88.7
97.16	2.30	0.00	91.5
97.85	2.99	0.00	91.5

CBMH02			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.64	0.00	1.13	0.0
96.70	2.06	1.13	2.3
96.70	2.061	0.36	2.3
97.00	2.36	527.00	81.2
97.01	2.37	0.00	83.8
97.70	3.06	0.00	83.8

CBMH03			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.83	0.00	1.13	0.0
96.85	2.02	1.13	2.3
96.85	2.021	0.36	2.3
97.15	2.32	300.00	47.2
97.16	2.33	0.00	48.7
97.85	3.02	0.00	48.7

CBMH04			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.98	0.00	1.13	0.0
97.15	2.17	1.13	2.5
97.45	2.47	300.00	47.6
97.46	2.48	0.00	49.1
98.15	3.17	0.00	49.1

CBMH05			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.23	0.00	1.13	0.0
97.30	2.07	1.13	2.3
97.30	2.07	0.36	2.3
97.60	2.37	393.00	61.1
97.61	2.38	0.00	63.1
98.30	3.07	0.00	63.1

CBMH06			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.34	0.00	1.13	0.0
97.35	2.01	1.13	2.3
97.35	2.011	0.36	2.3
97.65	2.31	300.00	47.2
97.66	2.32	0.00	48.7
98.35	3.01	0.00	48.7

CBMH07			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.92	0.00	1.13	0.0
96.95	2.03	1.13	2.3
96.95	2.031	0.36	2.3
97.25	2.33	353.00	55.1
97.26	2.34	0.00	56.9
97.95	3.03	0.00	56.9

CBMH08			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.95	0.00	1.13	0.0
96.85	1.90	1.13	2.1
96.85	1.901	0.36	2.1
97.15	2.20	200.00	32.1
97.16	2.21	0.00	33.1
97.85	2.90	0.00	33.1

CBMH09			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.83	0.00	1.13	0.0
96.80	1.97	1.13	2.2
96.80	1.971	0.36	2.2
97.10	2.27	733.00	111.9
97.11	2.28	0.00	115.5
97.80	2.97	0.00	115.5

CBMH10			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.02	0.00	1.13	0.0
96.85	1.83	1.13	2.1
96.85	1.831	0.36	2.1
97.15	2.13	120.00	20.1
97.16	2.14	0.00	20.7
97.85	2.83	0.00	160.7

CBMH11			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.21	0.00	1.13	0.0
96.80	1.59	1.13	1.8
96.80	1.591	0.36	1.8
97.10	1.89	255.00	40.0
97.11	1.90	0.00	41.2
97.80	2.59	0.00	41.2

CBMH12			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.81	0.00	1.13	0.0
96.83	2.02	1.13	2.3
96.83	2.02	0.36	2.3
97.13	2.32	267.00	42.3
97.14	2.33	0.00	43.6
97.83	3.02	0.00	43.6

CBMH13			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
94.82	0.00	1.13	0.0
96.83	2.01	1.13	2.3
96.83	2.01	0.36	2.3
97.13	2.31	133.00	22.2
97.14	2.32	0.00	22.9
97.83	3.01	0.00	22.9

CBMH14			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.18	0.00	1.13	0.0
97.25	2.07	1.13	2.3
97.25	2.07	0.36	2.3
97.55	2.37	200.00	32.3
97.56	2.38	0.00	33.3
98.25	3.07	0.00	33.3

CBMH15			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.60	0.00	1.13	0.0
97.30	1.70	1.13	1.9
97.60	2.00	233.00	37.0
97.61	2.01	0.00	38.2
98.30	2.70	0.00	38.2

RYE03			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.78	0.00	0.36	0.0
97.70	1.92	0.36	0.7
97.95	2.17	32.00	4.7
97.96	2.18	0.00	4.9
98.70	2.92	0.00	4.9

RYE04			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.37	0.00	0.36	0.0
98.30	2.93	0.36	1.1
98.60	3.23	87.00	14.2
98.61	3.24	0.00	14.6
99.30	3.93	0.00	14.6

RYE07			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.02	0.00	0.36	0.0
96.80	1.78	0.36	0.6
97.15	2.13	105.00	19.1
97.16	2.14	0.00	19.6
97.80	2.78	0.00	19.6

RYT10			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.46	0.00	0.36	0.0
97.25	1.79	0.36	0.6
97.57	2.11	93.80	15.7
97.58	2.12	0.00	16.2
98.25	2.79	0.00	16.2

RYT02			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.59	0.00	0.36	0.0
97.25	1.66	0.36	0.6
97.60	2.01	200.00	35.7
97.61	2.02	0.00	36.7
98.31	2.72	0.00	36.7

RYT03			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.22	0.00	0.36	0.0
97.25	2.03	0.36	0.7
97.55	2.33	100.00	15.8
97.56	2.34	0.00	16.3
98.25	3.03	0.00	16.3

RYT09			
Elevation (m)	Depth (m)	Area (m <sup>2</sup> )	Volume (m <sup>3</sup> )
95.66	0.00	0.36	0.0
97.55	1.89	0.36	0.7
97.60	1.94	27.00	1.4
97.61	1.95	0.00	1.5
98.55	2.89	0.00	1.5

**Fernbank Zens - 5331 Fernbank Road (121011)**  
**Outlet Rating Curves**

ICD Size (mm)	83	94	102	108	127	152	178
Head (m)	Outflow (L/s)	Outflow (L/s)	Outflow (L/s)	Outflow (L/s)	Outflow (L/s)	Outflow (L/s)	Outflow (L/s)
0.000	0	0	0	0	0	0	0
0.010	1	1	1	1	1	1	1
0.015	3	3	3	3	3	3	3
0.021	6	6	6	6	6	6	6
0.030	12	12	12	12	12	12	12
0.040	18	20	20	20	20	20	20
0.050	18	23	27	30	30	30	30
0.054	18	23	27	31	34	34	34
0.060	18	23	27	31	40	40	40
0.080	18	23	27	31	43	50	50
1.000	18	23	27	31	43	50	50

\*CB's on-grade max capture rate = 50 L/s

Parameter	ICD Size and Release Rate @ 1.5m Head						
Q (L/s) =	18.20	23.34	27.48	30.81	42.61	61.03	83.70
g (m/s <sup>2</sup> ) =	9.81	9.81	9.81	9.81	9.81	9.81	9.81
h (m) =	1.50	1.50	1.50	1.50	1.50	1.50	1.50
A (m <sup>2</sup> ) =	0.0054	0.0069	0.0082	0.0092	0.0127	0.0181	0.0249
D (m) =	0.083	0.094	0.102	0.108	0.127	0.152	0.178
D (mm) =	83	94	102	108	127	152	178

$$Q = 0.62xAx(2gh)^{0.5}$$

# TEMPEST Product Submittal Package R1



**Date: February 7, 2021**

**Customer: Novatech**

**Contact: Lucas Wilson**

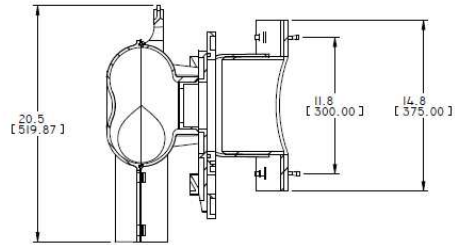
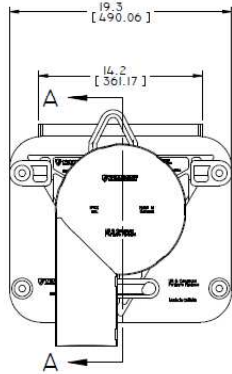
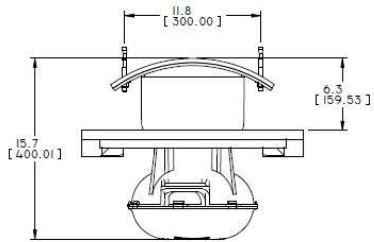
**Location: Ottawa**

**Project Name: Fernbank Zens Lands**





# Tempest LMF ICD Rd Shop Drawing



SECTION A-A

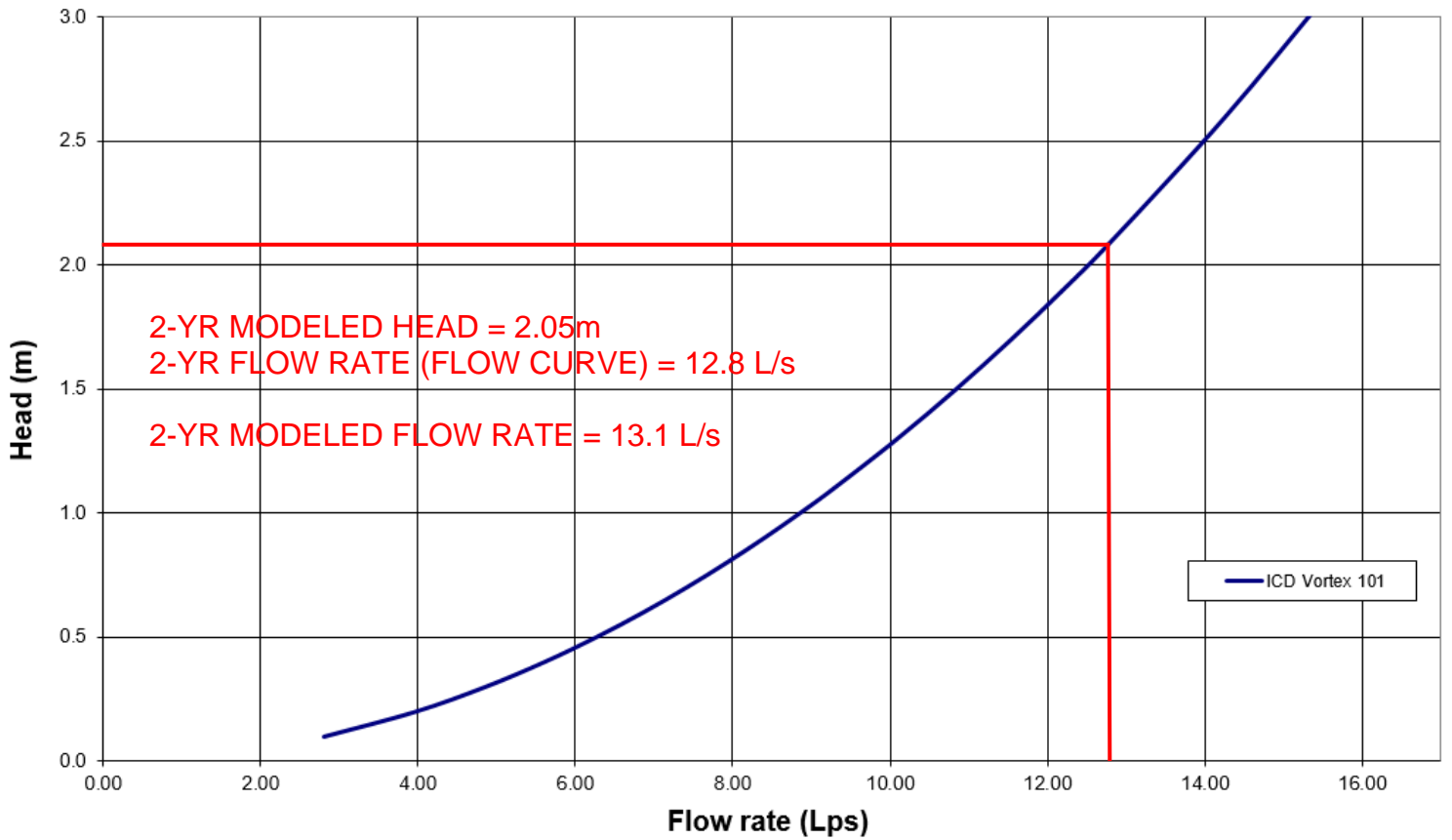
*Handwritten signature and date: 6/27/2011*

<b>TOLERANCES:</b> UNLESS OTHERWISE SPECIFIED: FRACTIONS DECIMALS .125 .00125 (1/8) .00125 .250 .00250 (1/4) .00250 .375 .00375 (3/8) .00375 .500 .00500 (1/2) .00500		<b>IPEX TECHNOLOGIES INC.</b> PRODUCT DEVELOPMENT EQUIPMENT 2500 W. GARDNER, SUITE 101 LA BEE, TEXAS 77889, U.S.A. CONTACT: TEL: 281.288.2220 WWW.IPEX.COM	
PROJECTION FIRST ANGLE IN (MM)		TITLE: LMF ROUND CB ASSEMBLY	
DRAWN BY: H. M. MARTIN	DATE: 2011-07-26	SHEET: B SCALE: 1/2	SHEET: 1 OF 1
CHECKED BY:	DATE: 2011-07-26	DRAWING NUMBER: SCH14-FAC00101	REV: 3



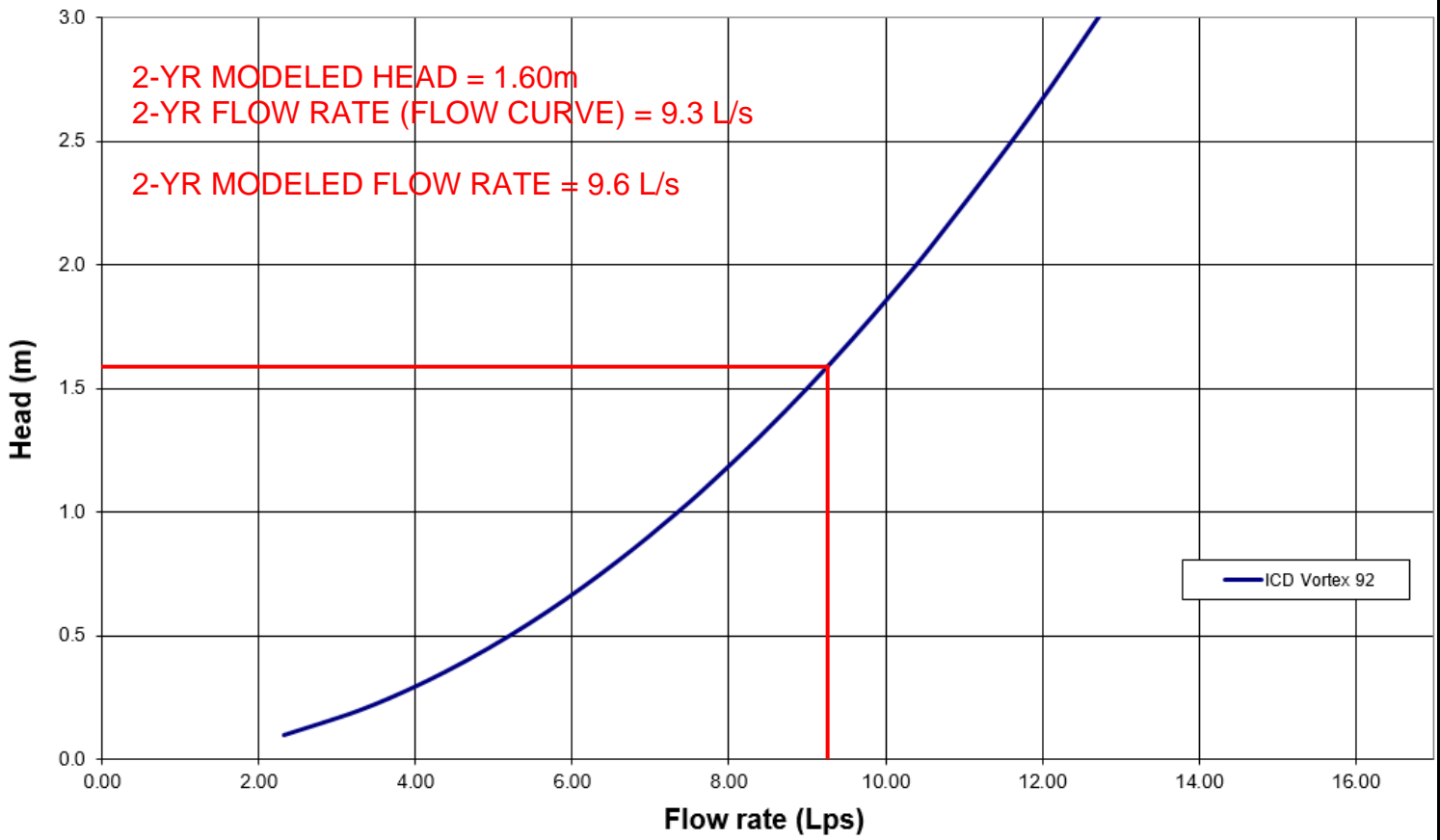
### Tempest LMF ICD Flow Curve

**Flow: 14 L/s**  
**Head: 2.47 m**  
**CBMH4**



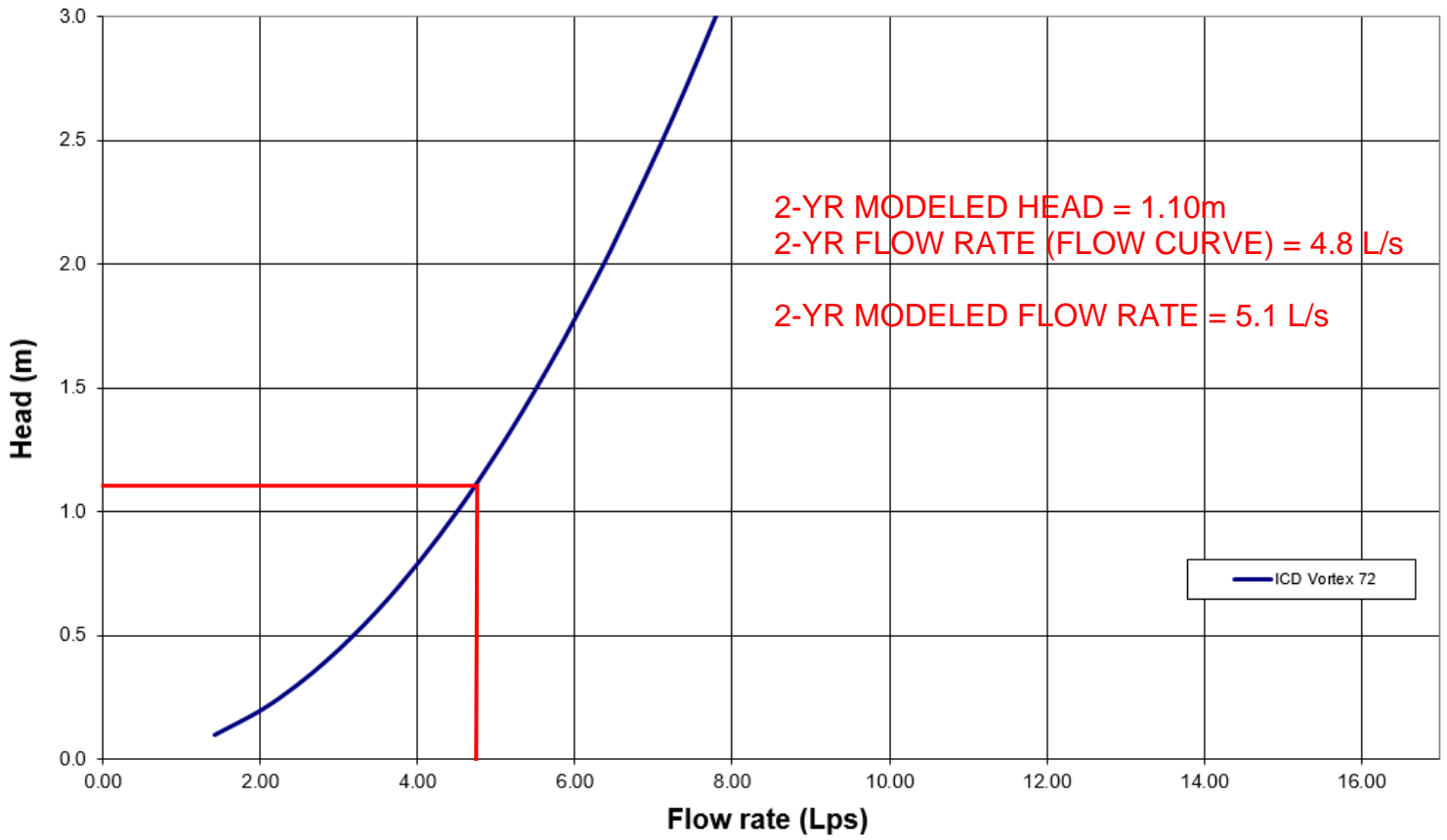
### Tempest LMF ICD Flow Curve

**Flow: 10.9 L/s**  
**Head: 2.21 m**  
**CBMH8**



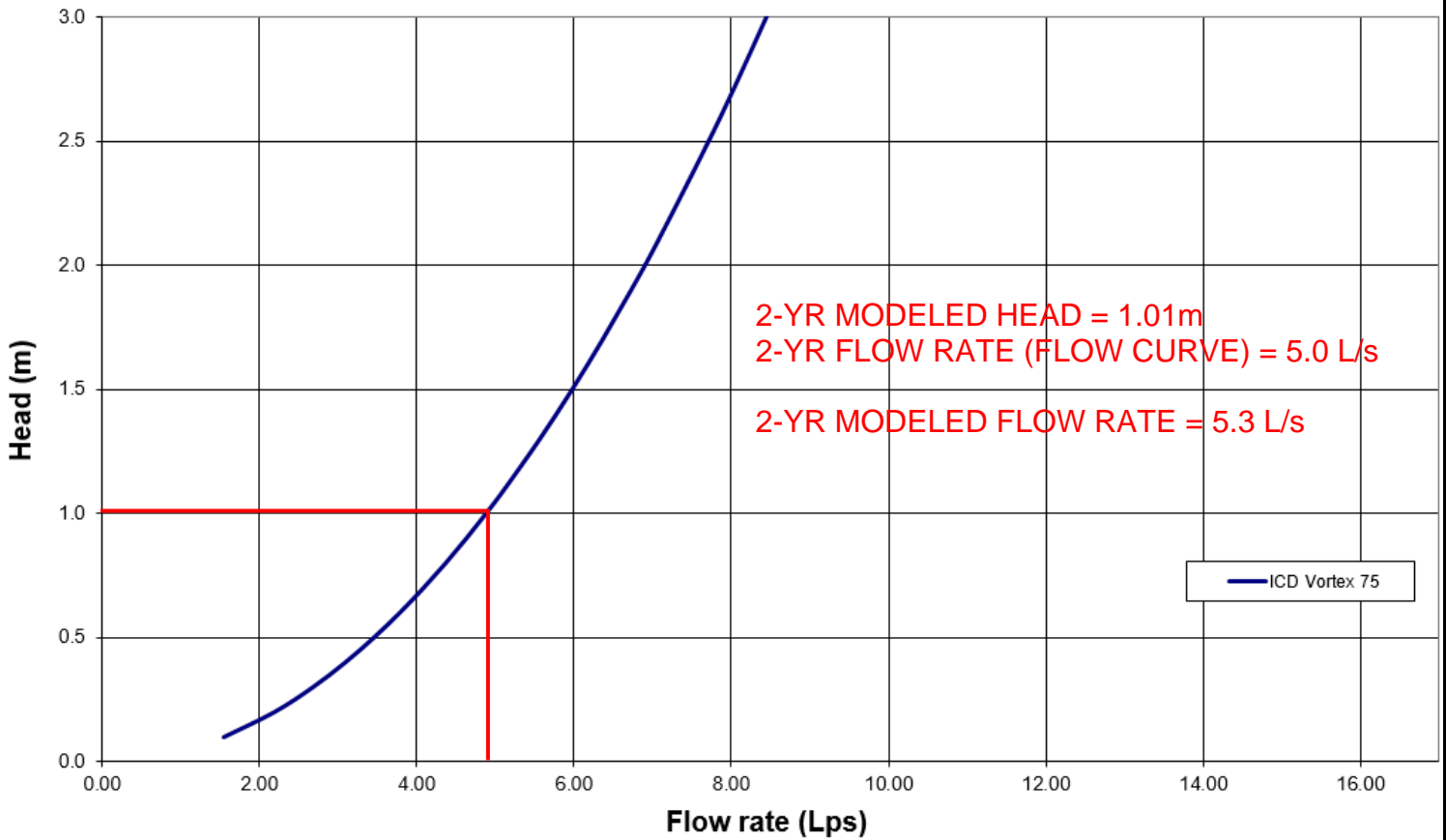
### Tempest LMF ICD Flow Curve

**Flow: 6.8 L/s**  
**Head: 2.27 m**  
**CBMH12**



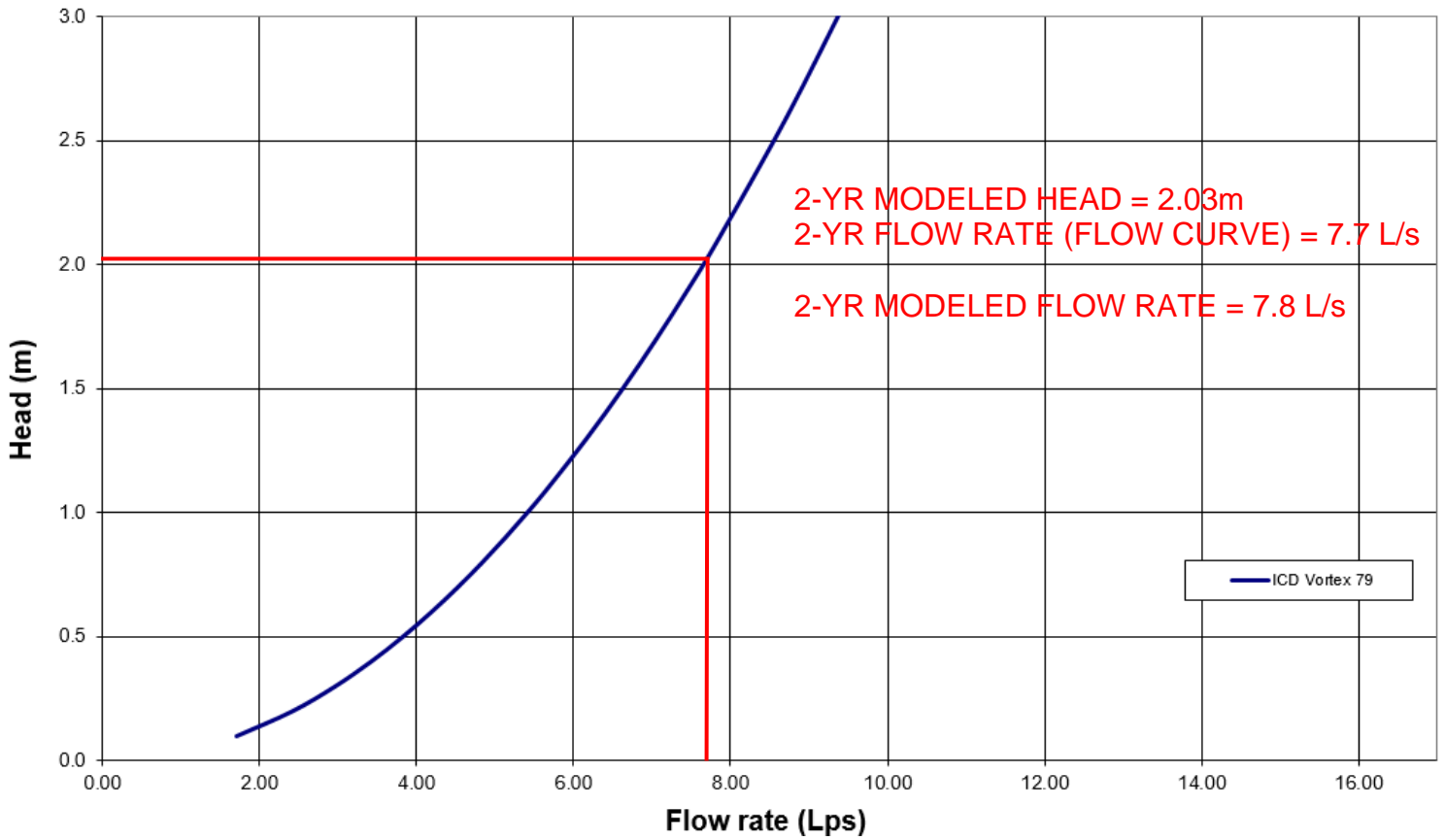
### Tempest LMF ICD Flow Curve

**Flow: 7.4 L/s**  
**Head: 2.26 m**  
**CBMH13**



### Tempest LMF ICD Flow Curve

**Flow: 8.4 L/s**  
**Head: 2.38 m**  
**CBMH14**



## **Square CB Installation Notes:**

1. Materials and tooling verification:
  - Tooling: impact drill, 3/8'' concrete bit, torque wrench for 9/16'' nut, hand hammer, level, and marker.
  - Material: (4) concrete anchor 3/8x3-1/2, (4) washers, (4) nuts
2. Use the mounting wall plate to locate and mark the hole (4) pattern on the catch basin wall. You should use a level to ensure that the plate is at the horizontal.
3. Use an impact drill with a 3/8'' concrete bit to make the four holes at a minimum of 1-1/2'' depth up to 2-1/2''. Clean the concrete dust from the holes.
4. Install the anchors (4) in the holes by using a hammer. Put the nuts on the top of the anchors to protect the threads when you will hit the anchors with the hammer. Remove the nuts on the ends of the anchors
5. Install the wall mounting plate on the anchors and screw the nut in place with a maximum torque of 40 N.m (30 lbf-ft). There should be no gap between the wall mounting plate and the catch basin wall.
6. From ground above using a reach bar, lower the device by hooking the end of the reach bar to the handle of the LMF device. Align the triangular plate portion into the mounting wall plate. Push down the device to be sure it has centered in to the wall mounting plate and has created a seal.



**Round CB Installation Notes:** (Refer to square install notes above for steps 1 , 3, & 4)

2. Use spigot catch basin wall plate to locate and mark the hole (4) pattern on the catch basin wall. You should use a level to ensure that the plate is at the horizontal.
5. Install the CB spigot wall plate on the anchors and screw the 4 nuts in place with a maximum torque of 40 N.m (30 lb-ft). There should be no gap between the CB spigot wall plate and the catch basin wall.
6. Apply solvent cement on the hub of the universal mounting plate and the spigot of the spigot CB wall plate. Slide the hub over the spigot. Make sure the universal mounting plate is at the horizontal and its hub is completely inserted onto the spigot. Normally, the corners of the universal mounting plate hub adapter should touch the catch basin wall.
7. From ground above using a reach bar, lower the ICD device by hooking the end of the reach bar to the handle of the ICD device. Align the triangular plate portion into the mounting wall plate. Push down the device to be sure it has centered into the mounting plate and has created a seal.



**CAUTION/WARNING/DISCLAIM:**

- Verify that the inlet(s) pipe(s) is not protruding into the catch basin. If it is, cut it back so that the inlet pipe is flush with the catch basin wall.
- Any required cement in the installation must be approved for PVC.
- The solvent cement should not be used below 0°C (32°F) or in a high humidity environment. Please refer to the IPEX solvent cement guide to confirm required curing times or attend the IPEX [Online Solvent Cement Training Course](#).
- Call your IPEX representative for more information or if you have any questions about our products.



## **IPEX TEMPEST Inlet Control Devices Technical Specification**

### **General**

Inlet control devices (ICD's) are designed to provide flow control at a specified rate for a given water head level and also provide odour and floatable control where specified. All ICD's will be IPEX Tempest or approved equal.

All devices shall be removable from a universal mounting plate. An operator from street level using only a T-bar with a hook will be able to retrieve the device while leaving the universal mounting plate secured to the catch basin wall face. The removal of the TEMPEST devices listed above must not require any unbolting or special manipulation or any special tools.

High Flow (HF) Sump devices will consist of a removable threaded cap which can be accessible from street level with out entry into the catchbasin (CB). The removal of the threaded cap shall not require any special tools other than the operator's hand.

ICD's must have no moving parts.

### **Materials**

ICD's are to be manufactured from Polyvinyl Chloride (PVC) or Polyurethane material, designed to be durable enough to withstand multiple freeze-thaw cycles and exposure to harsh elements.

The inner ring seal will be manufactured using a Buna or Nitrile material with hardness between Duro 50 and Duro 70.

The wall seal is to be comprised of a 3/8" thick Neoprene Closed Cell Sponge gasket which is attached to the back of the wall plate.

All hardware will be made from 304 stainless steel.

### **Dimensioning**

The Low Medium Flow (LMF), High Flow (HF) and the High Flow (HF) Sump shall allow for a minimum outlet pipe diameter of 200mm with a 600mm deep Catch Basin sump.

### **Installation**

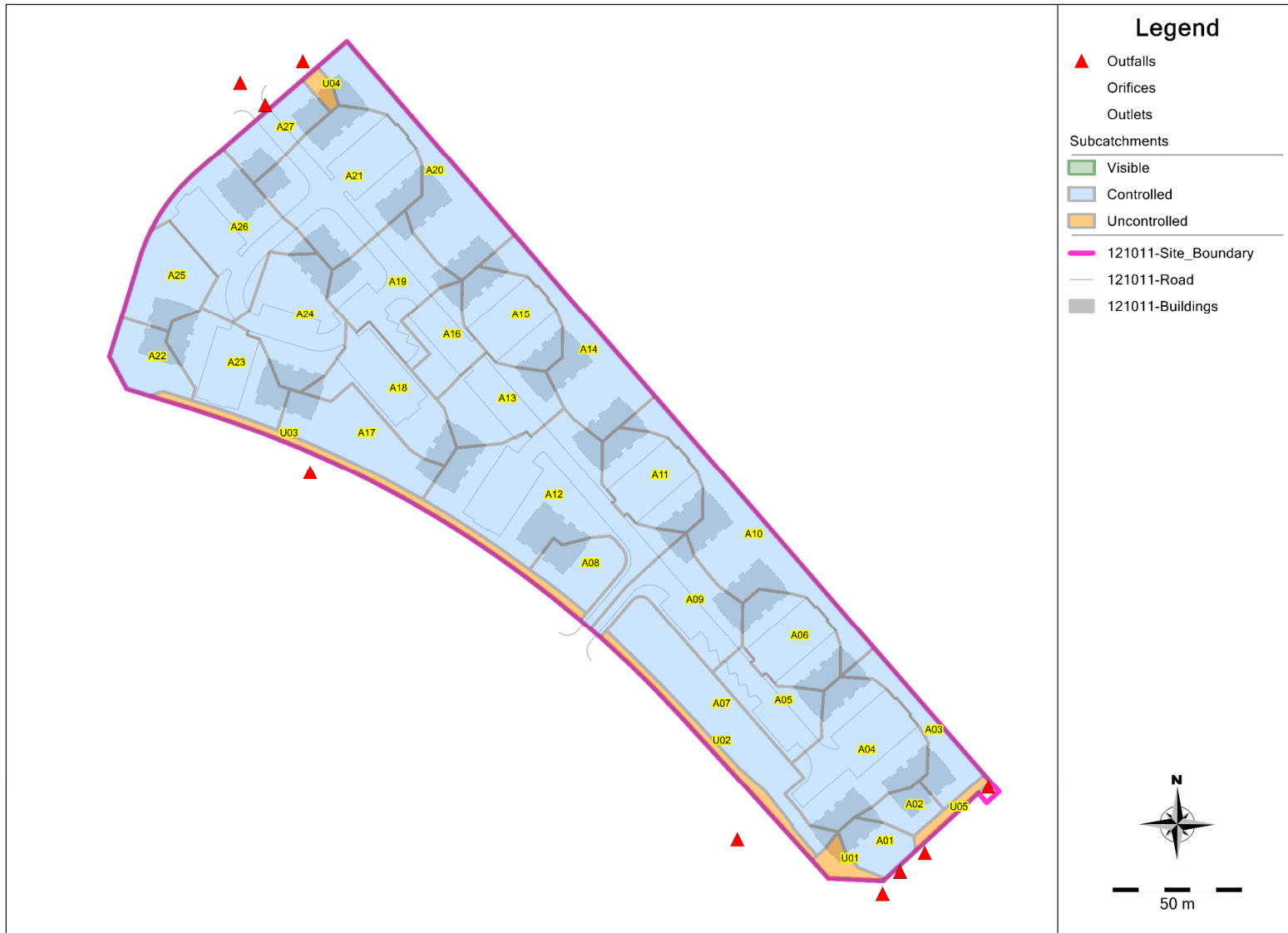
Contractor shall be responsible for securing, supporting and connecting the ICD's to the existing influent pipe and catchbasin/manhole structure as specified and designed by the Engineer.



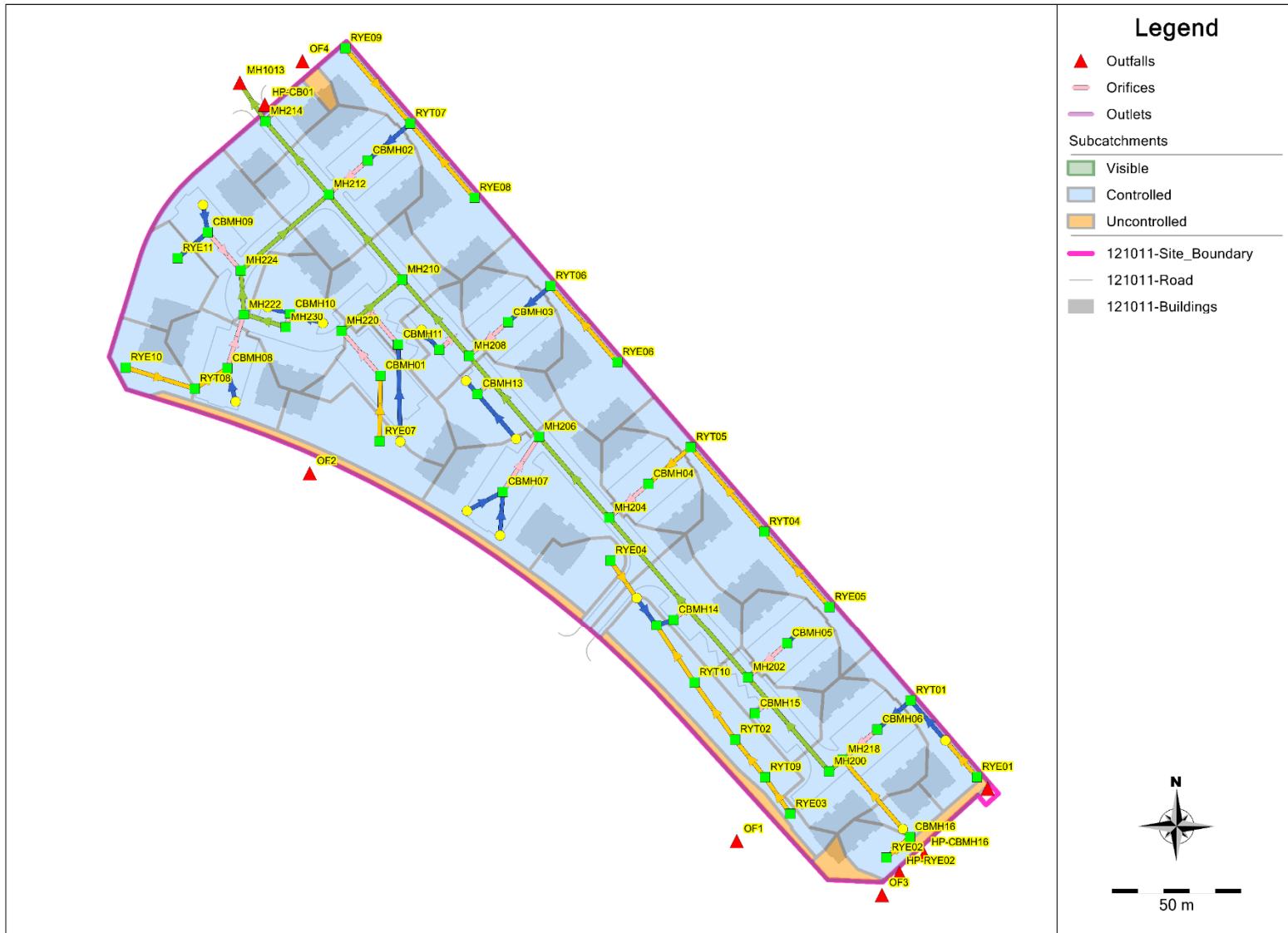
Overall Model Schematic



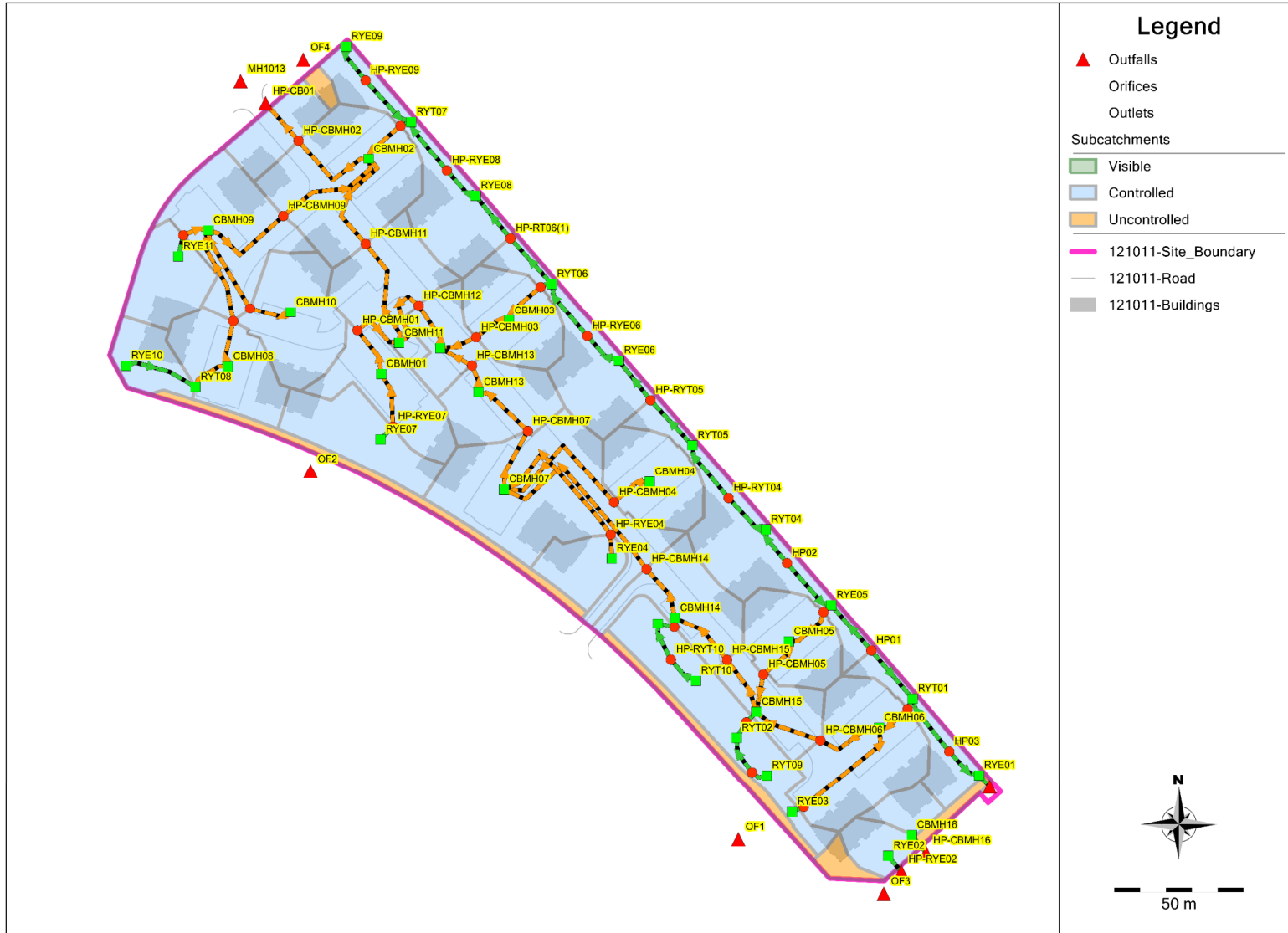
### Subcatchments



### Minor System (MH IDs)



Major System (CB IDs)



**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100yr, 3-hour Chicago Storm**



EPA STORM WATER MANAGEMENT MODEL - VERSION 5.1 (Build 5.1.015)

\*\*\*\*\*  
 Element Count  
 \*\*\*\*\*  
 Number of rain gages ..... 1  
 Number of subcatchments ... 32  
 Number of nodes ..... 110  
 Number of links ..... 143  
 Number of pollutants ..... 0  
 Number of land uses ..... 0

\*\*\*\*\*  
 Raingage Summary  
 \*\*\*\*\*

Name	Data Source	Data Type	Recording Interval
RG-1	C3hr-100YR	INTENSITY	10 min.

\*\*\*\*\*  
 Subcatchment Summary  
 \*\*\*\*\*

Name	Area	Width	%Imperv	%Slope	Rain Gage	Outlet
A01	0.04	20.00	45.70	1.5000	RG-1	RYE02
A02	0.04	26.67	74.30	1.5000	RG-1	CBMH16
A03	0.08	40.00	51.40	1.5000	RG-1	RYT01
A04	0.21	84.00	85.70	1.5000	RG-1	CBMH06
A05	0.09	36.00	82.90	1.5000	RG-1	CBMH15
A06	0.12	60.00	90.00	1.5000	RG-1	CBMH05
A07	0.18	51.43	45.70	1.5000	RG-1	RYT03
A08	0.07	35.00	41.40	1.5000	RG-1	RYE04
A09	0.13	65.00	87.10	1.5000	RG-1	CBMH14
A10	0.19	76.00	52.90	1.5000	RG-1	RYT05
A11	0.12	60.00	87.10	1.5000	RG-1	CBMH04
A12	0.32	80.00	80.00	1.5000	RG-1	CBMH07
A13	0.12	60.00	72.90	1.5000	RG-1	CBMH13
A14	0.15	60.00	54.30	1.5000	RG-1	RYT06
A15	0.12	60.00	87.10	1.5000	RG-1	CBMH03
A16	0.08	53.33	74.30	1.5000	RG-1	CBMH12
A17	0.12	34.29	24.30	1.5000	RG-1	RYE07
A18	0.13	43.33	81.40	1.5000	RG-1	CBMH01
A19	0.14	40.00	85.70	1.5000	RG-1	CBMH11
A20	0.17	68.00	52.90	1.5000	RG-1	RYT07
A21	0.25	100.00	85.70	1.5000	RG-1	CBMH02
A22	0.06	40.00	35.70	1.5000	RG-1	RYE10
A23	0.13	65.00	85.70	1.5000	RG-1	CBMH08
A24	0.15	75.00	70.00	1.5000	RG-1	CBMH10
A25	0.09	45.00	27.10	1.5000	RG-1	RYE11
A26	0.18	72.00	77.10	1.5000	RG-1	CBMH09
A27	0.07	35.00	71.40	1.5000	RG-1	CB01
U01	0.02	40.00	30.00	1.5000	RG-1	OF3
U02	0.04	80.00	5.00	33.3300	RG-1	OF1
U03	0.06	120.00	5.00	33.3300	RG-1	OF2
U04	0.01	6.67	84.30	1.5000	RG-1	OF4
U05	0.02	40.00	8.60	1.5000	RG-1	OF3

\*\*\*\*\*  
 Node Summary  
 \*\*\*\*\*

Name	Type	Invert Elev.	Max. Depth	Ponded Area	External Inflow
CB01	JUNCTION	96.88	1.00	0.0	
CBMH05-Dummy	JUNCTION	95.24	3.14	0.0	
CBMH07-Dummy (1)	JUNCTION	94.94	3.32	0.0	
CBMH07-Dummy (2)	JUNCTION	94.94	3.63	0.0	
CBMH08-Dummy	JUNCTION	94.97	3.40	0.0	
CBMH08-Dummy (1)	JUNCTION	95.03	2.98	0.0	
CBMH08-Dummy (2)	JUNCTION	95.04	3.27	0.0	
CBMH09-Dummy	JUNCTION	94.85	3.15	0.0	
CBMH11-Dummy	JUNCTION	95.25	2.92	0.0	
CBMH12-Dummy	JUNCTION	94.82	3.16	0.0	
CBMH13-Dummy (1)	JUNCTION	94.83	3.12	0.0	
CBMH13-Dummy (2)	JUNCTION	94.84	3.37	0.0	
CBMH16-Dummy	JUNCTION	95.50	1.95	0.0	

HP01	JUNCTION	97.70	1.00	0.0
HP02	JUNCTION	97.70	1.00	0.0
HP03	JUNCTION	97.70	1.00	0.0
HP-CBMH01	JUNCTION	97.15	1.00	0.0
HP-CBMH02	JUNCTION	97.00	1.00	0.0
HP-CBMH03	JUNCTION	97.15	1.00	0.0
HP-CBMH04	JUNCTION	97.45	1.00	0.0
HP-CBMH05	JUNCTION	97.60	1.00	0.0
HP-CBMH06	JUNCTION	97.65	1.00	0.0
HP-CBMH07	JUNCTION	97.25	1.00	0.0
HP-CBMH08	JUNCTION	97.15	1.00	0.0
HP-CBMH09	JUNCTION	97.10	1.00	0.0
HP-CBMH10	JUNCTION	97.15	1.00	0.0
HP-CBMH11	JUNCTION	97.10	1.00	0.0
HP-CBMH12	JUNCTION	97.13	1.00	0.0
HP-CBMH13	JUNCTION	96.96	1.00	0.0
HP-CBMH14	JUNCTION	97.55	1.00	0.0
HP-CBMH15	JUNCTION	97.60	1.00	0.0
HP-RT06 (1)	JUNCTION	97.20	1.00	0.0
HP-RT06 (2)	JUNCTION	97.20	1.00	0.0
HP-RYE03	JUNCTION	97.85	1.00	0.0
HP-RYE04	JUNCTION	97.60	1.00	0.0
HP-RYE05	JUNCTION	97.60	1.00	0.0
HP-RYE06	JUNCTION	97.30	1.00	0.0
HP-RYE07	JUNCTION	97.20	1.00	0.0
HP-RYE08	JUNCTION	97.07	1.00	0.0
HP-RYE09	JUNCTION	97.10	1.00	0.0
HP-RYE11	JUNCTION	97.10	1.00	0.0
HP-RYT01	JUNCTION	97.65	1.00	0.0
HP-RYT02	JUNCTION	97.53	1.00	0.0
HP-RYT03	JUNCTION	97.40	1.00	0.0
HP-RYT04	JUNCTION	97.45	1.00	0.0
HP-RYT05	JUNCTION	97.40	1.00	0.0
HP-RYT07	JUNCTION	97.05	1.03	0.0
HP-RYT09	JUNCTION	97.60	1.00	0.0
HP-RYT10	JUNCTION	97.57	1.00	0.0
RYT01-Dummy	JUNCTION	95.38	3.26	0.0
RYT03-Dummy	JUNCTION	95.30	2.40	0.0
HP-CB01	OUTFALL	96.85	1.00	0.0
HP-CBMH16	OUTFALL	97.50	1.00	0.0
HP-RYE01	OUTFALL	97.60	1.00	0.0
HP-RYE02	OUTFALL	97.35	1.00	0.0
MH1013	OUTFALL	94.08	0.82	0.0
OF1	OUTFALL	97.40	0.00	0.0
OF2	OUTFALL	98.20	0.00	0.0
OF3	OUTFALL	97.40	0.00	0.0
OF4	OUTFALL	96.88	0.00	0.0
CBMH01	STORAGE	94.86	2.99	0.0
CBMH02	STORAGE	94.64	3.06	0.0
CBMH03	STORAGE	94.83	3.02	0.0
CBMH04	STORAGE	94.98	3.17	0.0
CBMH05	STORAGE	95.23	3.07	0.0
CBMH06	STORAGE	95.34	3.01	0.0
CBMH07	STORAGE	94.92	3.03	0.0
CBMH08	STORAGE	94.95	2.90	0.0
CBMH09	STORAGE	94.83	2.97	0.0
CBMH10	STORAGE	95.02	2.83	0.0
CBMH11	STORAGE	95.21	2.59	0.0
CBMH12	STORAGE	94.81	3.02	0.0
CBMH13	STORAGE	94.82	3.01	0.0
CBMH14	STORAGE	95.18	3.07	0.0
CBMH15	STORAGE	95.60	2.70	0.0
CBMH16	STORAGE	95.50	2.95	0.0
MH200	STORAGE	95.12	2.48	0.0
MH202	STORAGE	94.93	2.64	0.0
MH204	STORAGE	94.69	2.73	0.0
MH206	STORAGE	94.53	2.73	0.0
MH208	STORAGE	94.39	2.64	0.0
MH210	STORAGE	94.26	2.83	0.0
MH212	STORAGE	94.14	2.80	0.0
MH214	STORAGE	94.10	2.81	0.0
MH218	STORAGE	95.20	2.34	0.0
MH220	STORAGE	94.71	2.45	0.0
MH222	STORAGE	94.73	2.39	0.0
MH224	STORAGE	94.61	2.36	0.0
MH230	STORAGE	94.93	2.10	0.0
RYE01	STORAGE	95.48	2.97	0.0
RYE02	STORAGE	95.62	2.58	0.0
RYE03	STORAGE	95.78	2.92	0.0
RYE04	STORAGE	95.37	2.93	0.0
RYE05	STORAGE	95.62	2.73	0.0
RYE06	STORAGE	95.45	2.60	0.0







**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100yr, 3-hour Chicago Storm**



Dry Time Step ..... 00:05:00  
 Routing Time Step ..... 5.00 sec  
 Variable Time Step ..... YES  
 Maximum Trials ..... 8  
 Number of Threads ..... 4  
 Head Tolerance ..... 0.001524 m

\*\*\*\*\*  
 Runoff Quantity Continuity  
 \*\*\*\*\*  
 Volume                    Depth  
 hectare-m                mm  
 -----  
 Total Precipitation ..... 0.265        71.667  
 Evaporation Loss ..... 0.000        0.000  
 Infiltration Loss ..... 0.054        14.480  
 Surface Runoff ..... 0.212        57.321  
 Final Storage ..... 0.002        0.662  
 Continuity Error (%) ..... -1.111

\*\*\*\*\*  
 Flow Routing Continuity  
 \*\*\*\*\*  
 Volume                    Volume  
 hectare-m                10^6 ltr  
 -----  
 Dry Weather Inflow ..... 0.000        0.000  
 Wet Weather Inflow ..... 0.212        2.119  
 Groundwater Inflow ..... 0.000        0.000  
 RDII Inflow ..... 0.000        0.000  
 External Inflow ..... 0.001        0.007  
 External Outflow ..... 0.214        2.136  
 Flooding Loss ..... 0.000        0.000  
 Evaporation Loss ..... 0.000        0.000  
 Exfiltration Loss ..... 0.000        0.000  
 Initial Stored Volume ..... 0.012        0.120  
 Final Stored Volume ..... 0.012        0.125  
 Continuity Error (%) ..... -0.644

\*\*\*\*\*  
 Highest Continuity Errors  
 \*\*\*\*\*  
 Node RYT03-Dummy (-8.18%)  
 Node RYT01-Dummy (-1.26%)

\*\*\*\*\*  
 Time-Step Critical Elements  
 \*\*\*\*\*  
 Link MH208-MH210 (6.88%)  
 Link MS-CBMH13(1) (3.94%)  
 Link RYT03-CBMH14 (2.95%)  
 Link MH218-MH200 (2.75%)  
 Link MS-CBMH13(2) (1.83%)

\*\*\*\*\*  
 Highest Flow Instability Indexes  
 \*\*\*\*\*  
 Link O-CBMH10 (94)  
 Link O-CBMH01 (75)  
 Link O-CBMH09 (40)  
 Link Dummy-CBMH13(1) (26)  
 Link O-CBMH03 (22)

\*\*\*\*\*  
 Routing Time Step Summary  
 \*\*\*\*\*  
 Minimum Time Step : 0.01 sec  
 Average Time Step : 4.48 sec  
 Maximum Time Step : 5.00 sec  
 Percent in Steady State : 0.00  
 Average Iterations per Step : 2.22  
 Percent Not Converging : 0.11  
 Time Step Frequencies :  
 5.000 - 3.155 sec : 84.71 %  
 3.155 - 1.991 sec : 7.90 %  
 1.991 - 1.256 sec : 7.10 %  
 1.256 - 0.792 sec : 0.23 %  
 0.792 - 0.500 sec : 0.06 %

\*\*\*\*\*  
 Subcatchment Runoff Summary

\*\*\*\*\*

Subcatchment	Total Runoff 10^6 ltr	Peak Runoff LPS	Runoff Coeff	Total Precip mm	Total Runon mm	Total Evap mm	Total Infil mm	Imperv Runoff mm	Perv Runoff mm	Total Runoff mm
A01	0.02	15.94	0.668	71.67	0.00	0.00	24.34	32.59	15.30	47.89
A02	0.02	18.91	0.848	71.67	0.00	0.00	11.32	53.01	7.78	60.78
A03	0.04	33.23	0.704	71.67	0.00	0.00	21.73	36.66	13.80	50.47
A04	0.14	101.54	0.905	71.67	0.00	0.00	6.30	60.54	4.35	64.89
A05	0.06	43.18	0.890	71.67	0.00	0.00	7.54	58.62	5.14	63.76
A06	0.08	58.62	0.931	71.67	0.00	0.00	4.38	63.60	3.15	66.76
A07	0.08	64.29	0.653	71.67	0.00	0.00	24.79	32.17	14.59	46.77
A08	0.03	26.95	0.641	71.67	0.00	0.00	26.32	29.52	16.41	45.93
A09	0.09	63.16	0.915	71.67	0.00	0.00	5.66	61.54	4.01	65.55
A10	0.10	77.24	0.712	71.67	0.00	0.00	21.16	37.84	13.19	51.03
A11	0.08	58.30	0.918	71.67	0.00	0.00	5.66	61.82	4.01	65.82
A12	0.20	149.48	0.875	71.67	0.00	0.00	8.90	56.93	5.76	62.69
A13	0.07	55.96	0.833	71.67	0.00	0.00	11.99	51.71	8.01	59.72
A14	0.08	61.65	0.721	71.67	0.00	0.00	20.51	38.84	12.83	51.67
A15	0.08	58.30	0.919	71.67	0.00	0.00	5.66	61.88	4.01	65.89
A16	0.05	37.83	0.839	71.67	0.00	0.00	11.32	52.37	7.78	60.14
A17	0.04	32.19	0.517	71.67	0.00	0.00	35.10	17.38	19.66	37.04
A18	0.08	61.78	0.880	71.67	0.00	0.00	8.23	57.60	5.49	63.09
A19	0.09	67.35	0.905	71.67	0.00	0.00	6.32	60.63	4.25	64.89
A20	0.09	69.11	0.712	71.67	0.00	0.00	21.16	37.84	13.19	51.03
A21	0.16	120.88	0.908	71.67	0.00	0.00	6.30	60.74	4.35	65.09
A22	0.03	23.40	0.611	71.67	0.00	0.00	28.74	25.50	18.27	43.77
A23	0.08	62.98	0.912	71.67	0.00	0.00	6.28	60.95	4.41	65.37
A24	0.09	69.13	0.814	71.67	0.00	0.00	13.29	49.53	8.81	58.35
A25	0.04	30.29	0.550	71.67	0.00	0.00	32.96	19.38	20.06	39.44
A26	0.11	84.61	0.854	71.67	0.00	0.00	10.14	54.44	6.75	61.19
A27	0.04	32.45	0.827	71.67	0.00	0.00	12.66	50.86	8.43	59.29
U01	0.01	8.71	0.597	71.67	0.00	0.00	30.81	21.46	21.32	42.78
U02	0.01	17.07	0.480	71.67	0.00	0.00	41.52	3.53	30.86	34.39
U03	0.02	25.61	0.480	71.67	0.00	0.00	41.52	3.53	30.86	34.39
U04	0.01	4.84	0.910	71.67	0.00	0.00	6.89	60.29	4.90	65.20
U05	0.01	8.12	0.466	71.67	0.00	0.00	40.34	6.06	27.34	33.40

\*\*\*\*\*  
 Node Depth Summary  
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**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100yr, 3-hour Chicago Storm**

Dummy-CBMH07 (2)	1.26	1.26	1.27	0.01	0.01
Dummy-CBMH08	2.55	2.55	2.56	0.01	0.01
Dummy-CBMH08 (1)	0.85	0.85	0.86	0.01	0.01
Dummy-CBMH08 (2)	0.85	0.85	0.86	0.01	0.01
Dummy-CBMH09	2.02	2.02	2.04	0.01	0.01
Dummy-CBMH11	1.10	1.10	1.12	0.01	0.01
Dummy-CBMH12	2.47	2.47	2.48	0.01	0.01
Dummy-CBMH13 (1)	2.73	2.73	2.74	0.01	0.01
Dummy-CBMH13 (2)	2.72	2.72	2.74	0.01	0.01
MH204-MH206	0.01	0.01	0.82	0.01	0.01
MH206-MH208	0.79	0.79	2.02	0.01	0.01
MH208-MH210	1.69	1.69	24.00	0.01	0.01
MH210-MH212	24.00	24.00	24.00	0.01	0.01
MH212-MH214	24.00	24.00	24.00	0.01	0.01
MH214-MH1013	24.00	24.00	24.00	0.01	0.93
MH220-MH210	1.22	1.22	24.00	0.01	0.01
MH222-MH224	0.81	0.81	2.34	0.01	0.01
MH224-MH212	2.02	2.02	24.00	0.01	0.01
MH230-MH222	0.01	0.01	0.87	0.01	0.01
RYE01-RYT01-Dummy	1.23	1.23	1.37	0.01	0.01
RYE02-CBMH16	0.31	0.31	0.34	0.01	0.01
RYE03-RYT09	5.67	5.67	5.83	0.01	0.01
RYE04-RYT03 (1)	6.48	6.48	6.69	0.01	0.01
RYE04-RYT03 (2)	5.85	5.85	5.88	0.01	0.01
RYE05-RYT04	2.86	2.86	3.02	0.01	0.01
RYE06-RYT06	2.19	2.19	2.34	0.01	0.01
RYE07-CBMH01	1.72	1.72	1.93	0.01	0.01
RYE08-RYT07	2.04	2.04	2.23	0.01	0.01
RYE09-RYT02	5.83	5.83	5.95	0.01	0.01
RYE09-RYT07	2.04	2.04	2.23	0.01	0.01
RYE10-RYT08	2.30	2.30	2.38	0.01	0.01
RYE11-CBMH09	2.02	2.02	2.04	0.01	0.01
RYT01-CBMH06	1.07	1.07	1.08	0.01	0.01
RYT01-Dummy-RYT01	1.06	1.06	1.07	0.01	0.01
RYT02-RYT03	6.24	6.24	6.60	0.03	0.01
RYT03-CBMH14	5.99	5.99	6.01	0.01	0.01
RYT04-RYT05	3.02	3.02	3.27	0.01	0.01
RYT05-CBMH04	3.35	3.35	3.51	0.01	0.01
RYT06-CBMH03	2.37	2.37	2.39	0.01	0.01
RYT07-CBMH02	2.10	2.10	2.13	0.01	0.01
RYT08-CBMH08	2.68	2.68	2.90	0.01	0.01
RYT10-RYT02	5.95	5.95	6.24	0.01	0.01

Analysis begun on: Tue Feb 15 13:11:03 2022  
 Analysis ended on: Tue Feb 15 13:11:05 2022  
 Total elapsed time: 00:00:02

**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100-year, 24hr SCS - JFSA**

EPA STORM WATER MANAGEMENT MODEL - VERSION 5.1 (Build 5.1.015)

WARNING 03: negative offset ignored for Link RYE11-CBMH09  
 WARNING 03: negative offset ignored for Link RYT06-CBMH03  
 WARNING 03: negative offset ignored for Link RYT07-CBMH02

\*\*\*\*\*  
 Element Count  
 \*\*\*\*\*

Number of rain gages ..... 1  
 Number of subcatchments ... 32  
 Number of nodes ..... 110  
 Number of links ..... 143  
 Number of pollutants ..... 0  
 Number of land uses ..... 0

\*\*\*\*\*  
 Raingage Summary  
 \*\*\*\*\*

Name	Data Source	Data Type	Recording Interval
RG-1	S24hr-100yr-JFSA	INTENSITY	12 min.

\*\*\*\*\*  
 Subcatchment Summary  
 \*\*\*\*\*

Name	Area	Width	%Imperv	%Slope	Rain Gage	Outlet
A01	0.04	20.00	45.70	1.5000	RG-1	RYE02
A02	0.04	26.67	74.30	1.5000	RG-1	CBMH16
A03	0.08	40.00	51.40	1.5000	RG-1	RYT01
A04	0.21	84.00	85.70	1.5000	RG-1	CBMH06
A05	0.09	36.00	82.90	1.5000	RG-1	CBMH15
A06	0.12	60.00	90.00	1.5000	RG-1	CBMH05
A07	0.18	51.43	45.70	1.5000	RG-1	RYT03
A08	0.07	35.00	41.40	1.5000	RG-1	RYE04
A09	0.13	65.00	87.10	1.5000	RG-1	CBMH14
A10	0.19	76.00	52.90	1.5000	RG-1	RYT05
A11	0.12	60.00	87.10	1.5000	RG-1	CBMH04
A12	0.32	80.00	80.00	1.5000	RG-1	CBMH07
A13	0.12	60.00	72.90	1.5000	RG-1	CBMH13
A14	0.15	60.00	54.30	1.5000	RG-1	RYT06
A15	0.12	60.00	87.10	1.5000	RG-1	CBMH03
A16	0.08	53.33	74.30	1.5000	RG-1	CBMH12
A17	0.12	34.29	24.30	1.5000	RG-1	RYE07
A18	0.13	43.33	81.40	1.5000	RG-1	CBMH01
A19	0.14	40.00	85.70	1.5000	RG-1	CBMH11
A20	0.17	68.00	52.90	1.5000	RG-1	RYT07
A21	0.25	100.00	85.70	1.5000	RG-1	CBMH02
A22	0.06	40.00	35.70	1.5000	RG-1	RYE10
A23	0.13	65.00	85.70	1.5000	RG-1	CBMH08
A24	0.15	75.00	70.00	1.5000	RG-1	CBMH10
A25	0.09	45.00	27.10	1.5000	RG-1	RYE11
A26	0.18	72.00	77.10	1.5000	RG-1	CBMH09
A27	0.07	35.00	71.40	1.5000	RG-1	CB01
U01	0.02	40.00	30.00	1.5000	RG-1	OF3
U02	0.04	80.00	5.00	33.3300	RG-1	OF1
U03	0.06	120.00	5.00	33.3300	RG-1	OF2
U04	0.01	6.67	84.30	1.5000	RG-1	OF4
U05	0.02	40.00	8.60	1.5000	RG-1	OF3

\*\*\*\*\*  
 Node Summary  
 \*\*\*\*\*

Name	Type	Invert Elev.	Max. Depth	Ponded Area	External Inflow
CB01	JUNCTION	96.88	1.00	0.0	
CBMH05-Dummy	JUNCTION	95.24	3.14	0.0	
CBMH07-Dummy (1)	JUNCTION	94.94	3.32	0.0	
CBMH07-Dummy (2)	JUNCTION	94.94	3.63	0.0	
CBMH08-Dummy	JUNCTION	94.97	3.40	0.0	
CBMH08-Dummy (1)	JUNCTION	95.03	2.98	0.0	
CBMH08-Dummy (2)	JUNCTION	95.04	3.27	0.0	
CBMH09-Dummy	JUNCTION	94.85	3.15	0.0	

CBMH11-Dummy	JUNCTION	95.25	2.92	0.0
CBMH12-Dummy	JUNCTION	94.82	3.16	0.0
CBMH13-Dummy (1)	JUNCTION	94.83	3.12	0.0
CBMH13-Dummy (2)	JUNCTION	94.84	3.37	0.0
CBMH16-Dummy	JUNCTION	95.50	1.95	0.0
HP01	JUNCTION	97.70	1.00	0.0
HP02	JUNCTION	97.70	1.00	0.0
HP03	JUNCTION	97.70	1.00	0.0
HP-CBMH01	JUNCTION	97.15	1.00	0.0
HP-CBMH02	JUNCTION	97.00	1.00	0.0
HP-CBMH03	JUNCTION	97.15	1.00	0.0
HP-CBMH04	JUNCTION	97.45	1.00	0.0
HP-CBMH05	JUNCTION	97.60	1.00	0.0
HP-CBMH06	JUNCTION	97.65	1.00	0.0
HP-CBMH07	JUNCTION	97.25	1.00	0.0
HP-CBMH08	JUNCTION	97.15	1.00	0.0
HP-CBMH09	JUNCTION	97.10	1.00	0.0
HP-CBMH10	JUNCTION	97.15	1.00	0.0
HP-CBMH11	JUNCTION	97.10	1.00	0.0
HP-CBMH12	JUNCTION	97.13	1.00	0.0
HP-CBMH13	JUNCTION	96.96	1.00	0.0
HP-CBMH14	JUNCTION	97.55	1.00	0.0
HP-CBMH15	JUNCTION	97.60	1.00	0.0
HP-RT06 (1)	JUNCTION	97.20	1.00	0.0
HP-RT06 (2)	JUNCTION	97.20	1.00	0.0
HP-RYE03	JUNCTION	97.85	1.00	0.0
HP-RYE04	JUNCTION	97.60	1.00	0.0
HP-RYE05	JUNCTION	97.60	1.00	0.0
HP-RYE06	JUNCTION	97.30	1.00	0.0
HP-RYE07	JUNCTION	97.20	1.00	0.0
HP-RYE08	JUNCTION	97.07	1.00	0.0
HP-RYE09	JUNCTION	97.10	1.00	0.0
HP-RYE11	JUNCTION	97.10	1.00	0.0
HP-RYT01	JUNCTION	97.65	1.00	0.0
HP-RYT02	JUNCTION	97.53	1.00	0.0
HP-RYT03	JUNCTION	97.40	1.00	0.0
HP-RYT04	JUNCTION	97.45	1.00	0.0
HP-RYT05	JUNCTION	97.40	1.00	0.0
HP-RYT07	JUNCTION	97.05	1.03	0.0
HP-RYT09	JUNCTION	97.60	1.00	0.0
HP-RYT10	JUNCTION	97.57	1.00	0.0
RYT01-Dummy	JUNCTION	95.38	3.26	0.0
RYT03-Dummy	JUNCTION	95.30	2.40	0.0
HP-CB01	OUTFALL	96.85	1.00	0.0
HP-CBMH16	OUTFALL	97.50	1.00	0.0
HP-RYE01	OUTFALL	97.60	1.00	0.0
HP-RYE02	OUTFALL	97.35	1.00	0.0
MH1013	OUTFALL	94.08	0.82	0.0
OF1	OUTFALL	97.40	0.00	0.0
OF2	OUTFALL	98.20	0.00	0.0
OF3	OUTFALL	97.40	0.00	0.0
OF4	OUTFALL	96.88	0.00	0.0
CBMH01	STORAGE	94.86	2.99	0.0
CBMH02	STORAGE	94.64	3.06	0.0
CBMH03	STORAGE	94.83	3.02	0.0
CBMH04	STORAGE	94.98	3.17	0.0
CBMH05	STORAGE	95.23	3.07	0.0
CBMH06	STORAGE	95.34	3.01	0.0
CBMH07	STORAGE	94.92	3.03	0.0
CBMH08	STORAGE	94.95	2.90	0.0
CBMH09	STORAGE	94.83	2.97	0.0
CBMH10	STORAGE	95.02	2.83	0.0
CBMH11	STORAGE	95.21	2.59	0.0
CBMH12	STORAGE	94.81	3.02	0.0
CBMH13	STORAGE	94.82	3.01	0.0
CBMH14	STORAGE	95.16	3.07	0.0
CBMH15	STORAGE	95.60	2.70	0.0
CBMH16	STORAGE	95.50	2.95	0.0
MH200	STORAGE	95.12	2.48	0.0
MH202	STORAGE	94.93	2.64	0.0
MH204	STORAGE	94.69	2.73	0.0
MH206	STORAGE	94.53	2.73	0.0
MH208	STORAGE	94.39	2.64	0.0
MH210	STORAGE	94.26	2.83	0.0
MH212	STORAGE	94.14	2.80	0.0
MH214	STORAGE	94.10	2.81	0.0
MH218	STORAGE	95.20	2.34	0.0
MH220	STORAGE	94.71	2.45	0.0
MH222	STORAGE	94.73	2.39	0.0
MH224	STORAGE	94.61	2.36	0.0
MH230	STORAGE	94.93	2.10	0.0
RYE01	STORAGE	95.48	2.97	0.0







**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100-year, 24hr SCS - JFSA**



Starting Date ..... 05/19/2021 00:00:00  
 Ending Date ..... 05/20/2021 00:00:00  
 Antecedent Dry Days ..... 0.0  
 Report Time Step ..... 00:01:00  
 Wet Time Step ..... 00:05:00  
 Dry Time Step ..... 00:05:00  
 Routing Time Step ..... 5.00 sec  
 Variable Time Step ..... YES  
 Maximum Trials ..... 8  
 Number of Threads ..... 4  
 Head Tolerance ..... 0.001524 m

	Volume hectare-m	Depth mm
Runoff Quantity Continuity		
Total Precipitation	0.382	103.232
Evaporation Loss	0.000	0.000
Infiltration Loss	0.092	24.762
Surface Runoff	0.289	78.014
Final Storage	0.003	0.808
Continuity Error (%)	-0.341	

	Volume hectare-m	Volume 10^6 ltr
Flow Routing Continuity		
Dry Weather Inflow	0.000	0.000
Wet Weather Inflow	0.289	2.886
Groundwater Inflow	0.000	0.000
RDI Inflow	0.000	0.000
External Inflow	0.000	0.004
External Outflow	0.289	2.891
Flooding Loss	0.000	0.000
Evaporation Loss	0.000	0.000
Exfiltration Loss	0.000	0.000
Initial Stored Volume	0.012	0.120
Final Stored Volume	0.013	0.126
Continuity Error (%)	-0.210	

Highest Continuity Errors  
 Node RYT01-Dummy (-1.07%)

Time-Step Critical Elements  
 Link MH208-MH210 (12.53%)  
 Link RYT03-CBMH14 (5.28%)  
 Link MH218-MH200 (4.14%)  
 Link MS-CBMH13(1) (2.37%)  
 Link MS-CBMH13(2) (1.74%)

Highest Flow Instability Indexes  
 Link Dummy-CBMH13(1) (26)  
 Link MS-RYT03(1) (14)  
 Link MS-RYT03(2) (14)  
 Link RYE04-RYT03(2) (9)  
 Link RYT03-CBMH14 (9)

Routing Time Step Summary  
 Minimum Time Step : 0.50 sec  
 Average Time Step : 4.58 sec  
 Maximum Time Step : 5.00 sec  
 Percent in Steady State : -0.00  
 Average Iterations per Step : 2.29  
 Percent Not Converging : 0.04  
 Time Step Frequencies :  
 5.000 - 3.155 sec : 89.41 %  
 3.155 - 1.991 sec : 7.87 %  
 1.991 - 1.256 sec : 2.34 %  
 1.256 - 0.792 sec : 0.29 %  
 0.792 - 0.500 sec : 0.10 %

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 Subcatchment Runoff Summary  
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Runoff Subcatchment	Peak Runoff	Runoff Coeff	Total Precip	Total Runon	Total Evap	Total Infil	Imperv Runoff	Perv Runoff	Total Runoff
10^6 ltr	LPS		mm	mm	mm	mm	mm	mm	mm
A01			103.23	0.00	0.00	41.58	46.97	14.72	61.68
0.02	12.72	0.598							
A02			103.23	0.00	0.00	19.46	76.37	7.24	83.61
0.03	13.64	0.810							
A03			103.23	0.00	0.00	37.15	52.83	13.25	66.08
0.05	25.90	0.640							
A04			103.23	0.00	0.00	10.82	87.41	4.03	91.44
0.19	72.54	0.886							
A05			103.23	0.00	0.00	12.95	84.61	4.80	89.42
0.08	30.98	0.866							
A06			103.23	0.00	0.00	7.55	91.85	2.84	94.69
0.11	41.66	0.917							
A07			103.23	0.00	0.00	42.10	46.53	14.12	60.65
0.11	53.67	0.587							
A08			103.23	0.00	0.00	44.93	42.54	15.81	58.35
0.04	21.92	0.565							
A09			103.23	0.00	0.00	9.75	88.89	3.66	92.54
0.12	44.99	0.896							
A10			103.23	0.00	0.00	36.12	54.47	12.70	67.17
0.13	60.88	0.651							
A11			103.23	0.00	0.00	9.75	89.16	3.66	92.82
0.11	41.53	0.899							
A12			103.23	0.00	0.00	15.24	81.92	5.51	87.43
0.28	109.13	0.847							
A13			103.23	0.00	0.00	20.57	74.61	7.57	82.18
0.10	40.76	0.796							
A14			103.23	0.00	0.00	35.03	55.91	12.35	68.26
0.10	48.30	0.661							
A15			103.23	0.00	0.00	9.75	89.23	3.66	92.88
0.11	41.53	0.900							
A16			103.23	0.00	0.00	19.46	75.73	7.24	82.97
0.07	27.28	0.804							
A17			103.23	0.00	0.00	59.29	25.03	19.04	44.07
0.05	30.56	0.427							
A18			103.23	0.00	0.00	14.12	83.09	5.19	88.28
0.11	44.61	0.855							
A19			103.23	0.00	0.00	10.85	87.42	4.00	91.42
0.13	48.31	0.886							
A20			103.23	0.00	0.00	36.12	54.47	12.70	67.17
0.11	54.47	0.651							
A21			103.23	0.00	0.00	10.82	87.61	4.03	91.64
0.23	86.36	0.888							
A22			103.23	0.00	0.00	49.15	36.73	17.54	54.28
0.03	18.91	0.526							
A23			103.23	0.00	0.00	10.81	87.86	4.05	91.91
0.12	44.92	0.890							
A24			103.23	0.00	0.00	22.79	71.53	8.35	79.88
0.12	50.71	0.774							
A25			103.23	0.00	0.00	56.15	27.91	19.38	47.29
0.04	26.50	0.458							
A26			103.23	0.00	0.00	17.39	78.63	6.38	85.01
0.15	61.43	0.824							
A27			103.23	0.00	0.00	21.72	73.30	7.97	81.27
0.06	23.72	0.787							
U01			103.23	0.00	0.00	52.96	30.92	19.75	50.67
0.01	6.49	0.491							
U02			103.23	0.00	0.00	71.60	5.10	27.01	32.11
0.01	12.63	0.311							
U03			103.23	0.00	0.00	71.60	5.10	27.01	32.11
0.02	18.95	0.311							
U04			103.23	0.00	0.00	11.86	86.79	4.45	91.25
0.01	3.45	0.884							
U05			103.23	0.00	0.00	69.28	8.74	25.64	34.38
0.01	6.30	0.333							









**Fernbank Zens – 5331 Fernbank Road (121011)**  
**PCSWMM Model Output**  
**100-year, 24hr SCS - JFSA**

Conduit	Both Ends	Upstream	Dnstream	Normal Flow	Limited
Dummy-CBMH05	0.68	0.68	0.68	0.01	0.01
Dummy-CBMH07 (1)	0.98	0.98	0.98	0.01	0.01
Dummy-CBMH07 (2)	0.98	0.98	0.98	0.01	0.01
Dummy-CBMH08	2.44	2.44	2.45	0.01	0.01
Dummy-CBMH08 (1)	0.67	0.67	0.67	0.01	0.01
Dummy-CBMH08 (2)	0.67	0.67	0.67	0.01	0.01
Dummy-CBMH09	1.60	1.60	1.61	0.01	0.01
Dummy-CBMH11	0.89	0.89	0.91	0.01	0.01
Dummy-CBMH12	1.96	1.96	1.97	0.01	0.01
Dummy-CBMH13 (1)	2.25	2.25	2.26	0.01	0.01
Dummy-CBMH13 (2)	2.23	2.23	2.26	0.01	0.01
MH204-MH206	0.01	0.01	0.56	0.01	0.01
MH206-MH208	0.53	0.53	1.60	0.01	0.01
MH208-MH210	1.42	1.42	24.00	0.01	0.01
MH210-MH212	24.00	24.00	24.00	0.01	0.01
MH212-MH214	24.00	24.00	24.00	0.01	0.01
MH214-MH1013	24.00	24.00	24.00	0.01	0.67
MH220-MH210	0.96	0.96	24.00	0.01	0.01
MH222-MH224	0.59	0.59	2.07	0.01	0.01
MH224-MH212	1.60	1.60	24.00	0.01	0.01
MH230-MH222	0.01	0.01	0.65	0.01	0.01
RYE01-RYT01-Dummy	1.06	1.06	1.17	0.01	0.01
RYE02-CBMH16	0.26	0.26	0.28	0.01	0.01
RYE03-RYT09	6.14	6.14	6.32	0.01	0.01
RYE04-RYT03 (1)	7.35	7.35	7.78	0.01	0.01
RYE04-RYT03 (2)	6.34	6.34	6.38	0.01	0.01
RYE05-RYT04	2.73	2.73	2.92	0.01	0.01
RYE06-RYT06	1.79	1.79	1.93	0.01	0.01
RYE07-CBMH01	1.50	1.50	1.69	0.01	0.01
RYE08-RYT07	1.70	1.70	1.90	0.01	0.01
RYE09-RYT02	6.32	6.32	6.47	0.01	0.01
RYE09-RYT07	1.70	1.70	1.90	0.01	0.01
RYE10-RYT08	2.14	2.14	2.25	0.01	0.01
RYE11-CBMH09	1.60	1.60	1.61	0.01	0.01
RYT01-CBMH06	0.87	0.87	0.88	0.01	0.01
RYT01-Dummy-RYT01	0.86	0.86	0.87	0.01	0.01
RYT02-RYT03	6.92	6.92	7.60	0.01	0.01
RYT03-CBMH14	6.53	6.53	6.56	0.01	0.09
RYT04-RYT05	2.92	2.92	3.29	0.01	0.01
RYT05-CBMH04	3.37	3.37	3.73	0.01	0.01
RYT06-CBMH03	1.97	1.97	1.99	0.01	0.01
RYT07-CBMH02	1.76	1.76	1.79	0.01	0.01
RYT08-CBMH08	2.59	2.59	2.94	0.01	0.01
RYT10-RYT02	6.47	6.47	6.92	0.01	0.01

Analysis begun on: Tue Feb 15 13:18:32 2022  
 Analysis ended on: Tue Feb 15 13:18:34 2022  
 Total elapsed time: 00:00:02

### HGL Summary Phase 1 (JFSA - 2019)

Notes:

1) both 24hr SCS and 3hr CHI storm HGL uses 24hr SCS dynamic BC from JFSA Monahan Drain Future-VII VURL model (March 2019) a fixed BC = 94.708 (100 yr SCS peak at PH1 outlet) was also used for the 3hr CHI event

Name	Ground (m)	USF (m)	HGL (m)			Difference USF-HGL (m)			Invert (m)
			24hr SCS	3hr CHI	Fixed 3hr CHI BC = 94.708	24hr SCS	3hr CHI	Fixed 3hr CHI BC=94.708	
1001	98.17	96.15	95.32	95.32	95.32	0.83	0.83	0.83	95.32
1002	97.85	96.08	95.28	95.28	95.28	0.80	0.80	0.80	95.07
1004E	97.91	95.84	95.17	95.17	95.17	0.67	0.67	0.67	95.43
1004N	97.91	95.84	95.53	95.53	95.53	0.31	0.31	0.31	-
1005	97.91	95.70	94.97	94.97	95.09	0.73	0.73	0.61	94.91
1006	97.70	95.50	94.83	94.74	95.05	0.67	0.76	0.45	94.35
1007	98.02	N/A	95.16	95.16	95.16	-	-	-	95.16
1008	97.95	N/A	95.10	95.10	95.13	-	-	-	94.89
1009	97.74	95.88	94.99	95.00	95.09	0.89	0.88	0.79	94.69
1010	97.67	95.77	94.82	94.78	95.05	0.95	0.99	0.72	94.44
1011	97.35	95.23	94.76	94.71	95.00	0.47	0.52	0.23	94.11
1012	97.02	N/A	94.76	94.71	95.00	-	-	-	93.91
1013	96.92	N/A	94.78	94.71	95.05	-	-	-	93.61
1014	97.00	N/A	94.77	94.71	95.03	-	-	-	93.53
1015	97.49	N/A	94.75	94.71	94.99	-	-	-	93.43
1016	96.79	N/A	94.74	94.71	94.95	-	-	-	93.33
1017	97.86	96.00	95.14	95.14	95.14	0.86	0.86	0.86	95.14
1018	97.78	95.60	95.05	95.05	95.07	0.55	0.55	0.53	94.85
1019	97.44	95.67	94.85	94.77	95.04	0.82	0.90	0.63	94.59
1020	97.40	95.32	94.85	94.72	95.04	0.47	0.60	0.28	94.49
1021	97.25	95.32	94.84	94.71	95.03	0.48	0.61	0.29	94.38
1022	97.53	95.70	95.12	95.12	95.15	0.58	0.58	0.55	94.88
1023	97.34	95.29	94.93	94.92	95.10	0.36	0.37	0.19	94.57
1024	97.19	95.27	94.83	94.71	95.03	0.44	0.56	0.24	94.18
1025	97.17	95.27	94.82	94.71	95.01	0.45	0.56	0.26	94.04
1026	97.55	95.47	94.89	94.89	95.07	0.58	0.58	0.40	94.76
1027	97.31	95.39	94.86	94.76	95.06	0.53	0.63	0.33	94.44
1028	97.09	95.31	94.81	94.71	95.00	0.50	0.60	0.31	94.18
1029	96.95	95.09	94.80	94.71	94.98	0.29	0.38	0.11	93.91
1030	98.00	95.23	94.75	94.71	94.91	0.48	0.52	0.32	94.39
1031	98.00	95.10	94.74	94.71	94.90	0.36	0.39	0.20	94.01
1033N	97.50	95.85	95.23	95.23	95.23	0.62	0.62	0.62	95.23
1033S	97.50	95.85	95.32	95.32	95.32	0.53	0.53	0.53	-
1034	97.43	95.75	95.32	95.32	95.32	0.43	0.43	0.43	95.11
1035	97.20	95.65	95.18	95.18	95.24	0.47	0.47	0.41	94.99
1035N	97.20	95.65	95.03	95.03	95.09	0.62	0.62	0.56	-
1036	97.34	95.51	94.91	94.89	95.07	0.60	0.62	0.44	94.60
1037	97.50	95.73	95.13	95.13	95.13	0.60	0.60	0.60	95.13
1038	97.33	95.58	95.12	95.12	95.12	0.46	0.46	0.46	94.94
1039	97.26	95.27	94.84	94.78	95.05	0.43	0.49	0.22	94.46
1040	97.15	95.40	94.89	94.89	95.02	0.51	0.51	0.38	94.76
1041	97.14	95.28	94.81	94.71	95.02	0.47	0.57	0.26	94.48
1042	97.19	95.14	94.79	94.71	95.00	0.35	0.43	0.14	94.09
1043	97.07	95.42	94.90	94.82	95.12	0.52	0.60	0.30	94.45
1044	97.02	95.32	94.79	94.79	94.99	0.53	0.53	0.33	94.65
1045	97.00	95.09	94.77	94.71	94.98	0.32	0.38	0.11	94.25
1046	96.70	95.00	94.76	94.71	94.96	0.24	0.29	0.04	93.86
1047	96.63	94.90	94.74	94.71	94.94	0.16	0.19	-0.04	93.74
1048	96.50	N/A	94.74	94.71	94.91	-	-	-	-
1048A	96.07	N/A	94.75	94.71	94.93	-	-	-	-
1049	96.86	95.05	94.74	94.71	94.92	0.31	0.34	0.13	93.72
1050	96.83	95.02	94.73	94.71	94.91	0.29	0.31	0.11	93.70
1051	96.75	95.02	94.75	94.71	94.89	0.27	0.31	0.13	93.58
1052	97.04	N/A	94.76	94.71	94.83	-	-	-	93.13
1053	97.22	95.42	95.06	95.06	95.22	0.36	0.36	0.20	94.72
1053B	97.20	N/A	94.81	95.15	94.80	-	-	-	93.09
DIVERSION	95.65	N/A	94.80	94.69	94.83	-	-	-	93.09
Monahan	95.05	N/A	94.71	94.71	94.71	-	-	-	92.88
N138	95.65	N/A	94.74	94.71	94.74	-	-	-	93.08

Level of clearance to USF less than 0.3 m  
Level of clearance to USF less than 0.0 m



"STANTEC CONSULTING LTD. UNDERTOOK A GENERAL REVIEW OF CONSTRUCTION ACTIVITIES DURING THE INSTALLATION OF SANITARY AND STORM SEWERS AND WATERMAIN FOR THIS PROJECT. IN OUR OPINION AND TO THE BEST OF OUR KNOWLEDGE, THE WORK HAS BEEN COMPLETED IN GENERAL CONFORMANCE WITH THE CITY OF OTTAWA STANDARDS AND THE APPROVED DESIGN AND DRAWINGS."

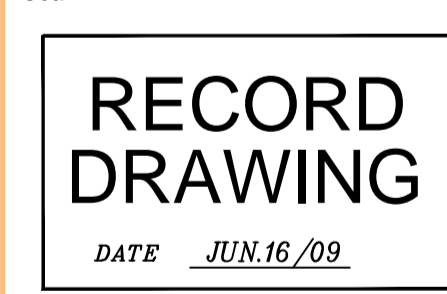


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- Notes
- 1 ALL MATERIALS AND CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH OPS AND CITY OF OTTAWA STANDARD SPECIFICATIONS AND DRAWINGS AND OPS SUPPLEMENT (ONTARIO) PROVISIONAL STANDARDS WILL APPLY WHERE NO CITY STANDARDS ARE AVAILABLE.
  - 2 SERVICE AND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING SERVICES AND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS FROM ALL UTILITIES COMPANIES TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND REINSTATEMENT.
  - 3 ALL DISTURBED AREAS SHALL BE REINSTATED TO EQUAL OR BETTER CONDITION TO THE SATISFACTION OF THE ENGINEER & THE CITY. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH OPS 608.010 AND OPS 310.
  - 4 STORM AND SANITARY SEWERS 375mm DIA. OR SMALLER SHALL BE PVC SDR 35. STORM AND SANITARY SEWERS LARGER THAN 375mm DIA. SHALL BE CONCRETE CSA A 257 CLASS 100 D. INSTALLED AS PER CITY OF OTTAWA 58 AND 57.
  - 5 THE CONTRACTOR SHALL CONSTRUCT WATERMAIN, WATER SERVICE, CONNECTIONS & APPURTENANCES AS PER CITY OF OTTAWA SPECIFICATIONS & SMALL CO. ORDINANCE AND PAY ALL RELATED COSTS INCLUDING THE COST OF CONNECTION INSPECTION & RESECTION BY CITY PERSONNEL. SERVICE CONNECTIONS SHALL BE INSTALLED A MINIMUM OF 200mm FROM ANY CATCHBASIN, MANHOLE OR OBJECT THAT MAY CONTRIBUTE TO FREEZING. THERMAL INSULATION SHALL BE INSTALLED ON ALL PROPOSED C/S ON THE W/M STREET SIDE WHERE 2400mm SEPARATION CANNOT BE ACHIEVED AS PER CITY OF OTTAWA W&S & WATERMATIC PROJECTS PER CITY OF OTTAWA W&S. WATERMAIN PIPE MATERIAL SHALL BE PVC CL 150 DR18. DEFLECTION OF WATERMAIN PIPE IS NOT TO EXCEED 1/2% OF THE SPAN IN THE MANUFACTURE.
  - 6 STREET LIGHTING TO CITY OF OTTAWA STANDARDS.
  - 7 STORM AND SANITARY MANHOLES SHALL BE 1200mm DIAMETER IN ACCORDANCE WITH OPS 310.40 (UNLESS OTHERWISE NOTED) w/ FRAME AND COVER AS PER CITY OF OTTAWA 58 AND 57. ALL MANHOLE SEES TO BE CONFIRMED BY SURVEY PRIOR TO INSTALLATION.
  - 8 CATCH BASINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS w/ FRAME AND GRATE AS PER 58 AND 57 FOR REAR VALVES AND 58 FOR STREET C/S. PROVIDE 150mm ADJUSTED SPACES. ALL CATCH BASINS SHALL HAVE SHARP 90mm DEEP, CANE BUSH GRATES SHALL BE 200mm DIA. AND PVC SDR 35 AT 1.0% GR. STREET C/S WILL BE INSTALLED WITH 75% SLOTTED CONTROL DEVICE (C/D).
  - 9 EXCESS EXCAVATED MATERIAL SHALL BE PLACED AT A LOCATION ON SITE AS DIRECTED BY THE OWNER.
  - 10 THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT PROTECTION FOR RECYCLING FROM SEWER SERVICE CONNECTIONS. RECYCLING MATERIAL SHALL BE SEPARATED FROM CATCH BASINS, STRAW BALE CHECK DAMS AND SEDIMENT CONTROLS AROUND ALL DISTURBED AREAS. DEWATERING SHALL BE PERFORMED INTO SEDIMENT TRAPS. (SEE EROSION CONTROL PLAN).
  - 11 GRANULAR 'A' SHALL BE PLACED TO A MINIMUM THICKNESS OF 300mm AROUND ALL STRUCTURES WITHIN PAVEMENT AREA.
  - 12 SEWER TRENCH SHALL CONSIST OF A CLASS 'B' BEDDING AS PER CITY OF OTTAWA STANDARDS 56 AND 57. COMPACTOR SHALL BE A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
  - 13 ALL GRANULAR FOR ROADS SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
  - 14 ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO THE CUTTING.
  - 15 CONTRACTOR SHALL PROVIDE LEAKAGE TESTING, IN THE PRESENCE OF THE CONSULTANT, FOR SANITARY SEWERS IN ACCORDANCE WITH OPS 410 AND OPS 407. CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL STORM AND SANITARY SEWERS. A COPY OF THE VIDEO AND INSPECTION REPORT SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW.
  - 16 ASPHALT WEAR COURSE SHALL NOT BE PLACED UNTIL THE VIDEO INSPECTION OF SEWERS & NECESSARY REPAIRS HAVE BEEN CARRIED OUT TO THE SATISFACTION OF THE CONSULTANT.
  - 17 SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
  - 18 FOR ALL LANDSCAPING FEATURES (e.g. TREES, WALKWAYS, PARK DETAILS, NOISE BARRIERS, FENCES etc.) REFER TO LANDSCAPE ARCHITECT PLAN.
  - 19 CONCRETE CURB SHALL BE CONSTRUCTED AS PER CITY STANDARD SC 1.1 & SC 1.3
  - 20 ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
  - 21 PRESSURE REDUCING VALVES ARE REQUIRED ON ALL UNITS AS PER THE ONTARIO BUILDING CODE.
  - 22 THE CLAY SEALS TO BE INSTALLED AS PER CITY STANDARD DRAWING NO. 28. THE SEALS SHOULD BE AT LEAST 150mm LONG IN THE TRENCH DIRECTION AND SHOULD EXTEND FROM FRENCH WALL TO TRENCH WALL. THE SEALS SHOULD EXTEND FROM THE PROPOSED LINE AND FULLY PENETRATE THE EXISTING, UNDERLAYS AND COVER UNDER THE MANHOLE. THE MANHOLES SHALL CONSIST OF RELATIVELY DRY AND COMPACTABLE BROWN SILTY CLAY PLACED IN MAXIMUM 25mm THICK LAYERS COMPACTED TO A MINIMUM OF 90% OF THE MATERIALS SPECIFIED. THE CLAY SEALS SHOULD BE PLACED AT THE SITE BOUNDARIES AND AT STRATEGIC LOCATIONS AT NO MORE THAN 50m INTERVALS IN THE SERVICE TRENCHES.
  - 23 REFER TO GEOTECHNICAL REPORT PREPARED BY HOLEY CHEEVER ENGINEERING DATED SEPT 21, 2006 FOR ALL TEST PIT AND BORE HOLE INFORMATION.
  - 24 GEOTECHNICAL ENGINEER TO CONFIRM AND DIRECT ON SITE PLACEMENT AND COMPACTOR OF BEST ROCK WITHIN THE E.O.W. AND UNDER SIDE OF FOUNDATIONS.

#	AS RECORDED - STAGE 'A'	DT	JJ	09.06.16	
7	REVISED DRIVEWAY & SIDEWALK LOCATIONS, ISSUED FOR FINAL APPROVAL	KJK	JBL	09.02.25	
6	REVISED FINISHED ROAD GRADES ON COPE, TEMPLEFORD AND NORTHGRAVES (S)	KJK	JBL	08.11.12	
5	REVISED LOT GRADING AND SERVICING	KJK	JBL	08.11.03	
4	ISSUED FOR CONSTRUCTION	KJK	JBL	08.01.21	
3	REVISED AS PER CITY COMMENTS AND FINAL APPROVAL	KJK	JBL	07.10.29	
2	REVISED AS PER CITY COMMENTS	KJK	JBL	07.08.17	
1	ISSUED FOR CITY COMMENTS	KJK	JBL	07.07.12	
Revision		By	Appd.	YY.MM.DD	
File Name: 160400502C-Cope Drive		NI	JBL	KJK	07.03.26
		Dwn.	Chkd.	Dsgn.	YY.MM.DD

Seal



Client/Project  
**CAVANAGH CONSTRUCTION LTD.**

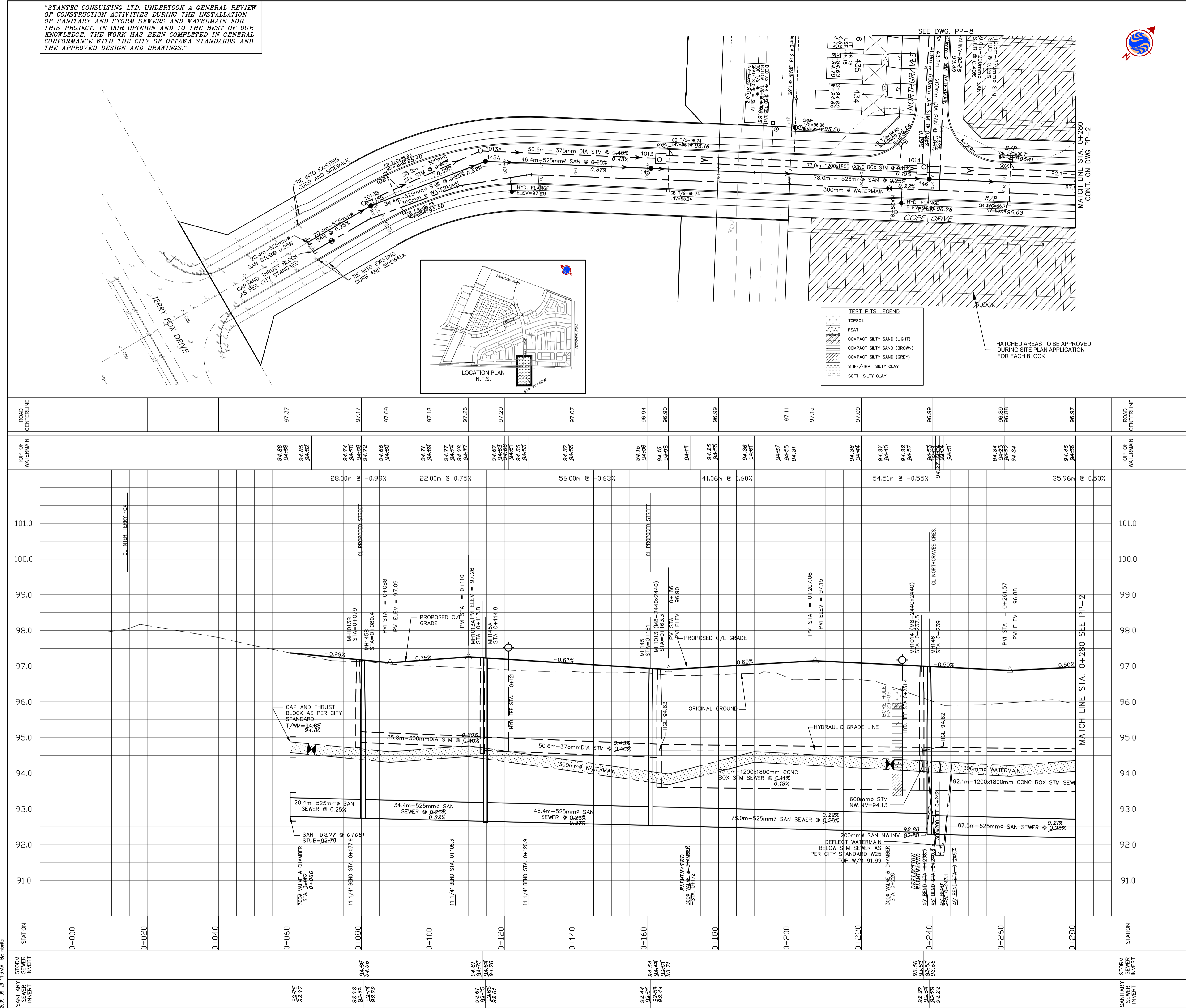
**SOHO - KANATA SOUTH**

Ottawa ON Canada

Title  
**COPE DRIVE  
STA. 0+000 TO STA. 0+280**

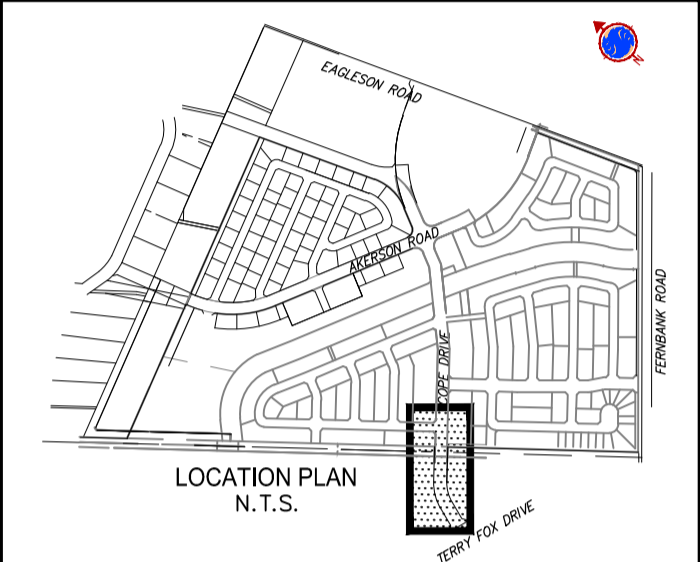
Project No. 160400502C Scale 1:500H 0 5 15 25m  
1:50V 0 0.5 1.5 2.5m

Drawing No. PP-1 Sheet 7 of 58 Revision 8



TEST PITS LEGEND

[Symbol]	TOPSOIL
[Symbol]	PEAT
[Symbol]	COMPACT SILTY SAND (LIGHT)
[Symbol]	COMPACT SILTY SAND (BROWN)
[Symbol]	COMPACT SILTY SAND (GREY)
[Symbol]	STIFF/FIRM SILTY CLAY
[Symbol]	SOFT SILTY CLAY



U:\160400502C\160400502C (S040)\records\drawing\2009-06-06\160400502C-PP1-PP3-COPE DRIVE.dwg  
2009-06-15 11:33AM by: jbl

# SITE SERVICING AND STORMWATER MANAGEMENT REPORT – TERRY FOX DRIVE AND COPE DRIVE COMMERCIAL SHOPPING DEVELOPMENT

Stormwater Management  
July 26, 2018

## Surface Storage & Overland Flow

- Building openings to be a minimum of 0.30m above the 100-year water level (City of Ottawa).
- Major system flow to be restricted to 781 L/s during the 100 year storm event (Soho West (Phase 1 and 2), Stormwater Management Report]
- Rooftop and parking lot storage to be maximized where possible.
- Maximum depth of flow under either static or dynamic conditions shall be less than 0.30m (City of Ottawa).
- Provide adequate emergency overflow conveyance off-site (City of Ottawa).
- Enhanced quality control (80% TSS removal) has been provided downstream of the development in Vortechs Cell 1 hydrodynamic separator.

### 5.2.1 Allowable Release Rate

The overall approach for storm servicing and stormwater management for the proposed development was initially outlined in the Serviceability Report – Cavanaugh Construction Ltd. / Karam SOHO West – Rev 3, Stantec Consulting Ltd., October 31, 2007 and Cavanaugh Construction – Soho West (Phase 1 and 2), Stormwater Management Report, Stantec Consulting Ltd. October 31, 2007

Discharge rates were assigned to the undeveloped parcels upstream of the SOHO Phase 1 subdivision. These are summarized in **Table 1** below. The external contributions are also identified on the Overall Storm Drainage Plan, OSD, SOHO-Kanata South included in **Appendix C.4**. The subject lands were identified as FUT-13B in the SOHO Phase 1 design.

**Table 1: Target Release Rates for External Development Lands – SOHO-Kanata South**

Drainage Area	Description	Minor System 100 Year Storm (L/s)	Major System 100 Year Storm (L/s)	Total Flow 100 Year Storm (L/s)
FUT-13A	Claridge Residential Lands	702.10	1,537	2,239
FUT-13B	Commercial Shopping Development (subject lands)	317.10	781	1,098

**CAVANAUGH CONSTRUCTION – SOHO WEST (PHASE 1 AND 2), KANATA WEST, CITY OF OTTAWA STORMWATER MANAGEMENT REPORT**

October 31, 2007

Segment	Maximum Volume Used (m <sup>3</sup> )	Max. Ponding Depth (cm)	Depth at Curb/Swale (cm)	Max. ICD Inflow (L/s)	Overflow Peak <sup>1</sup> (L/s)
1-6CR	4.1	10.00	10.25	44.00	282
1-6DS	-	-	26.17	22.00	32
1-7AR	-	-	4.44	0.00	42
1-8AR	21.2	19.00	10.86	44.00	334
1-8BS	-	-	27.45	22.00	47
1-9AR	0.7	6.00	3.79	22.00	6
1-9BS	-	-	25.55	22.00	26
1-10AR	4.3	10.00	7.02	22.00	102
1-10BS	-	-	28.50	22.00	51
1-10CS	-	-	15.92	9.74	0
1-11AR	4.3	12.00	10.12	22.00	293
1-11BS	-	-	16.02	9.92	0
1-12AP	19.9	20.00	0.89	22.00	27
1-12BP	14.2	15.00	0.67	19.82	0
FUT-13AR	495.6	N/A	23.26	702.10	1,537
<b>FUT-13BR</b>	<b>223.8</b>	<b>N/A</b>	<b>16.56</b>	<b>317.10</b>	<b>781</b>
COPE-13AR	21.2	19.00	20.01	22.00	1,817
COPE-13BR	14.9	16.00	6.02	22.00	53
1-13AR	-	13.00	5.24	22.00	37
1-13BS	-	-	24.63	22.00	36
1-14R	62.0	22.00	20.07	22.00	1,833
1-15AR	43.8	22.00	20.22	22.00	1,869
1-15BR	21.3	17.00	10.64	22.00	337
1-16AS	-	-	31.33*	22.00	93
1-16BR	9.3	24.00	12.78	22.00	552
1-17AR	19.9	16.00	6.53	22.00	79
1-18AR	4.3	9.00	7.79	22.00	140
1-18BS	-	-	28.79	22.00	66
1-20AR	4.3	9.00	9.74	22.00	262
1-22AR	4.3	11.00	11.28	22.00	392
1-22BR	4.3	10.00	11.90	22.00	444
1-22CS	-	-	27.28	22.00	43
1-23AR	49.2	27.00	14.91	44.00	800
1-23BR	21.3	20.00	12.37	22.00	500
1-23CS	-	-	29.47	22.00	58
1-23DS	-	-	13.7		
1-23ES	-	-	24.3		
1-25AR	6.3	12.00	15.0		
1-26AR	6.3	12.00	6.41		
1-27AR	1.8	7.00	7.05		
1-27BR	1.8	7.00	7.81		
1-27CS	-	-	28.7		
1-27DS	-	-	28.1		
1-27ES	-	-	27.2		
1-28AR	21.2	20.00	16.1		
1-30AR	32.0	21.00	6.60		
1-31AR	32.0	18.00	17.5		

**MINOR SYSTEM:**  
**SITE AREA = 3.73ha**  
**ALLOWABLE = 317.10 L/s (85L/s/ha)**

**MAJOR SYSTEM STORAGE:**  
**SITE AREA = 3.73ha**  
**MAXIMUM VOLUME USED = 223.8m<sup>3</sup>**  
**(60m<sup>3</sup>/ha)**

## Drew Blair

---

**From:** Mike Petepiece  
**Sent:** Friday, May 7, 2021 2:00 PM  
**To:** Marc St.Pierre; Drew Blair  
**Subject:** FW: SOHO Phase 1 - Monahan Drain

Hi Drew/MSP,

I met with Jonathon Burnett at JFSA this morning and he confirmed that the latest modeling for our area has a minor system inlet rate of 85 L/s/ha (316 L/s divided by 3.73 ha).

See email below.

**Michael Petepiece**, P.Eng., Senior Project Manager | Water Resources

**NOVATECH** Engineers, Planners & Landscape Architects

240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6 | Tel: 613.254.9643 Ext: 235 | Cell: 613.299.4677 | Fax: 613.254.5867

The information contained in this email message is confidential and is for exclusive use of the addressee.

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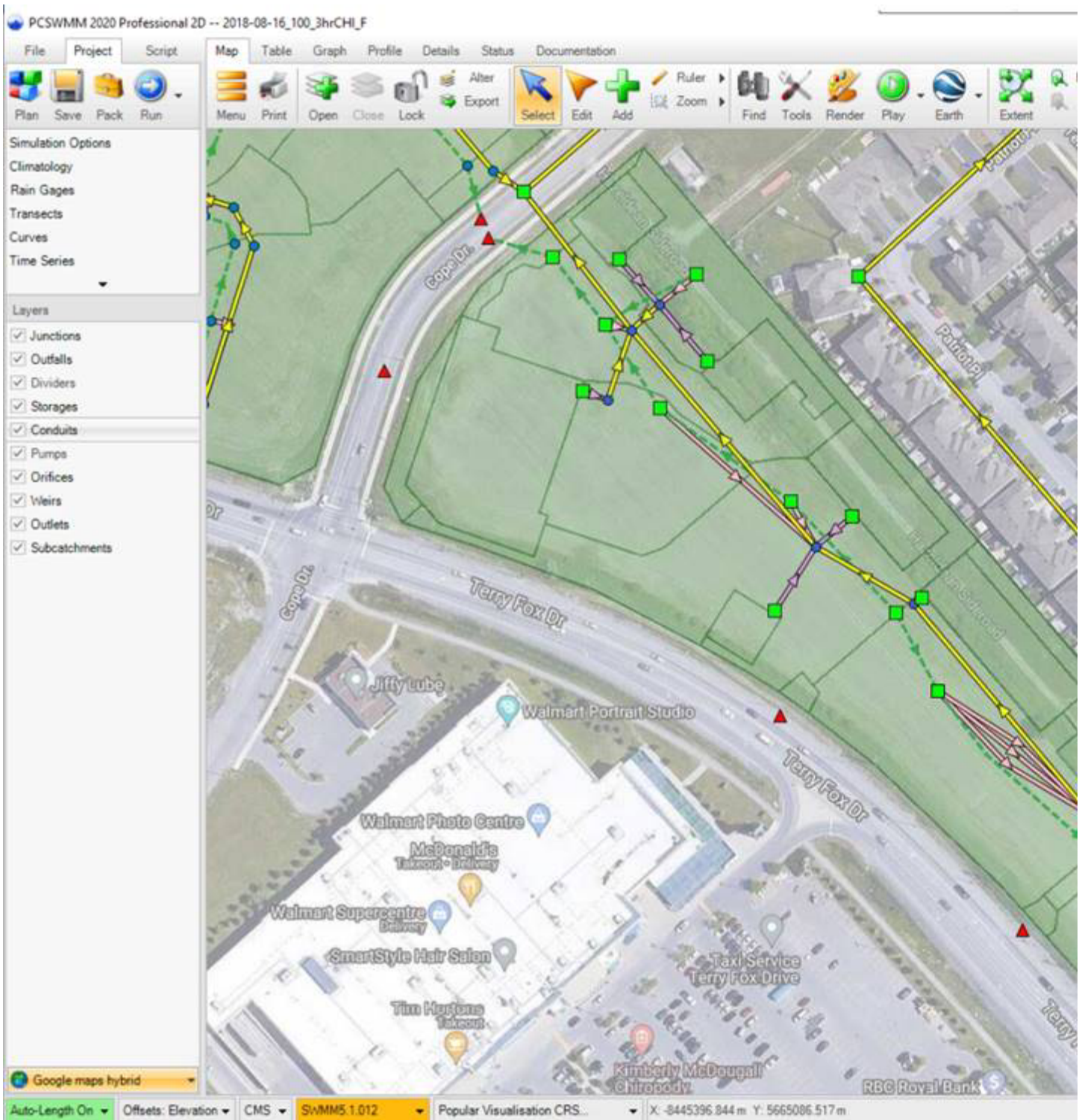
**From:** Jonathon Burnett <jburnett@jfsa.com>  
**Sent:** Friday, May 7, 2021 1:04 PM  
**To:** Mike Petepiece <m.petepiece@novatech-eng.com>  
**Subject:** SOHO Phase 1 - Monahan Drain

Hi Mike,

Looking over the Stantec model we have on file, I can confirm that the peak 100-Year minor system flow is 316 L/s (from memory I think the report you showed me today said 317 L/s).

Although I was not able to replicate the major system overflow as the model has many overflow locations.

Below is a screenshot from the model; it appears that Stantec did model these lands in reasonably high detail in the past.



Regards,  
**Jono Burnett, B.Eng., P.Eng**  
 Water Resources Engineer



52 Springbrook Drive, Ottawa ON, K2S 1B9  
 Tel.: 613-322-1253 | Email: [jburnett@jfsa.com](mailto:jburnett@jfsa.com) | Website: [www.jfsa.com](http://www.jfsa.com)  
 Ottawa-Paris(ON)-Gatineau-Montréal-Québec

M:\2021\121011\CAD\Design\Figures\Culvert121011-Culvert.dwg, Feb 18, 2022 - 2:13pm, rgrayton



DRAINAGE AREA BOUNDARY = 3024.5m<sup>2</sup>

SOFT SURFACE AREA = 2123.2m<sup>2</sup>

HARD SURFACE AREA = 901.3m<sup>2</sup>

TERRY FOX DRIVE

28m-600mmØ CSP CULVERT @ 0.5%  
INV.NW=96.67 OBV.=97.27  
INV.SE=96.53 OBV=97.13

33.6m-600mmØ CSP CULVERT @ 0.4%  
INV.N=95.96 OBV.=96.48  
INV.S=95.83 OBV=96.43

SITE BENCHMARK  
FIRE HYDRANT  
Top of Spindle  
Elevation=96.10

**NOVATECH**

Engineers, Planners & Landscape Architects  
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Website www.novatech-eng.com

CITY OF OTTAWA  
5331 FERNBANK ROAD  
FERNBANK ZENS

POST DEVELOPMENT AREA  
TRIBUTARY TO CULVERT AT TERRY  
FOX DRIVE

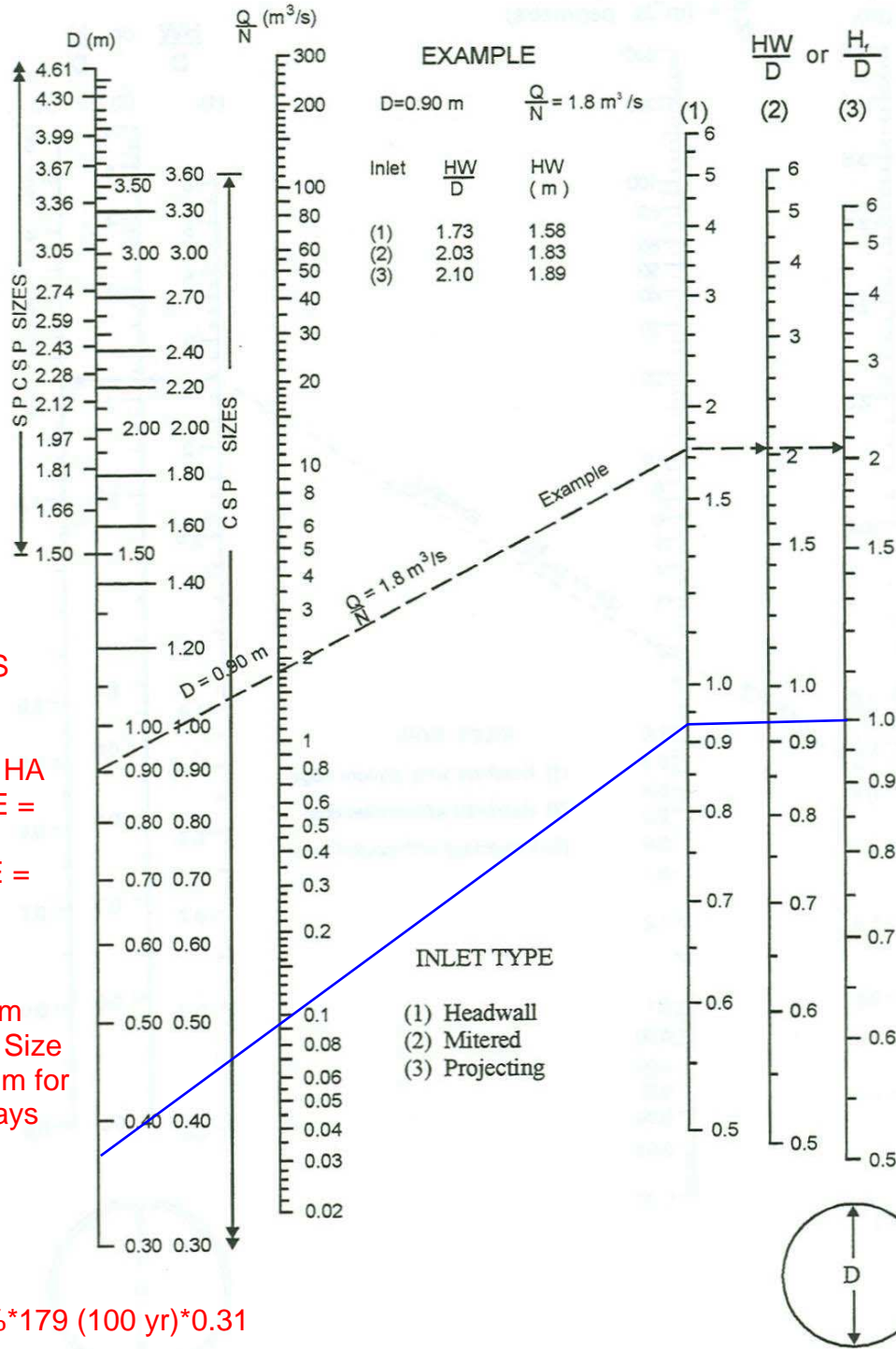
1 : 1500

FEB 2022

121011

FIG-CULV

**Design Chart 2.32: Inlet Control: Circular CSP and SPCSP Culverts**



REFER TO FIGURE  
CULV FOR DETAILS  
AND AREA

TOTAL AREA = 0.31HA  
AREA HARD SPACE =  
0.09HA  
AREA SOFT SPACE =  
0.22H  
AVG C = 0.47

Minimum  
Culvert Size  
= 600mm for  
Driveways

$Q = 2.78CIA$   
 $Q = 2.78 * 0.47 * 125\% * 179 (100 \text{ yr}) * 0.31$   
 $Q = 91 \text{ L/s}$

Source: Herr (1977)

"STANTEC CONSULTING LTD. UNDERTOOK A GENERAL REVIEW OF CONSTRUCTION ACTIVITIES DURING THE INSTALLATION OF SANITARY AND STORM SEWERS AND WATERMAIN FOR THIS PROJECT. IN OUR OPINION AND TO THE BEST OF OUR KNOWLEDGE, THE WORK HAS BEEN COMPLETED IN GENERAL CONFORMANCE WITH THE CITY OF OTTAWA STANDARDS AND THE APPROVED DESIGN AND DRAWINGS."



Stantec Consulting Ltd.  
1505 Laperriere Avenue  
Ottawa ON Canada  
K1Z 7T1  
Tel. 613.722.4420  
Fax. 613.722.2799  
www.stantec.com

**Stantec**

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**Notes**

1. ALL MATERIALS AND CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH OPS AND CITY OF OTTAWA STANDARD SPECIFICATIONS AND DRAWINGS AND OPED SUPPLEMENT (ONTARIO) PROFESSIONAL STANDARDS WILL APPLY WHERE NO CITY STANDARDS ARE AVAILABLE.
2. SERVICE AND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING SERVICES AND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS FROM ALL UTILITY COMPANIES TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION; THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND REINSTATEMENT.
3. ALL DISTURBED AREAS SHALL BE REINSTATED TO EQUAL OR BETTER CONDITION TO THE SATISFACTION OF THE ENGINEER & THE CITY. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH OPED 608.010 AND OPSS 310.
4. STORM AND SANITARY SEWERS 375mm DIA. OR SMALLER SHALL BE PVC SDR 35. STORM AND SANITARY SEWERS LARGER THAN 375mm DIA. SHALL BE CONCRETE CSA A 257 CLASS 100 D. INSTALLED AS PER CITY OF OTTAWA S&S 27.
5. THE CONTRACTOR SHALL CONSTRUCT WATERMAIN, WATER SERVICE, CONNECTIONS & APPURTENANCES AS PER CITY OF OTTAWA SPECIFICATIONS & SMALL CO ORDINANCE AND PAY ALL RELATED COSTS INCLUDING THE COST OF CONNECTION INSPECTION & RESECTION BY CITY PERSONNEL. SERVICE CONNECTIONS SHALL BE INSTALLED A MINIMUM OF 200mm FROM ANY CATCHBASIN, MANHOLE OR OBJECT THAT MAY CONTRIBUTE TO FREEZING. THERMAL INSULATION SHALL BE INSTALLED ON ALL PROPOSED C/S ON THE W/M STREET SIDE WHERE 2400mm SEPARATION CANNOT BE ACHIEVED AS PER CITY OF OTTAWA W&S & W&S/STORM PROTECTION PROJECT BY THE CITY OF OTTAWA W&S. WATERMAIN PIPE MATERIAL SHALL BE PVC CL150 DR18. DEFLECTION OF WATERMAIN PIPE IS NOT TO EXCEED 1/2% OF THE SPAN IN THE MANUFACTURER'S.
6. STREET LIGHTING TO CITY OF OTTAWA STANDARDS.
7. STORM AND SANITARY MANHOLES SHALL BE 1200mm DIAMETER IN ACCORDANCE WITH OPED 31.01 (UNLESS OTHERWISE NOTED) w/ FRAME AND COVER AS PER CITY OF OTTAWA S&S AND S&S. ALL MANHOLE SEALS TO BE COMPLETED BY SUPERIOR PRIOR TO INSTALLATION.
8. CATCH BASINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS w/ FRAME AND GRATE AS PER S&S AND S&S. FOR REAR VALVES AND 50 FOR STREET C/S. PROVIDE 150mm ADJUSTED SPACES. ALL CATCH BASINS SHALL HAVE SHARP 90mm DEEP, CANE BUSH GRATES SHALL BE 200mm DIA. AND P.V.C. SDR 35 AT 1.0% GR. STREET C/S WILL BE INSTALLED WITH 300MM INLET CONTROL DEVICE (ICD).
9. EXCESS EXCAVATED MATERIAL SHALL BE PLACED AT A LOCATION ON SITE AS DIRECTED BY THE OWNER.
10. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT POLLUTION FOR EXISTING STORM SEWERS. BEST MANAGEMENT PRACTICES TO PREVENT POLLUTION FOR EXISTING STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA S&S AND S&S. ALL CATCH BASINS, STRAW BALE CHECK DAMS AND SEDIMENT CONTROLS AROUND ALL DISTURBED AREAS. DRAINAGE SHALL BE INSTALLED WITH SEDIMENT TRAPS. (SEE EROSION CONTROL PLAN).
11. GRANULAR 'A' SHALL BE PLACED TO A MINIMUM THICKNESS OF 300mm AROUND ALL STRUCTURES WITHIN PAVEMENT AREA.
12. SEWER TRENCH SHALL CONSIST OF A CLASS 'B' BEDDING AS PER CITY OF OTTAWA STANDARDS S&S AND S&S. COMPACTOR SHALL BE A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
13. ALL GRANULAR FOR ROADS SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
14. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO THE CUTTING.
15. CONTRACTOR SHALL PROVIDE LEAKAGE TESTING. IN THE PRESENCE OF THE CONSULTANT FOR SANITARY SEWERS IN ACCORDANCE WITH OPS 410 AND OPS 407. CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL STORM AND SANITARY SEWERS. A COPY OF THE VIDEO AND INSPECTION REPORT SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW.
16. ASPHALT WEAR COURSE SHALL NOT BE PLACED UNTIL THE VIDEO INSPECTION OF SEWERS & NECESSARY REPAIRS HAVE BEEN CARRIED OUT TO THE SATISFACTION OF THE CONSULTANT.
17. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
18. FOR ALL LANDSCAPING FEATURES (i.e. TREES, WALKWAYS, PARK DETAILS, NOISE BARRIERS, FENCES etc.) REFER TO LANDSCAPE ARCHITECT PLAN.
19. CONCRETE CURB SHALL BE CONSTRUCTED AS PER CITY STANDARD SC1.1 & SC1.3
20. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
21. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL UNITS AS PER THE ONTARIO BUILDING CODE.
22. THE CLAY SEALS TO BE INSTALLED AS PER CITY STANDARD DRAWING NO. 28. THE SEALS SHOULD BE AT LEAST 150mm LONG IN THE TRENCH DIRECTION AND SHOULD EXTEND FROM TRENCH WALL TO TRENCH WALL. THE SEALS SHOULD EXTEND FROM THE PROPOSED LINE AND FULLY PENETRATE THE EXISTING, REMAINING AND COVER SOILS. THE SEALS SHOULD CONSIST OF RELATIVELY DRY AND COMPACTABLE BROWN SILEY CLAY PLACED IN MAXIMUM 25mm THICK LAYERS COMPACTED TO A MINIMUM OF 90% OF THE MATERIALS SPECIFIED. THE CLAY SEALS SHOULD BE PLACED AT THE SITE BOUNDARIES AND AT STRATEGIC LOCATIONS AT NO MORE THAN 50m INTERVALS IN THE SERVICE TRENCHES.
23. REFER TO GEOTECHNICAL REPORT PREPARED BY HOLEY CHEEVER ENGINEERING DATED SEPT 21, 2006 FOR ALL TEST PIT AND BORE HOLE INFORMATION.
24. GEOTECHNICAL ENGINEER TO CONFIRM AND DIRECT ON SITE PLACEMENT AND COMPACTION OF BEST ROCK WITHIN THE E.O.W. AND UNDER SIDE OF FOUNDATIONS.

#	AS RECORDED - STAGE 'A'	DT	JJ	09.06.16
7	REVISED DRIVEWAY & SIDEWALK LOCATIONS, ISSUED FOR FINAL APPROVAL	KJK	JBL	09.02.25
6	REVISED FINISHED ROAD GRADES ON COPE, TEMPLEFORD AND NORTHGRAVES (S)	KJK	JBL	08.11.12
5	REVISED LOT GRADING AND SERVICING	KJK	JBL	08.11.03
4	ISSUED FOR CONSTRUCTION	KJK	JBL	08.01.21
3	REVISED AS PER CITY COMMENTS AND FINAL APPROVAL	KJK	JBL	07.10.29
2	REVISED AS PER CITY COMMENTS	KJK	JBL	07.08.17
1	ISSUED FOR CITY COMMENTS	KJK	JBL	07.07.12
Revision		By	Appd.	YY.MM.DD

File Name: 160400502C-Cope Drive	NI	JBL	KJK	07.03.26
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Seal

**RECORD DRAWING**

DATE JUN.16.09

Client/Project  
**CAVANAGH CONSTRUCTION LTD.**

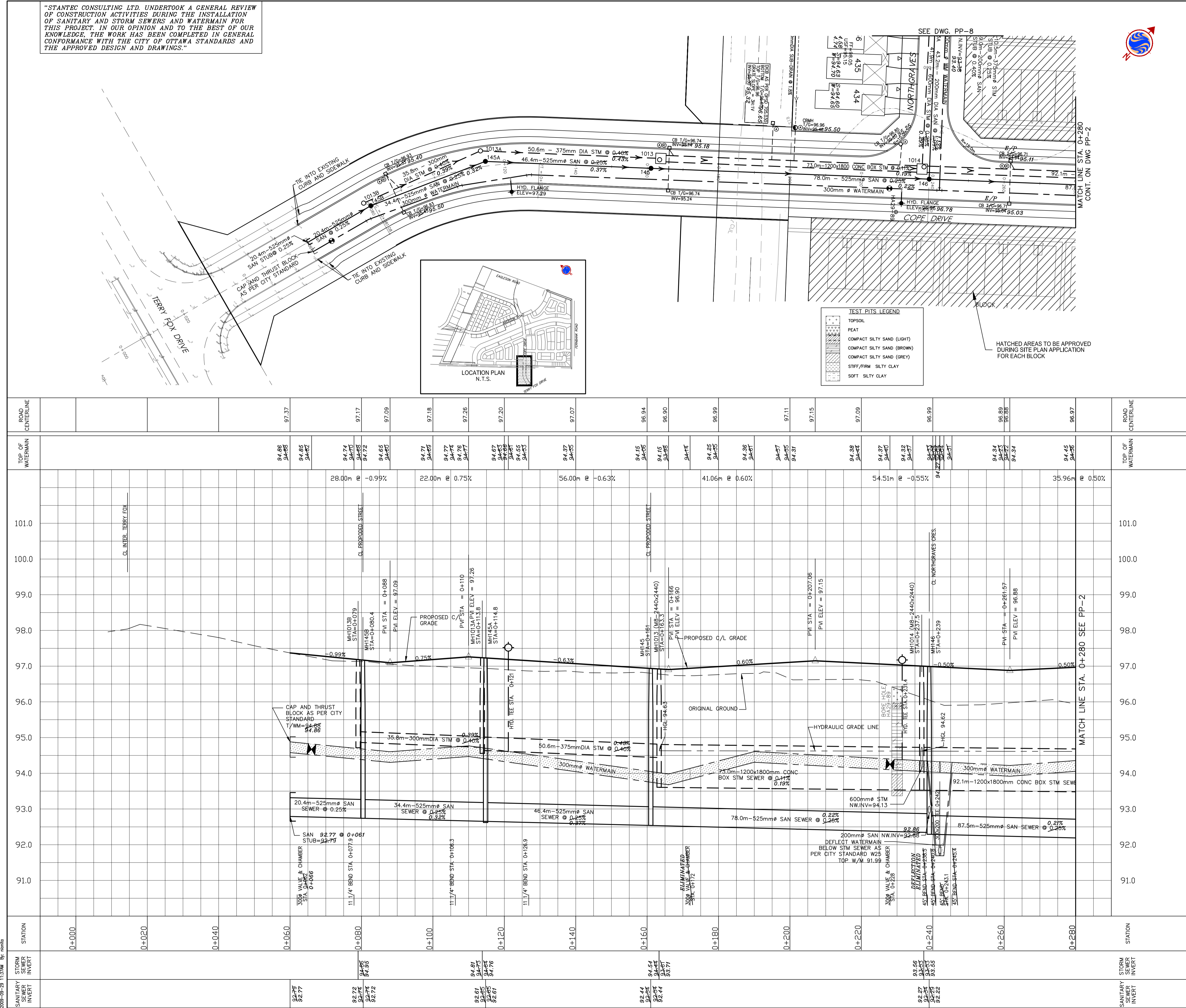
**SOHO - KANATA SOUTH**

Ottawa ON Canada

Title  
**COPE DRIVE  
STA. 0+000 TO STA. 0+280**

Project No. 160400502C Scale 1:500H 0 5 15 25m 1:50V 0 0.5 1.5 2.5m

Drawing No. PP-1 Sheet 7 of 58 Revision 8





Appendix B

**SANITARY SEWER DESIGN SHEET**  
**5331 FERNBANK**  
 Developer: Claridge Homes



PROJECT # : 121011  
 DESIGNED BY : AE/MM  
 CHECKED BY : DDB  
 DATE PREPARED : 2-Jun-21  
 DATE REVISED : 30-Sep-21  
 DATE REVISED : 9-Feb-22

LOCATION				RESIDENTIAL									PARK			INFILTRATION			FLOW		PROPOSED SEWER													
STREET	FROM MH	TO MH	Area	INDIVIDUAL			CUMULATIVE						AREA (ha.)	Accu. AREA (ha.)	PARK FLOW Qc(p) (L/s)	Total Area (ha.)	Accu. Total AREA (ha.)	PEAK EXTRAN. FLOW Q(i) (L/s)	PEAK DESIGN FLOW Q(d) (L/s)	LENGTH (m)	PIPE SIZE (mm)	PIPE ID (mm)	TYPE OF PIPE	GRADE %	CAPACITY (L/s)	FULL FLOW VELOCITY (m/s)	Qpeak/Qcap	d/Drull						
				Single Units	Townhouse Units	Apartment Units	Population (in 1000's)	AREA (ha.)	Population (in 1000's)	AREA (ha.)	PEAK FACTOR M	POPULATION FLOW Qr(p) (L/s)																						
	119	121	A1			6	0.0126	0.07	0.013	0.07	3.7	0.15						0.00	0.00							21.1	200	203.20	DR 35	1.94	47.7	1.47	0.4%	0.00
	123	121	A2			6	0.0126	0.06	0.013	0.06	3.7	0.15						0.00	0.00							18.1	200	203.20	DR 35	0.66	27.8	0.86	0.6%	0.00
	121	125	A3				0.0000	0.02	0.025	0.15	3.7	0.30						0.00	0.00							39.6	200	203.20	DR 35	0.33	19.7	0.61	1.8%	0.00
	127	125	A4			12	0.0252	0.18	0.025	0.18	3.7	0.30						0.00	0.00							20.5	200	203.20	DR 35	0.68	28.2	0.87	1.3%	0.00
	125	101	A5				0.0000	0.008	0.050	0.34	3.7	0.60						0.00	0.00							7.1	200	203.20	DR 35	0.42	22.2	0.68	3.2%	0.12
	129	101	A6			6	0.0126	0.07	0.013	0.07	3.7	0.15						0.00	0.00							11.0	200	203.20	DR 35	2.00	48.4	1.49	0.4%	0.00
	101	103	A7			0	0.0000	0.17	0.063	0.58	3.6	0.74						0.00	0.00							51.0	200	203.20	DR 35	0.33	19.7	0.61	4.7%	0.12
	131	103	A8			12	0.0252	0.18	0.025	0.18	3.7	0.30						0.00	0.00							27.6	200	203.20	DR 35	1.01	34.4	1.06	1.0%	0.00
	103	105	A9			0	0.0000	0.13	0.088	0.89	3.6	1.03						0.00	0.00							37.7	200	203.20	DR 35	0.35	20.2	0.62	6.5%	0.16
	133	105	A10			12	0.0252	0.13	0.025	0.13	3.7	0.30						0.00	0.00							27.5	200	203.20	DR 35	2.00	48.4	1.49	0.7%	0.00
	105	107	A11			0	0.0000	0.17	0.113	1.19	3.6	1.32						0.00	0.00							44.2	200	203.20	DR 35	0.34	20.0	0.62	8.6%	0.19
	135	107	A12			12	0.0252	0.18	0.025	0.18	3.7	0.30						0.00	0.00							27.5	200	203.20	DR 35	1.53	42.3	1.31	0.9%	0.00
	107	109	A13			6	0.0126	0.09	0.151	1.46	3.6	1.74						0.00	0.00							42.7	200	203.20	DR 35	0.33	19.7	0.61	11.3%	0.23
	137	109	A14			12	0.0252	0.13	0.025	0.13	3.7	0.30						0.00	0.00							27.5	200	203.20	DR 35	2.00	48.4	1.49	0.7%	0.00
	139	141	A15			6	0.0126	0.06	0.013	0.06	3.7	0.15	0.53	0.53	0.02											31.7	200	203.20	DR 35	1.29	38.9	1.20	1.0%	0.00
	141	109	A16			6	0.0126	0.13	0.025	0.19	3.7	0.30						0.53	0.02							44.3	200	203.20	DR 35	1.27	38.6	1.19	1.5%	0.00
	109	111	A17			0	0.0000	0.09	0.202	1.87	3.5	2.30						0.00	0.00							40.2	200	203.20	DR 35	0.32	19.4	0.60	15.1%	0.27
	145	111	A18			12	0.0252	0.18	0.025	0.18	3.7	0.30						0.00	0.00							27.5	200	203.20	DR 35	1.53	42.3	1.31	0.9%	0.00
	143	111	A19			6	0.0126	0.09	0.013	0.09	3.7	0.15						0.00	0.00							39.0	200	203.20	DR 35	2.03	48.8	1.50	0.4%	0.00
	111	113	A20			0	0.0000	0.30	0.239	2.44	3.5	2.71						0.00	0.00							39.4	200	203.20	DR 35	0.33	19.7	0.61	17.9%	0.29
	147	113	A21			12	0.0252	0.13	0.025	0.13	3.7	0.30						0.00	0.00							27.5	200	203.20	DR 35	2.00	48.4	1.49	0.7%	0.00

**SANITARY SEWER DESIGN SHEET**  
**5331 FERNBANK**  
**Developer: Claridge Homes**



PROJECT # : 121011  
 DESIGNED BY : AE/MM  
 CHECKED BY : DDB  
 DATE PREPARED : 2-Jun-21  
 DATE REVISED : 30-Sep-21  
 DATE REVISED : 9-Feb-22

LOCATION				RESIDENTIAL									PARK			INFILTRATION			FLOW		PROPOSED SEWER							
STREET	FROM MH	TO MH	Area	INDIVIDUAL			CUMULATIVE						AREA (ha.)	Accu. AREA (ha.)	PARK FLOW Qc(p) (L/s)	Total Area (ha.)	Accu. Total AREA (ha.)	PEAK EXTRAN. FLOW Q(i) (L/s)	PEAK DESIGN FLOW Q(d) (L/s)	LENGTH (m)	PIPE SIZE (mm)	PIPE ID (mm)	TYPE OF PIPE	GRADE %	CAPACITY (L/s)	FULL FLOW VELOCITY (m/s)	Qpeak/Qcap	d/ D <sub>full</sub>
				Single Units	Townhouse Units	Apartment Units	Population (in 1000's)	AREA (ha.)	Population (in 1000's)	AREA (ha.)	PEAK FACTOR M	POPULATION FLOW Qr(p) (L/s)																
	113	115	A22			6	0.0126	0.09	0.277	2.66	3.5	3.12		0.00	0.00			0.88	4.00	43.5	200	203.20	DR 35	0.32	19.4	0.60	20.7%	0.30
	167	115	A23			12	0.0252	0.18	0.025	0.18	3.7	0.30		0.00	0.00			0.06	0.36	27.5	200	203.20	DR 35	2.00	48.4	1.49	0.7%	0.00
	149	151	A24			6	0.0126	0.09	0.013	0.09	3.7	0.15		0.00	0.00			0.03	0.18	30.5	200	203.20	DR 35	1.31	39.2	1.21	0.5%	0.00
	151	153	A25			6	0.0126	0.13	0.025	0.22	3.7	0.30		0.00	0.00			0.07	0.37	36.5	200	203.20	DR 35	1.32	39.3	1.21	1.0%	0.00
	155	153	A26			6	0.0126	0.09	0.013	0.09	3.7	0.15		0.00	0.00			0.03	0.18	30.5	200	203.20	DR 35	1.02	34.6	1.07	0.5%	0.00
	153	161	A27			0	0.0000	0.02	0.038	0.33	3.7	0.45		0.53	0.02			0.28	0.76	18.3	200	203.20	DR 35	0.33	19.7	0.61	3.8%	0.12
	157	159	A28			6	0.0126	0.07	0.013	0.07	3.7	0.15		0.00	0.00			0.02	0.18	24.2	200	203.20	DR 35	1.74	45.1	1.39	0.4%	0.00
	159	161	A29			0	0.0000	0.13	0.013	0.20	3.7	0.15		0.00	0.00			0.07	0.22	36.8	200	203.20	DR 35	1.71	44.7	1.38	0.5%	0.00
	161	163	A30			0	0.0000	0.03	0.050	0.56	3.7	0.60		0.00	0.00			0.18	0.78	11.7	200	203.20	DR 35	0.34	20.0	0.62	3.9%	0.12
	165	163	A31			6	0.0126	0.05	0.013	0.05	3.7	0.15		0.00	0.00			0.02	0.17	23.7	200	203.20	DR 35	2.03	48.8	1.50	0.3%	0.00
	163	115	A32			6	0.0126	0.08	0.076	0.69	3.6	0.89		0.00	0.00			0.23	1.11	33.2	200	203.20	DR 35	0.33	19.7	0.61	5.7%	0.16
	115	117	A33			0	0.0000	0.05	0.378	3.58	3.4	4.20		0.00	0.00			1.18	5.38	37.2	200	203.20	DR 35	1.10	35.9	1.11	15.0%	0.19
	169	117	A34			6	0.0126	0.06	0.013	0.06	3.7	0.15		0.00	0.00			0.02	0.17	26.2	200	203.20	DR 35	2.02	48.6	1.50	0.4%	0.00
	171	117	A35			6	0.0126	0.05	0.013	0.05	3.7	0.15		0.00	0.00			0.02	0.17	21.5	200	203.20	DR 35	2.00	48.4	1.49	0.3%	0.00
	117	EX MH	A36			0	0.0000	0.00	0.403	3.69	3.4	4.46		0.00	0.00			1.22	5.68	14.8	200	203.20	DR 35	1.89	47.0	1.45	12.1%	0.23

**Notes:**  
 1. Q(d) = Qr(p) + Q(i) + Qc(p)  
 2. Q(i) = 0.33 L/sec/ha  
 3. Qr(p) = (PxqxM/86,400)  
 3. Qc(p) = (A\*q\*Pf)/86,400

**Definitions:**  
 Q(d) = Design Flow (L/sec)  
 Qr(p) = Population Flow (L/sec), Residential  
 Q(i) = Extraneous Flow (L/sec)  
 Qc(p) = Population Flow (L/sec), Commercial/Institutional/Park

P = Population (3.4 persons per single unit, 2.7 persons per townhouse unit, 2.1 persons per apartment unit)  
 q = Average per capita flow = 280 L/cap/day - Residential  
 q = Average per gross ha. flow = 3700 L/gross ha/day - Park (20L/day/person, 185 persons/ha - as per Appendix 4-A of the City of Ottawa Sewer Design Guidelines)  
 M = Harmon Formula (maximum of 4.0)  
 Min pipe size 200mm @ min. slope 0.32%  
 Mannings n = 0.013  
 Pf = Peak factor (Commercial/Institutional/Park) = 1.0 (less than 20% of total contributing areas), 1.5 (if area is 20% or greater of total contributing area)

day and maximum day demands. At a residual pressure of 20 psi, the available fire flow in the adjacent distribution systems was greater than 10,000 L/min.

**4.0 SANITARY SEWER**

**4.1 Design Flows**

The design criteria used to determine the sanitary flows produced by the proposed development is as follows;

- Design Residential Domestic Flow per capita 350 L/cap/day
- Capita per dwelling 2.7 persons per townhouse
- Residential Peak Factor Where P is population in 1000s;

$$P.F. = 1 + \frac{14}{\sqrt{4 + P^{0.5}}}$$

- Commercial Flow 50,000 L/ha/day
- Commercial Peak Factor 1.5
- Light Industrial Flow 35,000 L/ha/day
- Light Industrial (Business Park) Peak Factor 4 (Appendix 4-B Ottawa Sewer Design Guidelines)
- Infiltration 0.28 L/ha/day
- Minimum Velocity 0.60 m/s
- Minimum Pipe Size 250 mm dia. (0.432 % slope)

**Table 4.1 - Sanitary Design Flows under Proposed Land Use and Zoning**

	Proposed Zoning	Area (ha)	Pop. (1000's)	Peak Popul. Flow Q(p) (L/s)	Peak Busi. Flow Q(i) (L/s)	Peak Comm. Flow Q(c) (L/s)	Peak Extran. Flow Q(e) (L/s)	Peak Design Flow Q(d) (L/s)
Business Park (Light Industrial)	IP	13.58			22.00		3.80	25.81
Residential	R4	8.14	0.608	9.67			2.28	11.95
Commercial	IP	3.73				3.24	1.04	4.28
<b>Total</b>		25.45	0.608	9.67	22.00	3.24	7.13	42.04

16.23 L/s  
SAN  
Flow to  
Cope Dr.

## Trevor McKay

---

**From:** Cripps, Brad <brad.cripps@ottawa.ca>  
**Sent:** Wednesday, March 20, 2019 11:52 AM  
**To:** Trevor McKay  
**Cc:** Surprenant, Eric  
**Subject:** RE: Comment Clarification - D07-16-190001 & D07-16-18-0027

Hello Trevor,

The comment that was provided related to the Bridlewood 3 application was provided by the water resources group. I have reached out to them to confirm what was meant by that comment and the implications. My understanding now is that there is a spill relief protection for the Fernbank and Stittsville trunk lines near the Hazeldean PS at 95.3m, however there is no such spill point in the South Glencairn trunk line. The operation of the pump station has been set up so that during large events the Fernbank and Stittsville trunk lines will be isolated and allowed to spill if there is a need while the pump station capacity will be reserved for the South Glencairn trunk line.

In speaking with infrastructure planning their recommendation is to use 95.3m as an approximate design value for selecting appropriate USF elevations to provide some level of protection during a large event. In your email below a reference to 99.3m as a minimum USF, can you confirm where this value was determined?

If you would like to discuss further please feel free to contact me.

**Brad Cripps, P.Eng.**

Project Manager, Infrastructure Approvals  
Development Review West  
City of Ottawa  
110 Laurier Avenue West, Ottawa ON, K1P 1J1  
613-580-2424, Ext. 28699  
[Brad.Cripps@ottawa.ca](mailto:Brad.Cripps@ottawa.ca)

---

**From:** Surprenant, Eric <Eric.Surprenant@ottawa.ca>  
**Sent:** March 18, 2019 3:21 PM  
**To:** Cripps, Brad <brad.cripps@ottawa.ca>  
**Subject:** FW: Comment Clarification - D07-16-190001 & D07-16-18-0027

Hi Brad,

Could you review the below. I was sure that you had spoken to me about this. Any information you can provide them on this?

Thanks  
Eric S.

---

**From:** Trevor McKay <[t.mckay@novatech-eng.com](mailto:t.mckay@novatech-eng.com)>

**Sent:** March 18, 2019 1:55 PM

**To:** Surprenant, Eric <[Eric.Surprenant@ottawa.ca](mailto:Eric.Surprenant@ottawa.ca)>

**Cc:** Drew Blair <[D.Blair@novatech-eng.com](mailto:D.Blair@novatech-eng.com)>; Marc St.Pierre <[m.stpierre@novatech-eng.com](mailto:m.stpierre@novatech-eng.com)>

**Subject:** Comment Clarification - D07-16-190001 & D07-16-18-0027

Eric,

Further to my voicemail early last week, we are requesting clarification on the intent/meaning of comments that we have received in response to the submissions for draft plan approval on the Van Gaal Lands (1039 Terry Fox Drive & 5331 Fernbank Road, D07-16-18-0027) and Bridlewood 3 (866 & 898 Eagleson Road and 1355 & 1365 Terry Fox Drive, D07-16-190001).

We have been informed that you will be the Engineering lead on both files, taking over from Gabrielle Schaeffer.

We have received different information regarding the sanitary sewer outlet conditions on both projects.

1. On the Van Gaal lands project we were informed during the pre-consultation that the sanitary sewer had an overflow at the Hazledean Pump Station and that an elevation of 99.30 should be used for the minimum USF on site.
2. On the Bridlewood 3 project, we have received a comment (#46) which states that the Hazledean PS does not have an overflow for this branch of the sanitary sewer.

Based on our understanding of the sanitary sewer system, both proposed outlets flow to the trunk sewer on Akerson Road. They share a common outlet from the corner of Cope Drive and Akerson Road to the Hazledean Pump Station.

We would also like clarification on what the requirements relating to the submission of an HGL analysis for the sanitary sewer are for draft approval. We understand the request for an HGL analysis, however it is our suggestion that based on the proposed USF elevations being higher than downstream developments, that this should be a requirement at the detail design phase.

Your clarification is appreciated. We are available should you wish to call and discuss.

**Trevor McKay**, B.Eng., E.I.T., Project Coordinator | Engineering/Contract Administration

**NOVATECH** Engineers, Planners & Landscape Architects

240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6 | Tel: 613.254.9643 Ext: 291 | Cell: 613.263.9113 | Fax: 613.254.5867

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Serviceability Report

Cavanagh Construction Ltd. / Karam  
SOHO West – Rev 3



**Project #604-00502**

Urban Land  
1505 Laperriere Avenue  
Ottawa, Ontario  
K1Z 7T1  
(613) 722-4420

**October 31, 2007**



**Stantec**



Cavanagh Construction  
SOHO Development Phase 1 and 2

# SANITARY SEWER DESIGN SHEET

(City of Ottawa)

DESIGN PARAMETERS

DATE: April 2007  
REVISION: October 2007  
DESIGNED BY: MJS  
CHECKED BY: KK

FILE NUMBER: 1604-00502

AVG. DAILY FLOW / PERSON = 350 l/p/day  
MINIMUM VELOCITY = 0.60 m/s  
n = 0.013  
MAX PEAK FACTOR = 4.0  
MIN PEAK FACTOR = 2.4

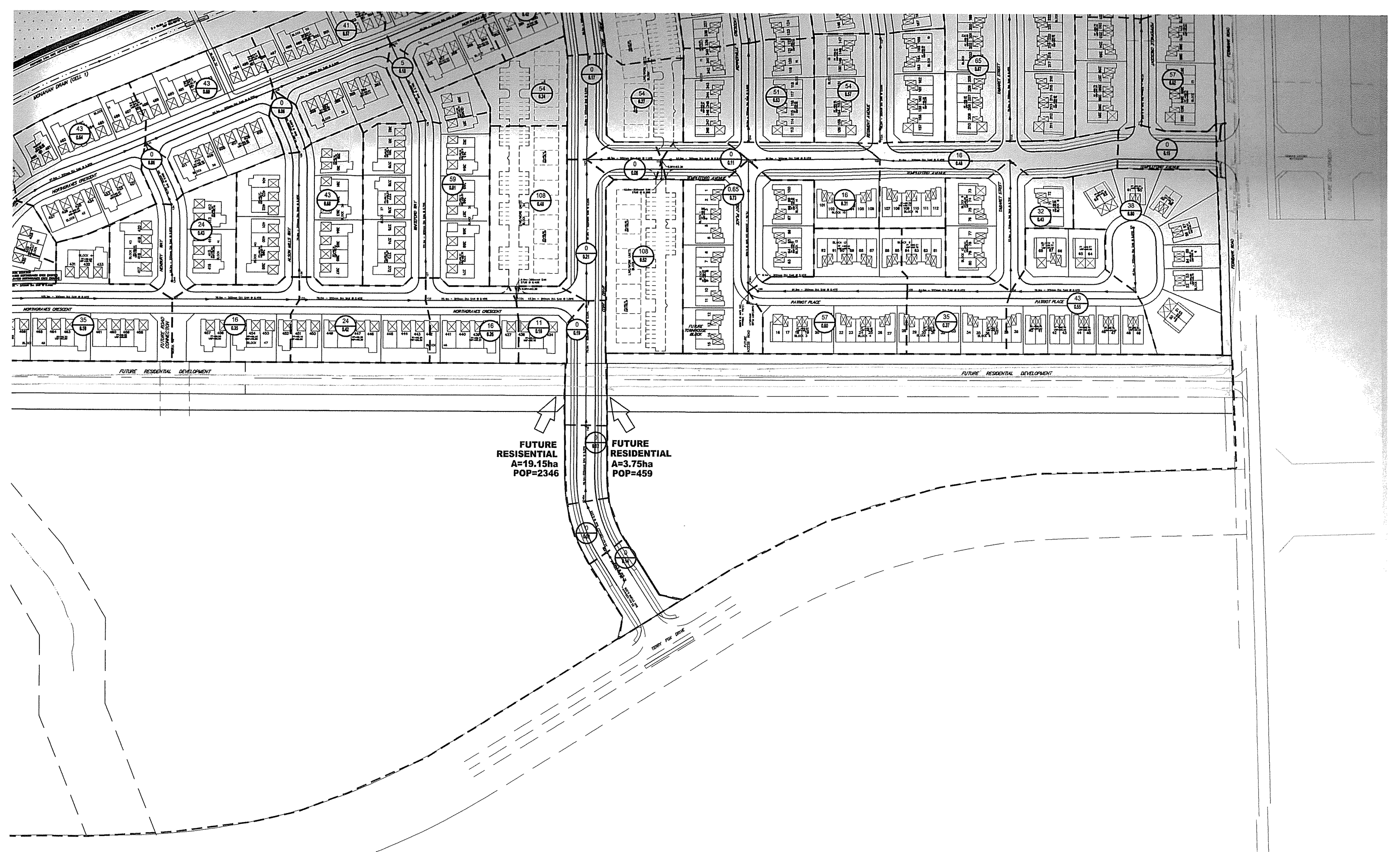
COMMERCIAL 50,000.00 l/Ha/day  
LIGHT INDUSTRIAL 35,000.00 l/Ha/day  
INSTITUTIONAL 0.60 l/s/Ha  
INFILTRATION 0.28 l/s/Ha  
RESIDENTIAL HARMON PEAKING FACTOR PERSONS/UNIT = 4.0  
KANATA WEST REPORT PERSONS/UNIT = 3.0

Peaking Factor Industrial: 1.5  
Peaking Factor Comm. / Inst.: 1.5

POPULATION DENSITY PER UNIT =  
Single Family = 3.4  
Townhouse = 2.7

LOCATION			RESIDENTIAL AREA AND POPULATION							COMM		INDUST		INSTIT		C+I		INFILTRATION			PIPE							
STREET	FROM MH	TO MH	AREA (ha)	UNITS Singles	UNITS Towns	UNITS (KWR)	POP	CUMULATIVE AREA (ha)	CUMULATIVE POP	PEAK FACT	PEAK FLOW (l/s)	AREA (ha)	AGGU (ha)	AREA (ha)	AGGU (ha)	AREA (ha)	AGGU (ha)	PEAK FLOW (l/s)	TOTAL AREA (ha)	TOTAL AGGU (ha)	INFILT FLOW (l/s)	TOTAL FLOW (l/s)	DIST (m)	DIA (mm)	SLOPE (%)	CAP (FULL) (l/s)	VEL (FULL) (m/s)	VEL (ACT) (m/s)
<b>Phase 1</b>																												
PATRIOT PLACE	101	102	0.80	14	0	0	38	0.80	38	4.00	0.62							0.00	0.80	0.80	0.224	0.84	40.5	200	0.65	26.88	0.84	0.34
PATRIOT PLACE	102	104	0.55	16	0	0	43	1.35	81	4.00	1.31							0.00	0.55	1.35	0.378	1.69	76.9	200	0.45	22.40	0.70	0.36
PATRIOT PLACE	104	105	0.37	13	0	0	35	1.72	116	4.00	1.88							0.00	0.37	1.72	0.482	2.36	64.0	200	0.45	22.40	0.70	0.43
PATRIOT PLACE	105	106	0.60	21	0	0	57	2.32	173	4.00	2.80							0.00	0.60	2.32	0.650	3.45	98.0	200	0.45	22.40	0.70	0.48
PATRIOT PLACE	106	109	0.73	24	0	0	65	3.05	238	4.00	3.86							0.00	0.73	3.05	0.854	4.71	81.0	200	0.45	22.40	0.70	0.53
TABARET STREET	104	107	0.43	12	0	0	32	0.43	32	4.00	0.52							0.00	0.43	0.43	0.120	0.64	83.8	200	0.70	27.84	0.87	0.35
TEMPLEFORD AVENUE	107	108	0.48	6	0	0	16	0.91	48	4.00	0.78							0.00	0.48	0.91	0.255	1.04	81.0	200	0.45	22.40	0.70	0.33
TEMPLEFORD AVENUE	108	109	0.31	6	0	0	16	1.22	64	4.00	1.04							0.00	0.31	1.22	0.342	1.38	81.0	200	0.45	22.40	0.70	0.36
TEMPLEFORD AVENUE	109	110	0.11	0	0	0	0	4.38	302	4.00	4.89							0.00	0.11	4.38	1.226	6.12	53.6	200	0.84	30.72	0.96	0.71
BLOCK 1	110B	110	0.52	40	0	0	108	0.52	108	4.00	1.75							0.00	0.52	0.52	0.146	1.90	111.5	200	0.75	29.12	0.91	0.47
TEMPLEFORD AVENUE	110	147	0.08	0	0	0	0	4.98	410	4.00	6.64							0.00	0.08	4.98	1.394	8.03	46.5	200	1.18	36.48	1.14	0.89
NORTHGRAVES	129	130	0.20	3	0	0	8	0.20	8	4.00	0.13							0.00	0.20	0.20	0.056	0.19	13.0	200	0.65	26.88	0.84	0.00
NORTHGRAVES	130	131	0.59	13	0	0	35	0.79	43	4.00	0.70							0.00	0.59	0.79	0.221	0.92	105.2	200	0.45	22.40	0.70	0.33
NORTHGRAVES	131	132	0.35	6	0	0	16	1.14	59	4.00	0.96							0.00	0.35	1.14	0.319	1.28	78.0	200	0.45	22.40	0.70	0.33
NORTHGRAVES	132	133	0.42	9	0	0	24	1.56	83	4.00	1.34							0.00	0.42	1.56	0.437	1.78	78.0	200	0.45	22.40	0.70	0.36
NORTHGRAVES	133	133A	0.26	6	0	0	16	1.82	99	4.00	1.60							0.00	0.26	1.82	0.510	2.11	55.4	200	0.45	22.40	0.70	0.41
BLOCK 34 ****	133C	133B	0.24	20	0	0	54	0.24	54	4.00	0.88							0.00	0.24	0.24	0.067	0.95	42.5	200	0.65	26.88	0.84	0.34
BLOCK 34 ****	133B	133A	0.48	40	0	0	108	0.72	162	4.00	2.63							0.00	0.48	0.72	0.202	2.83	113.0	200	0.40	21.12	0.66	0.44
NORTHGRAVES	133A	146	0.16	4	0	0	11	2.70	272	4.00	4.41							0.00	0.16	2.70	0.756	5.17	43.2	200	1.09	34.88	1.09	0.75
COPE DR ***	STUB	145B	125.14	0	0	0	8075	125.14	8075	3.05	99.77			28.72	28.72			17.45	153.86	153.86	43.081	160.30	20.4	525	0.25	223.00	1.00	1.09
COPE DR	145B	145A	0.09	0	0	0	0	125.23	8075	3.05	99.77							17.45	0.09	153.95	43.106	160.33	34.4	525	0.25	223.00	1.00	1.09
COPE DR	145A	145	0.12	0	0	0	0	125.35	8075	3.05	99.77							17.45	0.12	154.07	43.140	160.36	46.4	525	0.25	223.00	1.00	1.09
COPE DR	145	146	23.14	0	0	0	2811	148.49	10886	2.92	128.77			28.72	28.72			17.45	23.14	177.21	49.619	195.84	78.0	525	0.25	223.00	1.00	1.14
HENBURY WAY	134A	134	0.43	9	0	0	24	0.43	24	4.00	0.39							0.00	0.43	0.43	0.120	0.51	58.3	200	0.65	26.88	0.84	0.00
HENBURY WAY	134	141	0.06	0	0	0	0	0.49	24	4.00	0.39							0.00	0.06	0.49	0.137	0.53	42.6	200	0.65	26.88	0.84	0.00
ALSON MILLS WAY	135	136	0.68	16	0	0	43	0.68	43	4.00	0.70							0.00	0.68	0.68	0.190	0.89	79.9	200	0.65	26.88	0.84	0.34
ALSON MILLS WAY	136	142	0.06	0	0	0	0	0.74	43	4.00	0.70							0.00	0.06	0.74	0.207	0.91	41.6	200	0.82	30.40	0.95	0.38
WHITEFORD WAY	137	138	0.81	22	0	0	59	0.81	59	4.00	0.96							0.00	0.81	0.81	0.227	1.19	101.1	200	0.78	29.44	0.92	0.43
WHITEFORD WAY	138	143	0.18	2	0	0	5	0.99	64	4.00	1.04							0.00	0.18	0.99	0.277	1.32	54.4	200	0.78	29.44	0.92	0.43
NORTHGRAVES	129	139	0.22	4	0	0	11	0.22	11	4.00	0.18							0.00	0.22	0.22	0.062	0.24	26.7	200	0.65	26.88	0.84	0.00
NORTHGRAVES	139	140	0.29	7	0	0	19	0.51	30	4.00	0.49							0.00	0.29	0.51	0.143	0.63	31.2	200	0.45	22.40	0.70	0.28
NORTHGRAVES	140	141	0.64	16	0	0	43	1.15	73	4.00	1.18							0.00	0.64	8.00	2.240	3.42	87.6	200	0.65	26.88	0.84	0.55
NORTHGRAVES	141	142	0.60	16	0	0	43	2.24	140	4.00	2.27							0.00	0.60	9.09	2.545	4.82	85.7	200	0.35	19.84	0.62	0.50
NORTHGRAVES	142	143	0.57	15	0	0	41	3.55	224	4.00	3.63							0.00	0.57	10.40	2.912	6.54	79.8	200	0.55	24.96	0.78	0.64
NORTHGRAVES	143	144	0.44	11	0	0	30	4.98	318	4.00	5.15							0.00	0.44	11.83	3.312	8.46	60.0	200	0.69	27.84	0.87	0.76
NORTHGRAVES	144	149	0.42	10	0	0	27	5.40	345	4.00	5.59							0.00	0.42	12.25	3.430	9.02	64.5	200	0.69	27.84	0.87	0.77





**FUTURE RESIDENTIAL**  
A=19.15ha  
POP=2346

**FUTURE RESIDENTIAL**  
A=3.75ha  
POP=459

## Appendix C

## Boundary Conditions 5331 Fernbank Road

### Provided Information

Scenario	Demand	
	L/min	L/s
Average Daily Demand	79	1.31
Maximum Daily Demand	236	3.93
Peak Hour	353	5.89
Fire Flow Demand #1	12,000	200.00
Fire Flow Demand #2	16,000	266.67

### Scenario 1

### Location



### Results – Scenario 1

#### Connection 1 – Cope Drive

Demand Scenario	Head (m)	Pressure <sup>1</sup> (psi)
Maximum HGL	161.4	91.5
Peak Hour	156.4	84.4
Max Day plus Fire 1	152.4	78.8
Max Day plus Fire 2	149.3	74.4

Ground Elevation = 97.0 m

**Connection 2 – Patriot Place**

Demand Scenario	Head (m)	Pressure <sup>1</sup> (psi)
Maximum HGL	161.4	90.4
Peak Hour	156.3	83.2
Max Day plus Fire 1	108.3	14.9
Max Day plus Fire 2	74.8	-32.8

Ground Elevation = 97.8 m

**Scenario 2**

**Location**



**Results – Scenario 2**

**Connection 1 – Cope Drive**

Demand Scenario	Head (m)	Pressure <sup>1</sup> (psi)
Maximum HGL	161.4	91.5
Peak Hour	156.4	84.4
Max Day plus Fire 1	152.4	78.8
Max Day plus Fire 2	151.1	76.9

Ground Elevation = 97.0 m

## Connection 2 – Cope Drive

Demand Scenario	Head (m)	Pressure <sup>1</sup> (psi)
Maximum HGL	161.4	91.5
Peak Hour	156.4	84.4
Max Day plus Fire 1	152.4	78.7
Max Day plus Fire 2	149.2	74.2

Ground Elevation = 97.0 m

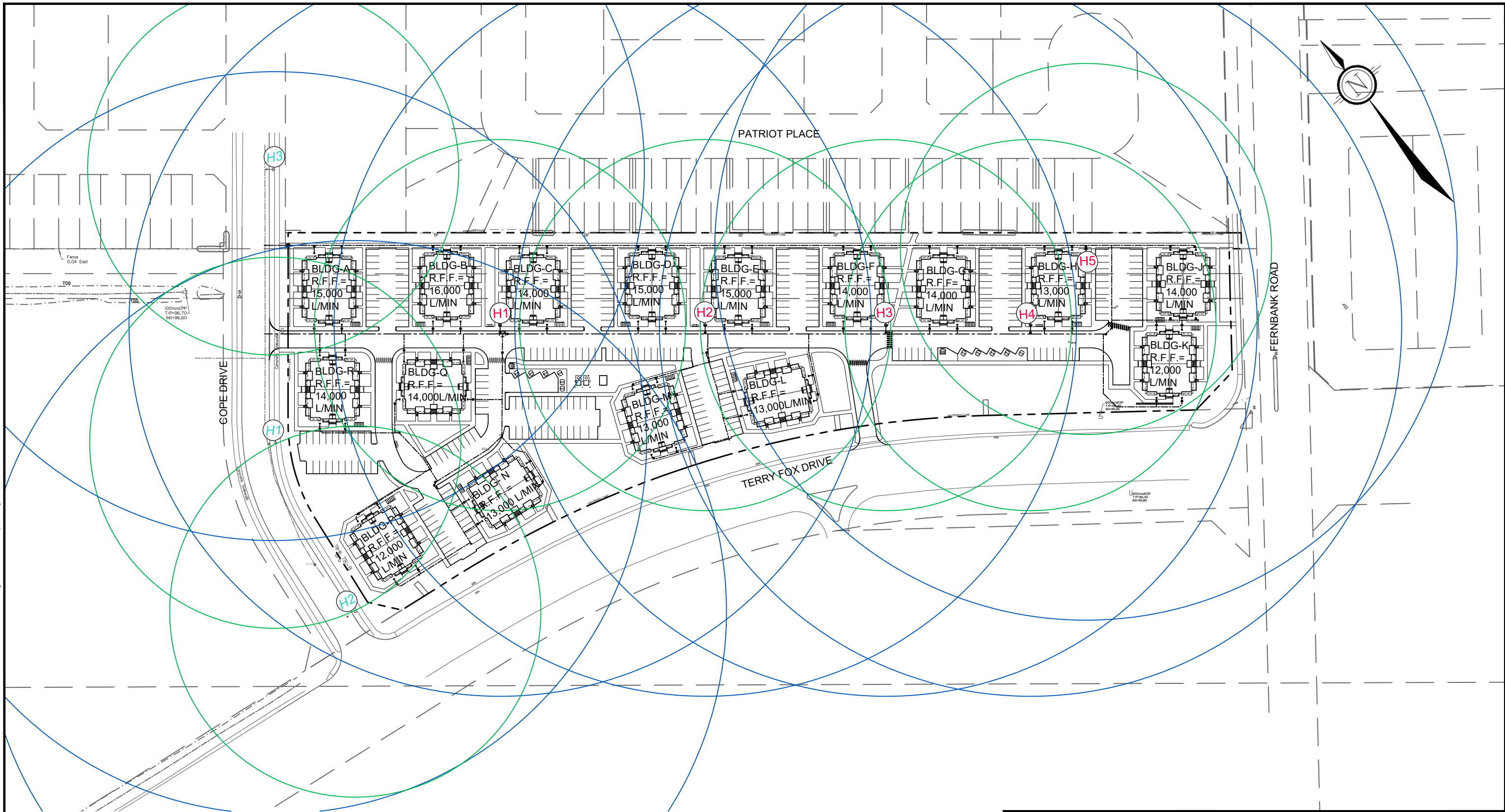
### **Notes**

1. Results for the requested service connection from Overberg Way were not included as it is not possible to service the site
2. As per the Ontario Building Code in areas that may be occupied, the static pressure at any fixture shall not exceed 552 kPa (80 psi.) Pressure control measures to be considered are as follows, in order of preference:
  - a. If possible, systems to be designed to residual pressures of 345 to 552 kPa (50 to 80 psi) in all occupied areas outside of the public right-of-way without special pressure control equipment.
  - b. Pressure reducing valves to be installed immediately downstream of the isolation valve in the home/ building, located downstream of the meter so it is owner maintained.

### **Disclaimer**

*The boundary condition information is based on current operation of the city water distribution system. The computer model simulation is based on the best information available at the time. The operation of the water distribution system can change on a regular basis, resulting in a variation in boundary conditions. The physical properties of watermains deteriorate over time, as such must be assumed in the absence of actual field test data. The variation in physical watermain properties can therefore alter the results of the computer model simulation. Fire Flow analysis is a reflection of available flow in the watermain; there may be additional restrictions that occur between the watermain and the hydrant that the model cannot take into account.*

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**LEGEND**

- PROPOSED WATERMAIN
- - - EXISTING WATERMAIN
- R.F.F. REQUIRED FIRE FLOW
- 75m COVERAGE RADIUS
- 150m COVERAGE RADIUS
- ⊙ H2 PROPOSED HYDRANT
- ⊙ H1 EXISTING HYDRANT



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CITY OF OTTAWA -  
FERNBANK ZENS

**FIRE HYDRANT COVERAGE PLAN**

SCALE 1 : 1500

DATE MAY 2021 JOB 121011 FIGURE FIG-1

**Population and Consumption Rate Calculations**

Node	Number of Units	Persons per Unit	Population	Consumption Rates (L/s)		
				Average Daily	Maximum Daily	Maximum Hourly
R1	0	2.10	0	0.00	0.00	0.00
R2	0	2.10	0	0.00	0.00	0.00
N1	30	2.10	63	0.20	0.61	0.92
N2	36	2.10	76	0.25	0.74	1.10
N3	36	2.10	76	0.25	0.74	1.10
N4	12	2.10	25	0.08	0.25	0.37
N5	24	2.10	50	0.16	0.49	0.74
N6	12	2.10	25	0.08	0.25	0.37
N7	12	2.10	25	0.08	0.25	0.37
N8	12	2.10	25	0.08	0.25	0.37
N9	18	2.10	38	0.12	0.37	0.55
N10	0	2.10	0	0.00	0.00	0.00
N11	0	2.10	0	0.00	0.00	0.00
N12	0	2.10	0	0.00	0.00	0.00
N13	0	2.10	0	0.00	0.00	0.00
N14	0	2.10	0	0.00	0.00	0.00
<b>Total</b>	<b>192</b>	<b>2.10</b>	<b>403</b>	<b>1.31</b>	<b>3.92</b>	<b>5.88</b>

**Water Demand Parameters**

Zen Units	2.10	persons/unit
Residential Demand	280	L/c/day
Residential Max Day	3.00	x Avg Day
Residential Peak Hour	4.50	x Avg Day
Zen Fire Flow (small)	267.00	L/s

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi	Age hours
Resvr R1	161.40	-0.76	161.40	0.00	0.00	0.00	0.0
Resvr R2	161.40	-0.54	161.40	0.00	0.00	0.00	0.0
Junc N1	97.02	0.20	161.40	64.38	631.57	91.60	1.1
Junc N2	97.11	0.25	161.40	64.29	630.68	91.47	2.5
Junc N3	97.21	0.25	161.40	64.19	629.70	91.33	3.4
Junc N4	97.40	0.08	161.40	64.00	627.84	91.06	19.5
Junc N5	97.50	0.16	161.40	63.90	626.86	90.92	11.7
Junc N6	97.65	0.08	161.40	63.75	625.39	90.70	8.2
Junc N7	97.62	0.08	161.40	63.78	625.68	90.75	5.5
Junc N8	97.54	0.08	161.40	63.86	626.47	90.86	3.2
Junc N9	97.48	0.12	161.40	63.92	627.06	90.95	1.1
Junc N10	97.10	0.00	161.40	64.30	630.78	91.49	0.1
Junc N11	96.70	0.00	161.40	64.70	634.71	92.06	0.1

Maximum Pressure  
 Maximum Age



**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	84.40	200	110	0.76	0.02	0.01	0.051
Pipe P2	71.30	150	100	0.25	0.01	0.00	0.065
Pipe P3	82.90	200	110	0.31	0.01	0.00	0.053
Pipe P4	73.00	200	110	0.06	0.00	0.00	0.000
Pipe P5	58.40	200	110	-0.02	0.00	0.00	0.000
Pipe P6	70.80	200	110	-0.18	0.01	0.00	0.065
Pipe P7	81.50	200	110	-0.26	0.01	0.00	0.053
Pipe P8	86.80	200	110	-0.34	0.01	0.00	0.058
Pipe P9	100.40	200	110	-0.42	0.01	0.00	0.054
Pipe P10	64.10	200	110	-0.54	0.02	0.00	0.054
Pipe P12	1.00	200	110	-0.54	0.02	0.00	0.000
Pipe P13	1.00	200	110	-0.76	0.02	0.00	0.000

**MAXIMUM HOUR DEMAND**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	156.40	-3.44	156.40	0.00	0.00	0.00
Resvr R2	156.40	-2.45	156.40	0.00	0.00	0.00
Junc N1	97.02	0.92	156.39	59.37	582.42	84.47
Junc N2	97.11	1.10	156.38	59.27	581.44	84.33
Junc N3	97.21	1.10	156.39	59.18	580.56	84.20
Junc N4	97.40	0.37	156.39	58.99	578.69	83.93
Junc N5	97.50	0.74	156.39	58.89	577.71	83.79
Junc N6	97.65	0.37	156.39	58.74	576.24	83.58
Junc N7	97.62	0.37	156.39	58.77	576.53	83.62
Junc N8	97.54	0.37	156.39	58.85	577.32	83.73
Junc N9	97.48	0.55	156.40	58.92	578.01	83.83
Junc N10	97.10	0.00	156.40	59.30	581.73	84.37
Junc N12	96.70	0.00	156.40	59.70	585.66	84.94

 Minimum Pressure

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	84.4	200	110	3.44	0.11	0.12	0.040
Pipe P2	71.3	150	100	1.10	0.06	0.07	0.055
Pipe P3	82.9	200	110	1.42	0.05	0.02	0.045
Pipe P4	73.0	200	110	0.32	0.01	0.00	0.066
Pipe P5	58.4	200	110	-0.05	0.00	0.00	0.575
Pipe P6	70.8	200	110	-0.79	0.03	0.01	0.049
Pipe P7	81.5	200	110	-1.16	0.04	0.02	0.048
Pipe P8	86.8	200	110	-1.53	0.05	0.03	0.045
Pipe P9	100.4	200	110	-1.90	0.06	0.04	0.044
Pipe P10	64.1	200	110	-2.45	0.08	0.07	0.042
Pipe P12	1.0	200	110	-2.45	0.08	0.07	0.048
Pipe P13	1.0	200	110	-3.44	0.11	0.13	0.043

**MAXIMUM DAY + FIRE FLOW DEMAND AT N1**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-174.44	149.20	0.00	0.00	0.00
Resvr R2	151.10	-96.17	151.10	0.00	0.00	0.00
Junc N1	97.02	95.61	141.74	44.72	438.70	63.63
Junc N2	97.11	0.74	141.73	44.62	437.72	63.49
Junc N3	97.21	64.07	141.59	44.38	435.37	63.14
Junc N4	97.40	0.25	142.83	45.43	445.67	64.64
Junc N5	97.50	0.49	143.83	46.33	454.50	65.92
Junc N6	97.65	0.25	145.07	47.42	465.19	67.47
Junc N7	97.62	0.25	146.52	48.90	479.71	69.58
Junc N8	97.54	0.25	148.06	50.52	495.60	71.88
Junc N9	97.48	0.37	149.87	52.39	513.95	74.54
Junc N10	97.10	0.00	151.04	53.94	529.15	76.75
Junc N11	96.86	45.00	150.99	54.13	531.02	77.02
Junc N12	96.70	0.00	149.02	52.32	513.26	74.44
Junc N13	97.12	63.33	148.88	51.76	507.77	73.65
Junc N14	97.65	0.00	148.88	51.23	502.57	72.89

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-111.11	3.54	76.69	0.024
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	14.76	0.47	1.82	0.032
Pipe P4	73.00	200	110	-49.31	1.57	17.04	0.027
Pipe P5	58.40	200	110	-49.56	1.58	17.20	0.027
Pipe P6	70.80	200	110	-50.05	1.59	17.52	0.027
Pipe P7	81.50	200	110	-50.30	1.60	17.68	0.027
Pipe P8	86.80	200	110	-50.55	1.61	17.84	0.027
Pipe P9	100.40	200	110	-50.80	1.62	18.00	0.027
Pipe P10	64.10	200	110	-51.17	1.63	18.25	0.027
Pipe P11	30.80	300	120	45.00	0.64	1.70	0.025
Pipe P12	1.00	200	110	-96.17	3.06	58.70	0.025
Pipe P13	1.00	200	110	-174.44	5.55	176.84	0.023
Pipe P14	44.50	300	120	63.33	0.90	3.20	0.023
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N3**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-165.42	149.20	0.00	0.00	0.00
Resvr R2	151.10	-88.53	151.10	0.00	0.00	0.00
Junc N1	97.02	60.61	133.81	36.79	360.91	52.35
Junc N2	97.11	0.74	133.81	36.70	360.03	52.22
Junc N3	97.21	95.74	128.18	30.97	303.82	44.06
Junc N4	97.40	95.25	128.13	30.73	301.46	43.72
Junc N5	97.50	0.49	130.98	33.48	328.44	47.64
Junc N6	97.65	0.25	134.46	36.81	361.11	52.37
Junc N7	97.62	0.25	138.49	40.87	400.93	58.15
Junc N8	97.54	0.25	142.80	45.26	444.00	64.40
Junc N9	97.48	0.37	147.82	50.34	493.84	71.62
Junc N10	97.10	0.00	151.05	53.95	529.25	76.76
Junc N11	96.86	0.00	151.05	54.19	531.60	77.10
Junc N12	96.70	0.00	149.04	52.34	513.46	74.47
Junc N13	97.12	0.00	149.04	51.92	509.34	73.87
Junc N14	97.65	0.00	149.04	51.39	504.14	73.12

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-165.42	5.27	160.28	0.023
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	104.07	3.31	67.94	0.024
Pipe P4	73.00	200	110	8.33	0.27	0.63	0.035
Pipe P5	58.40	200	110	-86.92	2.77	48.68	0.025
Pipe P6	70.80	200	110	-87.41	2.78	49.19	0.025
Pipe P7	81.50	200	110	-87.66	2.79	49.45	0.025
Pipe P8	86.80	200	110	-87.91	2.80	49.71	0.025
Pipe P9	100.40	200	110	-88.16	2.81	49.97	0.025
Pipe P10	64.10	200	110	-88.53	2.82	50.36	0.025
Pipe P11	30.80	300	120	0.00	0.00	0.00	0.000
Pipe P12	1.00	200	110	-88.53	2.82	50.36	0.025
Pipe P13	1.00	200	110	-165.42	5.27	160.28	0.023
Pipe P14	44.50	300	120	0.00	0.00	0.00	0.000
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N4**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-147.58	149.20	0.00	0.00	0.00
Resvr R2	151.10	-106.37	151.10	0.00	0.00	0.00
Junc N1	97.02	0.61	136.74	39.72	389.65	56.51
Junc N2	97.11	0.74	136.74	39.63	388.77	56.39
Junc N3	97.21	60.74	126.17	28.96	284.10	41.20
Junc N4	97.40	95.25	122.72	25.32	248.39	36.03
Junc N5	97.50	95.49	122.77	25.27	247.90	35.95
Junc N6	97.65	0.25	127.68	30.03	294.59	42.73
Junc N7	97.62	0.25	133.36	35.74	350.61	50.85
Junc N8	97.54	0.25	139.44	41.90	411.04	59.62
Junc N9	97.48	0.37	146.49	49.01	480.79	69.73
Junc N10	97.10	0.00	151.03	53.93	529.05	76.73
Junc N11	96.86	0.00	151.03	54.17	531.41	77.07
Junc N12	96.70	0.00	149.07	52.37	513.75	74.51
Junc N13	97.12	0.00	149.07	51.95	509.63	73.92
Junc N14	97.65	0.00	149.07	51.42	504.43	73.16

 Minimum Pressure  
 Applied Fire Flow (SUM)



**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-147.58	4.70	129.75	0.023
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	146.23	4.65	127.56	0.023
Pipe P4	73.00	200	110	85.49	2.72	47.21	0.025
Pipe P5	58.40	200	110	-9.76	0.31	0.85	0.035
Pipe P6	70.80	200	110	-105.25	3.35	69.37	0.024
Pipe P7	81.50	200	110	-105.50	3.36	69.68	0.024
Pipe P8	86.80	200	110	-105.75	3.37	69.98	0.024
Pipe P9	100.40	200	110	-106.00	3.37	70.29	0.024
Pipe P10	64.10	200	110	-106.37	3.39	70.75	0.024
Pipe P11	30.80	300	120	0.00	0.00	0.00	0.000
Pipe P12	1.00	200	110	-106.37	3.39	70.75	0.024
Pipe P13	1.00	200	110	-147.58	4.70	129.75	0.023
Pipe P14	44.50	300	120	0.00	0.00	0.00	0.000
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N5**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-122.77	149.20	0.00	0.00	0.00
Resvr R2	151.10	-114.51	151.10	0.00	0.00	0.00
Junc N1	97.02	0.61	140.34	43.32	424.97	61.64
Junc N2	97.11	0.74	140.34	43.23	424.09	61.51
Junc N3	97.21	0.74	132.85	35.64	349.63	50.71
Junc N4	97.40	43.58	126.32	28.92	283.71	41.15
Junc N5	97.50	95.49	124.05	26.55	260.46	37.78
Junc N6	97.65	95.25	124.24	26.59	260.85	37.83
Junc N7	97.62	0.25	130.76	33.14	325.10	47.15
Junc N8	97.54	0.25	137.73	40.19	394.26	57.18
Junc N9	97.48	0.37	145.82	48.34	474.22	68.78
Junc N10	97.10	0.00	151.02	53.92	528.96	76.72
Junc N11	96.86	0.00	151.02	54.16	531.31	77.06
Junc N12	96.70	0.00	149.11	52.41	514.14	74.57
Junc N13	97.12	0.00	149.11	51.99	510.02	73.97
Junc N14	97.65	0.00	149.11	51.46	504.82	73.22

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-122.77	3.91	92.27	0.024
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	121.42	3.86	90.40	0.024
Pipe P4	73.00	200	110	120.68	3.84	89.38	0.024
Pipe P5	58.40	200	110	77.10	2.45	38.98	0.025
Pipe P6	70.80	200	110	-18.39	0.59	2.74	0.031
Pipe P7	81.50	200	110	-113.64	3.62	79.96	0.024
Pipe P8	86.80	200	110	-113.89	3.63	80.29	0.024
Pipe P9	100.40	200	110	-114.14	3.63	80.62	0.024
Pipe P10	64.10	200	110	-114.51	3.64	81.10	0.024
Pipe P11	30.80	300	120	0.00	0.00	0.00	0.000
Pipe P12	1.00	200	110	-114.51	3.64	81.10	0.024
Pipe P13	1.00	200	110	-122.77	3.91	92.27	0.024
Pipe P14	44.50	300	120	0.00	0.00	0.00	0.000
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N6**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-122.77	149.20	0.00	0.00	0.00
Resvr R2	151.10	-114.51	151.10	0.00	0.00	0.00
Junc N1	97.02	0.61	140.34	43.32	424.97	61.64
Junc N2	97.11	0.74	140.34	43.23	424.09	61.51
Junc N3	97.21	0.74	132.85	35.64	349.63	50.71
Junc N4	97.40	43.58	126.32	28.92	283.71	41.15
Junc N5	97.50	95.49	124.05	26.55	260.46	37.78
Junc N6	97.65	95.25	124.24	26.59	260.85	37.83
Junc N7	97.62	0.25	130.76	33.14	325.10	47.15
Junc N8	97.54	0.25	137.73	40.19	394.26	57.18
Junc N9	97.48	0.37	145.82	48.34	474.22	68.78
Junc N10	97.10	0.00	151.02	53.92	528.96	76.72
Junc N11	96.86	0.00	151.02	54.16	531.31	77.06
Junc N12	96.70	0.00	149.11	52.41	514.14	74.57
Junc N13	97.12	0.00	149.11	51.99	510.02	73.97
Junc N14	97.65	0.00	149.11	51.46	504.82	73.22

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-122.77	3.91	92.27	0.024
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	121.42	3.86	90.40	0.024
Pipe P4	73.00	200	110	120.68	3.84	89.38	0.024
Pipe P5	58.40	200	110	77.10	2.45	38.98	0.025
Pipe P6	70.80	200	110	-18.39	0.59	2.74	0.031
Pipe P7	81.50	200	110	-113.64	3.62	79.96	0.024
Pipe P8	86.80	200	110	-113.89	3.63	80.29	0.024
Pipe P9	100.40	200	110	-114.14	3.63	80.62	0.024
Pipe P10	64.10	200	110	-114.51	3.64	81.10	0.024
Pipe P11	30.80	300	120	0.00	0.00	0.00	0.000
Pipe P12	1.00	200	110	-114.51	3.64	81.10	0.024
Pipe P13	1.00	200	110	-122.77	3.91	92.27	0.024
Pipe P14	44.50	300	120	0.00	0.00	0.00	0.000
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N11**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-126.03	149.20	0.00	0.00	0.00
Resvr R2	151.10	-127.92	151.10	0.00	0.00	0.00
Junc N1	97.02	95.61	146.32	49.30	483.63	70.15
Junc N2	97.11	0.74	146.32	49.21	482.75	70.02
Junc N3	97.21	0.74	146.90	49.69	487.46	70.70
Junc N4	97.40	0.25	147.43	50.03	490.79	71.18
Junc N5	97.50	0.49	147.86	50.36	494.03	71.65
Junc N6	97.65	0.25	148.39	50.74	497.76	72.19
Junc N7	97.62	0.25	149.02	51.40	504.23	73.13
Junc N8	97.54	0.25	149.69	52.15	511.59	74.20
Junc N9	97.48	0.37	150.48	53.00	519.93	75.41
Junc N10	97.10	0.00	151.00	53.90	528.76	76.69
Junc N11	96.86	95.00	150.79	53.93	529.05	76.73
Junc N12	96.70	0.00	149.10	52.40	514.04	74.56
Junc N13	97.12	60.00	148.97	51.85	508.65	73.77
Junc N14	97.65	0.00	148.97	51.32	503.45	73.02

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-66.03	2.10	29.26	0.026
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	-30.32	0.97	6.92	0.029
Pipe P4	73.00	200	110	-31.06	0.99	7.24	0.029
Pipe P5	58.40	200	110	-31.31	1.00	7.35	0.029
Pipe P6	70.80	200	110	-31.80	1.01	7.56	0.029
Pipe P7	81.50	200	110	-32.05	1.02	7.67	0.029
Pipe P8	86.80	200	110	-32.30	1.03	7.78	0.029
Pipe P9	100.40	200	110	-32.55	1.04	7.89	0.029
Pipe P10	64.10	200	110	-32.92	1.05	8.06	0.029
Pipe P11	30.80	300	120	95.00	1.34	6.78	0.022
Pipe P12	1.00	200	110	-127.92	4.07	99.57	0.024
Pipe P13	1.00	200	110	-126.03	4.01	96.86	0.024
Pipe P14	44.50	300	120	60.00	0.85	2.89	0.024
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N13**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-133.16	149.20	0.00	0.00	0.00
Resvr R2	151.10	-120.79	151.10	0.00	0.00	0.00
Junc N1	97.02	60.61	148.09	51.07	501.00	72.66
Junc N2	97.11	0.74	148.08	50.97	500.02	72.52
Junc N3	97.21	0.74	148.44	51.23	502.57	72.89
Junc N4	97.40	0.25	148.76	51.36	503.84	73.08
Junc N5	97.50	0.49	149.03	51.53	505.51	73.32
Junc N6	97.65	0.25	149.36	51.71	507.28	73.57
Junc N7	97.62	0.25	149.75	52.13	511.40	74.17
Junc N8	97.54	0.25	150.18	52.64	516.40	74.90
Junc N9	97.48	0.37	150.68	53.20	521.89	75.69
Junc N10	97.10	0.00	151.01	53.91	528.86	76.70
Junc N11	96.86	95.00	150.80	53.94	529.15	76.75
Junc N12	96.70	0.00	149.09	52.39	513.95	74.54
Junc N13	97.12	95.00	148.79	51.67	506.88	73.52
Junc N14	97.65	0.00	148.79	51.14	501.68	72.76

	Minimum Pressure
	Applied Fire Flow (SUM)



**Pipe Report**

Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	-38.16	1.21	10.60	0.028
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	-23.19	0.74	4.21	0.030
Pipe P4	73.00	200	110	-23.93	0.76	4.47	0.030
Pipe P5	58.40	200	110	-24.18	0.77	4.55	0.030
Pipe P6	70.80	200	110	-24.67	0.79	4.73	0.030
Pipe P7	81.50	200	110	-24.92	0.79	4.81	0.030
Pipe P8	86.80	200	110	-25.17	0.80	4.90	0.030
Pipe P9	100.40	200	110	-25.42	0.81	4.99	0.030
Pipe P10	64.10	200	110	-25.79	0.82	5.13	0.030
Pipe P11	30.80	300	120	95.00	1.34	6.78	0.022
Pipe P12	1.00	200	110	-120.79	3.84	89.54	0.024
Pipe P13	1.00	200	110	-133.16	4.24	107.25	0.023
Pipe P14	44.50	300	120	95.00	1.34	6.78	0.022
Pipe P15	77.50	300	120	0.00	0.00	0.00	0.000

**MAXIMUM DAY + FIRE FLOW DEMAND AT N14**

**Junction Report**

Node ID	Elevation m	Demand LPS	Total Head m	Pressure m	Pressure kPa	Pressure psi
Resvr R1	149.20	-182.53	149.20	0.00	0.00	0.00
Resvr R2	151.10	-21.42	151.10	0.00	0.00	0.00
Junc N1	97.02	10.61	149.06	52.04	510.51	74.04
Junc N2	97.11	0.74	149.05	51.94	509.53	73.90
Junc N3	97.21	0.74	149.29	52.08	510.90	74.10
Junc N4	97.40	0.25	149.52	52.12	511.30	74.16
Junc N5	97.50	0.49	149.70	52.20	512.08	74.27
Junc N6	97.65	0.25	149.94	52.29	512.96	74.40
Junc N7	97.62	0.25	150.21	52.59	515.91	74.83
Junc N8	97.54	0.25	150.51	52.97	519.64	75.37
Junc N9	97.48	0.37	150.86	53.38	523.66	75.95
Junc N10	97.10	0.00	151.10	54.00	529.74	76.83
Junc N11	96.86	0.00	151.10	54.24	532.09	77.17
Junc N12	96.70	0.00	149.01	52.31	513.16	74.43
Junc N13	97.12	95.00	147.92	50.80	498.35	72.28
Junc N14	97.65	95.00	147.39	49.74	487.95	70.77

	Minimum Pressure
	Applied Fire Flow (SUM)

**Pipe Report**

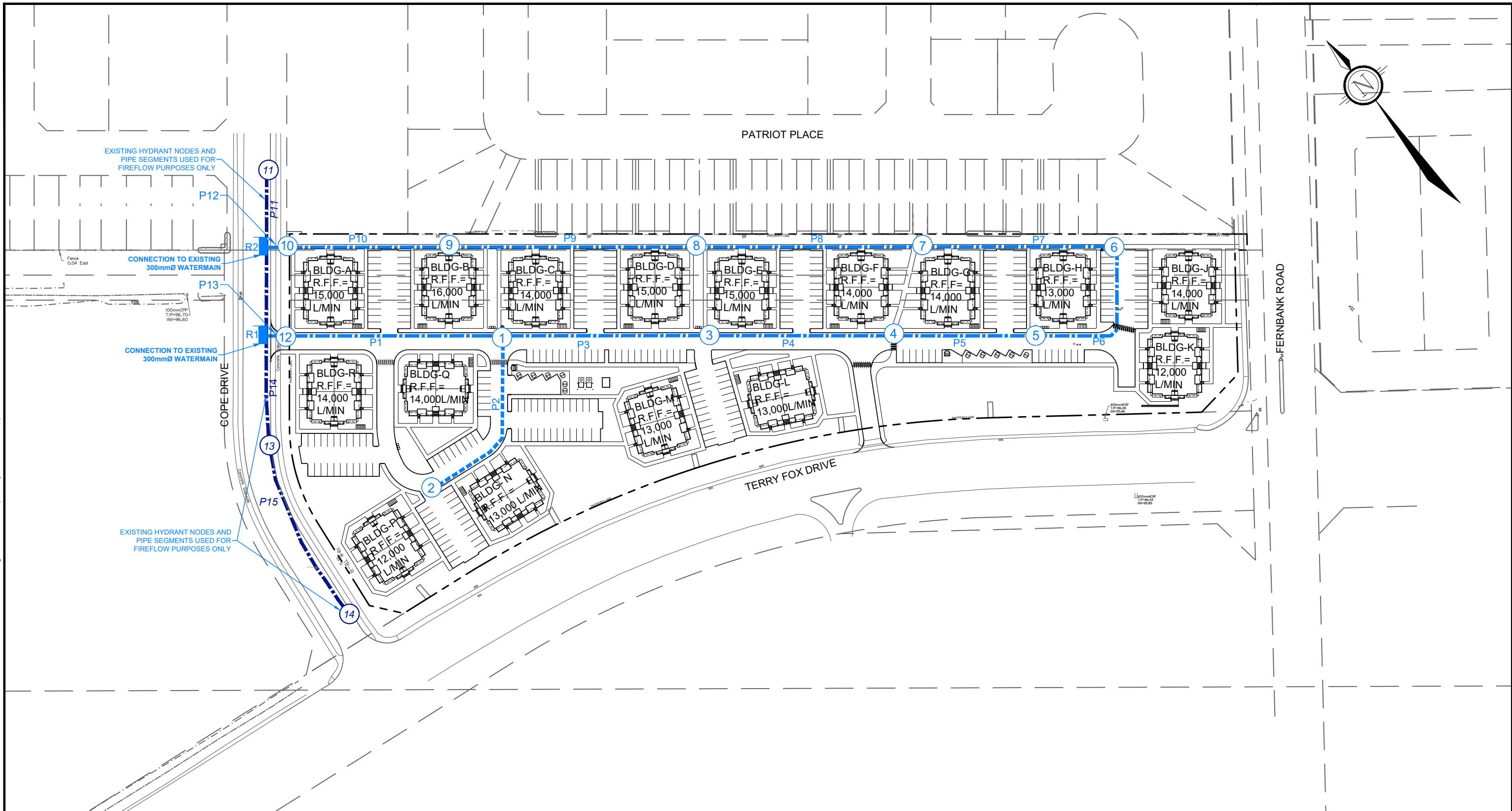
Link ID	Length m	Diameter mm	Roughness	Flow LPS	Velocity m/s	Headloss m/km	Friction Factor
Pipe P1	95.00	200	110	7.47	0.24	0.52	0.036
Pipe P2	71.30	150	100	0.74	0.04	0.03	0.058
Pipe P3	82.90	200	110	-18.82	0.60	2.86	0.031
Pipe P4	73.00	200	110	-19.56	0.62	3.08	0.031
Pipe P5	58.40	200	110	-19.81	0.63	3.15	0.031
Pipe P6	70.80	200	110	-20.30	0.65	3.29	0.031
Pipe P7	81.50	200	110	-20.55	0.65	3.37	0.031
Pipe P8	86.80	200	110	-20.80	0.66	3.45	0.031
Pipe P9	100.40	200	110	-21.05	0.67	3.52	0.031
Pipe P10	64.10	200	110	-21.42	0.68	3.64	0.031
Pipe P11	30.80	300	120	0.00	0.00	0.00	0.000
Pipe P12	1.00	200	110	-21.42	0.68	3.64	0.031
Pipe P13	1.00	200	110	-182.53	5.81	192.32	0.022
Pipe P14	44.50	300	120	190.00	2.69	24.47	0.020
Pipe P15	77.50	300	120	95.00	1.34	6.78	0.022

**MAXIMUM DAY + FIRE FLOW DEMAND SUMMARY**

Maximum day plus fire flow demand was modeled for each node.  
The following is a summary of the minimum pressures that occurred for each operating condition.

Fire at Junction	Demand (L/s)			Minimum Pressure			
	Maximum Daily	Fire Flow	Max Day + Fire	(m)	kPa	psi	Node
N1	0.61	266.66	267.27	44.38	435.37	63.14	N3
N3	0.74	250.00	250.74	30.73	301.46	43.72	N4
N4	0.25	250.00	250.25	26.31	258.10	37.43	N4
N5	0.49	233.33	233.82	26.55	260.46	37.78	N5
N6	0.25	233.33	233.58	26.55	260.46	37.78	N5
N11	0.00	250.00	250.00	49.21	482.75	70.02	N2
N13	0.00	250.00	250.00	50.97	500.02	72.52	N2
N14	0.00	200.00	200.00	49.74	487.95	70.77	N14

M:\2021\121011\DATA\Calculations\Sewer\_Calcs\Water\202105XX-Submission #120210513-121011-NODENETWORK.dwg, 11x17 landscape, May 14, 2021 - 1:56pm, aeclin



**LEGEND**

- SITE BOUNDARY
- PROPOSED 200mm WATERMAIN
- PROPOSED 150mm WATERMAIN
- EXISTING WATERMAIN
- PROPOSED NODE AND ID NUMBER
- EXISTING HYDRANT NODE AND ID NUMBER
- EXISTING RESERVOIR AND ID NUMBER
- BLDG-P  
R.F.F.=  
12,000  
L/MIN
- REQUIRED FIRE FLOW

**NOVATECH**  
 Engineers, Planners & Landscape Architects  
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 Ottawa, Ontario, Canada K2M 1P6  
 Telephone (613) 254-9643  
 Facsimile (613) 254-5867  
 Website www.novatech-eng.com

**CITY OF OTTAWA  
 FERNBANK ZENS**

**PROPOSED WATERMAIN LAYOUT  
 AND NODES**

SCALE 1 : 1500

DATE MAY 2021 JOB 121011 FIGURE FIG-WM

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Large 12 Unit Zen Building A  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>		1,320	12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )			440	
		Number of Floors/Storeys			3	
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,590		
	<b>(3)</b>	North Side	30.1 - 45 m		5%	
		East Side	10.1 - 20 m		15%	
		South Side	20.1 - 30 m		10%	
		West Side	10.1 - 20 m		15%	
<b>Cumulative Total</b>			<b>45%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>15,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>250</b>
				or	<b>USGPM</b>	<b>3,963</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	2700	

<b>FUS - Fire Flow Calculations - User Guide</b>			
<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel		<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>	
<b>Note: This form only applies for Wood Frame, Ordinary or Non-combustible</b>			
Enter a description of the building or unit being considered, i.e. use/most stringent condition/address			
<b>Summary</b>			
Construction Type		Wood frame	
Area		1,320 m <sup>2</sup>	
Occupancy Reduction		-15%	
Sprinkler Reduction		0%	
<b>Base Fire Flow</b>		Exposure Surcharge 45%	
Generally most OBC Part 9 Buildings		Total Fire Flow 15,000 L/min	
1	<b>Construction Material</b>		<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect		
2	<b>Floor Area</b>		
	If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly		
<b>Reductions or Surcharges</b>			
3	<b>Occupancy hazard reduction or surcharge</b>		
	Residential - with no garage - Not Typical		
	Residential - with garage		
	General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS		
4	<b>Sprinkler Reduction</b>		
	Is the building sprinklered?		
	Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)		
5	<b>Exposure Surcharge (cumulative %)</b>		
	For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada		
<b>Results</b>			
6	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min If IGPM is needed, divide USGPM by 1.20095		
7	For Rural areas, or where required		

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

**Novatech Project #:** 121011  
**Project Name:** Zens 5331 Fernbank Road  
**Date:** 5/10/2021  
**Input By:** Drew Blair  
**Reviewed By:** Steve Zorgel

Legend

Input by User

No Information or Input Required

**Building Description:** 3 Storey - Large 12 Unit Zen Building B  
**Wood frame**

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,320	
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	5,610		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	10.1 - 20 m		15%	
		South Side	10.1 - 20 m		15%	
		West Side	10.1 - 20 m		15%	
<b>Cumulative Total</b>			<b>55%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>16,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>267</b>
				or	<b>USGPM</b>	<b>4,227</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	3360	



<b>FUS - Fire Flow Calculations - User Guide</b>																							
<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel		<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>																					
<b>Note: This form only applies for Wood Frame, Ordinary or Non-combustible</b>																							
Enter a description of the building or unit being considered, i.e. use/most stringent condition/address																							
<table border="1"> <thead> <tr> <th colspan="3"><b>Summary</b></th> </tr> </thead> <tbody> <tr> <td>Construction Type</td> <td>Wood frame</td> <td></td> </tr> <tr> <td>Area</td> <td>1,320</td> <td>m<sup>2</sup></td> </tr> <tr> <td>Occupancy Reduction</td> <td>-15%</td> <td></td> </tr> <tr> <td>Sprinkler Reduction</td> <td>0%</td> <td></td> </tr> <tr> <td>Exposure Surcharge</td> <td>55%</td> <td></td> </tr> <tr> <td>Total Fire Flow</td> <td>16,000</td> <td>L/min</td> </tr> </tbody> </table>			<b>Summary</b>			Construction Type	Wood frame		Area	1,320	m <sup>2</sup>	Occupancy Reduction	-15%		Sprinkler Reduction	0%		Exposure Surcharge	55%		Total Fire Flow	16,000	L/min
<b>Summary</b>																							
Construction Type	Wood frame																						
Area	1,320	m <sup>2</sup>																					
Occupancy Reduction	-15%																						
Sprinkler Reduction	0%																						
Exposure Surcharge	55%																						
Total Fire Flow	16,000	L/min																					
<b>Base Fire Flow</b>																							
1	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____																					
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly																						
<b>Reductions or Surcharges</b>																							
3	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS																						
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)																						
5	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada																						
<b>Results</b>																							
6	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095																						
7	For Rural areas, or where required																						

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

**Novatech Project #:** 121011  
**Project Name:** Zens 5331 Fernbank Road  
**Date:** 5/10/2021  
**Input By:** Drew Blair  
**Reviewed By:** Steve Zorgel

Legend

Input by User

No Information or Input Required

**Building Description:** 3 Storey - Large 12 Unit Zen Building C  
**Wood frame**

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440		1,320	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,080		
	<b>(3)</b>	North Side	10.1 - 20 m		15%	
		East Side	10.1 - 20 m		15%	
		South Side	20.1 - 30 m		10%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>40%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		<b>Hours</b>	<b>3</b>	
		Required Volume of Fire Flow (m <sup>3</sup> )		<b>m<sup>3</sup></b>	<b>2520</b>	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
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**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,320	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	40%	
Total Fire Flow	14,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Large 12 Unit Zen Building D  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440		1,320	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	5,100		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	10.1 - 20 m		15%	
		South Side	10.1 - 20 m		15%	
		West Side	20.1 - 30 m		10%	
<b>Cumulative Total</b>			<b>50%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>15,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>250</b>
				or	<b>USGPM</b>	<b>3,963</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		<b>Hours</b>	<b>3</b>	
		Required Volume of Fire Flow (m <sup>3</sup> )		<b>m<sup>3</sup></b>	<b>2700</b>	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
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**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,320	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	50%	
Total Fire Flow	15,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
	<b>Results</b>	
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

**Novatech Project #:** 121011  
**Project Name:** Zens 5331 Fernbank Road  
**Date:** 5/10/2021  
**Input By:** Drew Blair  
**Reviewed By:** Steve Zorgel

Legend

Input by User

No Information or Input Required

**Building Description:** 3 Storey - Large 12 Unit Zen Building E  
**Wood frame**

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,320	
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	5,100		
	<b>(3)</b>	North Side	10.1 - 20 m		15%	
		East Side	10.1 - 20 m		15%	
		South Side	20.1 - 30 m		10%	
		West Side	20.1 - 30 m		10%	
<b>Cumulative Total</b>			<b>50%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>15,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>250</b>
				or	<b>USGPM</b>	<b>3,963</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		<b>Hours</b>	<b>3</b>	
		Required Volume of Fire Flow (m <sup>3</sup> )		<b>m<sup>3</sup></b>	<b>2700</b>	

<b>FUS - Fire Flow Calculations - User Guide</b>			
<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel		<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>	
<b>Note: This form only applies for Wood Frame, Ordinary or Non-combustible</b>			
Enter a description of the building or unit being considered, i.e. use/most stringent condition/address			
<b>Summary</b>			
Construction Type		Wood frame	
Area		1,320 m <sup>2</sup>	
Occupancy Reduction		-15%	
Sprinkler Reduction		0%	
Exposure Surcharge		50%	
Total Fire Flow		15,000 L/min	
<b>Base Fire Flow</b>			
1	<b>Construction Material</b>		<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	Generally most OBC Part 9 Buildings		
Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect			
2	<b>Floor Area</b>		
	If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly		
<b>Reductions or Surcharges</b>			
3	<b>Occupancy hazard reduction or surcharge</b>		
	Residential - with no garage - Not Typical		
	Residential - with garage		
	General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS		
4	<b>Sprinkler Reduction</b>		
	Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)		
5	<b>Exposure Surcharge (cumulative %)</b>		
	For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada		
<b>Results</b>			
6	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min If IGPM is needed, divide USGPM by 1.20095		
7	For Rural areas, or where required		

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Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Large 12 Unit Zen Building F  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,320	
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,080		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	10.1 - 20 m		15%	
		South Side	10.1 - 20 m		15%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>40%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	2520	



## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
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**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,320	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	40%	
Total Fire Flow	14,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

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**Novatech Project #:** 121011  
**Project Name:** Zens 5331 Fernbank Road  
**Date:** 5/10/2021  
**Input By:** Drew Blair  
**Reviewed By:** Steve Zorgel

Legend

Input by User

No Information or Input Required

**Building Description:** 3 Storey - Large 12 Unit Zen Building G  
**Wood frame**

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,320	
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,080		
	<b>(3)</b>	North Side	10.1 - 20 m		15%	
		East Side	10.1 - 20 m		15%	
		South Side	20.1 - 30 m		10%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>40%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	2520	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
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**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,320	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	40%	
Total Fire Flow	14,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
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### Floor Area

If considered gross floor area, then enter 1 floor/storey  
 If Fire wall, then reduce footprint accordingly

<b>2</b>	
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### Reductions or Surcharges

#### Occupancy hazard reduction or surcharge

Residential - with no garage - Not Typical  
 Residential - with garage  
 General Commercial - **Generally, for commercial buildings no reduction**  
 Check usage with FUS  
 Check usage with FUS

<b>3</b>	
<b>4</b>	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)

#### Exposure Surcharge (cumulative %)

For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada

<b>5</b>	
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### Results

<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095
<b>7</b>	For Rural areas, or where required

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Large 12 Unit Zen Building H  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	440			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,320	
	<b>F</b>	<b>Base fire flow without reductions</b>				
$F = 220 C (A)^{0.5}$						
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	3,060		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	10.1 - 20 m		15%	
		South Side	30.1- 45 m		5%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>30%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>13,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>217</b>
				or	<b>USGPM</b>	<b>3,435</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1950	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
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**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,320	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	30%	
Total Fire Flow	13,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building J  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	420		1,260	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,080		
	<b>(3)</b>	North Side	30.1- 45 m		5%	
		East Side	10.1 - 20 m		15%	
		South Side	> 45.1m		0%	
		West Side	3.1 - 10 m		20%	
<b>Cumulative Total</b>			<b>40%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	2520	

<b>FUS - Fire Flow Calculations - User Guide</b>																							
<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel		<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>																					
<b>Note: This form only applies for Wood Frame, Ordinary or Non-combustible</b>																							
Enter a description of the building or unit being considered, i.e. use/most stringent condition/address																							
<table border="1"> <thead> <tr> <th colspan="3"><b>Summary</b></th> </tr> </thead> <tbody> <tr> <td>Construction Type</td> <td>Wood frame</td> <td></td> </tr> <tr> <td>Area</td> <td>1,260</td> <td>m<sup>2</sup></td> </tr> <tr> <td>Occupancy Reduction</td> <td>-15%</td> <td></td> </tr> <tr> <td>Sprinkler Reduction</td> <td>0%</td> <td></td> </tr> <tr> <td>Exposure Surcharge</td> <td>40%</td> <td></td> </tr> <tr> <td>Total Fire Flow</td> <td>14,000</td> <td>L/min</td> </tr> </tbody> </table>			<b>Summary</b>			Construction Type	Wood frame		Area	1,260	m <sup>2</sup>	Occupancy Reduction	-15%		Sprinkler Reduction	0%		Exposure Surcharge	40%		Total Fire Flow	14,000	L/min
<b>Summary</b>																							
Construction Type	Wood frame																						
Area	1,260	m <sup>2</sup>																					
Occupancy Reduction	-15%																						
Sprinkler Reduction	0%																						
Exposure Surcharge	40%																						
Total Fire Flow	14,000	L/min																					
<b>Base Fire Flow</b>																							
1	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____																					
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly																						
<b>Reductions or Surcharges</b>																							
3	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS																						
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)																						
5	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada																						
<b>Results</b>																							
6	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min If IGPM is needed, divide USGPM by 1.20095																						
7	For Rural areas, or where required																						

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building K  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>		1,260	12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )			420	
		Number of Floors/Storeys			3	
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	2,040		
	<b>(3)</b>	North Side	> 45.1m		0%	
		East Side	3.1 - 10 m		20%	
		South Side	> 45.1m		0%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>20%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>12,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>200</b>
				or	<b>USGPM</b>	<b>3,170</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1800	



## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	20%	
Total Fire Flow	12,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building L  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>		1,260	12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )			420	
		Number of Floors/Storeys			3	
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	3,060		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	20.1 - 30 m		10%	
		South Side	20.1 - 30 m		10%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>30%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>13,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>217</b>
				or	<b>USGPM</b>	<b>3,435</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1950	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	30%	
Total Fire Flow	13,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
	<b>Results</b>	
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

**Novatech Project #:** 121011  
**Project Name:** Zens 5331 Fernbank Road  
**Date:** 5/10/2021  
**Input By:** Drew Blair  
**Reviewed By:** Steve Zorgel

Legend

Input by User

No Information or Input Required

**Building Description:** 3 Storey - Small 12 Unit Zen Building M  
**Wood frame**

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	420		1,260	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	2,550		
	<b>(3)</b>	North Side	30.1- 45 m		5%	
		East Side	20.1 - 30 m		10%	
		South Side	20.1 - 30 m		10%	
		West Side	> 45.1m		0%	
<b>Cumulative Total</b>			<b>25%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>13,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>217</b>
				or	<b>USGPM</b>	<b>3,435</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1950	

<b>FUS - Fire Flow Calculations - User Guide</b>																							
<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel		<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>																					
<b>Note: This form only applies for Wood Frame, Ordinary or Non-combustible</b>																							
Enter a description of the building or unit being considered, i.e. use/most stringent condition/address																							
<table border="1"> <thead> <tr> <th colspan="3"><b>Summary</b></th> </tr> </thead> <tbody> <tr> <td>Construction Type</td> <td>Wood frame</td> <td></td> </tr> <tr> <td>Area</td> <td>1,260</td> <td>m<sup>2</sup></td> </tr> <tr> <td>Occupancy Reduction</td> <td>-15%</td> <td></td> </tr> <tr> <td>Sprinkler Reduction</td> <td>0%</td> <td></td> </tr> <tr> <td>Exposure Surcharge</td> <td>25%</td> <td></td> </tr> <tr> <td>Total Fire Flow</td> <td>13,000</td> <td>L/min</td> </tr> </tbody> </table>			<b>Summary</b>			Construction Type	Wood frame		Area	1,260	m <sup>2</sup>	Occupancy Reduction	-15%		Sprinkler Reduction	0%		Exposure Surcharge	25%		Total Fire Flow	13,000	L/min
<b>Summary</b>																							
Construction Type	Wood frame																						
Area	1,260	m <sup>2</sup>																					
Occupancy Reduction	-15%																						
Sprinkler Reduction	0%																						
Exposure Surcharge	25%																						
Total Fire Flow	13,000	L/min																					
<b>Base Fire Flow</b>																							
<b>1</b>  Construction Material Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____																						
	<b>2</b>  <b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly																						
<b>Reductions or Surcharges</b>																							
<b>3</b>  <b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	<b>4</b>  <b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)																						
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<b>Results</b>																							
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095																						
<b>7</b>	For Rural areas, or where required																						

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building N  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	420		1,260	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
	<b>F</b>	<b>Base fire flow without reductions</b>				
$F = 220 C (A)^{0.5}$						
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	2,550		
	<b>(3)</b>	North Side	20.1 - 30 m		10%	
		East Side	30.1 - 45 m		5%	
		South Side	> 45.1m		0%	
		West Side	20.1 - 30 m		10%	
<b>Cumulative Total</b>			<b>25%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>13,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>217</b>
				or	<b>USGPM</b>	<b>3,435</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1950	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	25%	
Total Fire Flow	13,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
	<b>Results</b>	
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building P  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>		1,260	12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )			420	
		Number of Floors/Storeys			3	
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
		$F = 220 C (A)^{0.5}$				
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	1,530		
	<b>(3)</b>	North Side	30.1- 45 m		5%	
		East Side	30.1- 45 m		5%	
		South Side	> 45.1m		0%	
		West Side	30.1- 45 m		5%	
<b>Cumulative Total</b>			<b>15%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>12,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>200</b>
				or	<b>USGPM</b>	<b>3,170</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	2.5	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	1800	



## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	15%	
Total Fire Flow	12,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building Q  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	420		1,260	
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )				
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	4,080		
	<b>(3)</b>	North Side	10.1 - 20 m		15%	
		East Side	10.1 - 20 m		15%	
		South Side	> 45.1m		0%	
		West Side	20.1 - 30 m		10%	
<b>Cumulative Total</b>			<b>40%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		<b>Hours</b>	<b>3</b>	
		Required Volume of Fire Flow (m <sup>3</sup> )		<b>m<sup>3</sup></b>	<b>2520</b>	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	40%	
Total Fire Flow	14,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

# FUS - Fire Flow Calculations

As per 1999 Fire Underwriter's Survey Guidelines



Engineers, Planners &amp; Landscape Architects

Novatech Project #: 121011  
 Project Name: Zens 5331 Fernbank Road  
 Date: 5/10/2021  
 Input By: Drew Blair  
 Reviewed By: Steve Zorgel

Legend

Input by User

No Information or Input Required

Building Description: 3 Storey - Small 12 Unit Zen Building R  
 Wood frame

Step	Input		Value Used	Total Fire Flow (L/min)		
<b>Base Fire Flow</b>						
1	<b>Construction Material</b>		<b>Multiplier</b>	1.5		
	<b>Coefficient related to type of construction</b> <b>C</b>	Wood frame	Yes		1.5	
		Ordinary construction			1	
		Non-combustible construction			0.8	
		Modified Fire resistive construction (2 hrs)			0.6	
Fire resistive construction (> 3 hrs)			0.6			
2	<b>Floor Area</b>			12,000		
	<b>A</b>	Building Footprint (m <sup>2</sup> )	420			
		Number of Floors/Storeys	3			
		Area of structure considered (m <sup>2</sup> )			1,260	
<b>F</b>	<b>Base fire flow without reductions</b>					
<b>Reductions or Surcharges</b>						
3	<b>Occupancy hazard reduction or surcharge</b>		<b>Reduction/Surcharge</b>	10,200		
	<b>(1)</b>	Non-combustible			-25%	
		Limited combustible	Yes		-15%	
		Combustible			0%	
		Free burning			15%	
Rapid burning			25%			
4	<b>Sprinkler Reduction</b>		<b>Reduction</b>	0		
	<b>(2)</b>	Adequately Designed System (NFPA 13)	No		-30%	
		Standard Water Supply	No		-10%	
		Fully Supervised System	No		-10%	
<b>Cumulative Total</b>			<b>0%</b>			
5	<b>Exposure Surcharge (cumulative %)</b>		<b>Surcharge</b>	3,570		
	<b>(3)</b>	North Side	> 45.1m		0%	
		East Side	10.1 - 20 m		15%	
		South Side	10.1 - 20 m		15%	
		West Side	30.1 - 45 m		5%	
<b>Cumulative Total</b>			<b>35%</b>			
<b>Results</b>						
6	<b>(1) + (2) + (3)</b>	<b>Total Required Fire Flow, rounded to nearest 1000L/min</b>		<b>L/min</b>	<b>14,000</b>	
		(2,000 L/min < Fire Flow < 45,000 L/min)		or	<b>L/s</b>	<b>233</b>
				or	<b>USGPM</b>	<b>3,699</b>
7	<b>Storage Volume</b>	Required Duration of Fire Flow (hours)		Hours	3	
		Required Volume of Fire Flow (m <sup>3</sup> )		m <sup>3</sup>	2520	

## FUS - Fire Flow Calculations - User Guide

<b>Novatech Project #:</b> 121011 <b>Project Name:</b> Zens 5331 Fernbar <b>Date:</b> 5/10/2021 <b>Input By:</b> Drew Blair <b>Reviewed By:</b> Steve Zorgel	<ul style="list-style-type: none"> <li>• Please use the notes below as a guide when completing the FUS Fire Flow Calculations</li> <li>• When in doubt, confirm construction material, firewalls, etc. with architect/owner</li> <li>• When in doubt, err on conservative side</li> </ul>
--	---

**Note: This form only applies for Wood Frame, Ordinary or Non-combustible**

Enter a description of the building or unit being considered, i.e. use/most stringent condition/address

### Summary

Construction Type	Wood frame	
Area	1,260	m <sup>2</sup>
Occupancy Reduction	-15%	
Sprinkler Reduction	0%	
Exposure Surcharge	35%	
Total Fire Flow	14,000	L/min

### Base Fire Flow

<b>1</b>	<b>Construction Material</b> Generally most OBC Part 9 Buildings  Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect	<b>Project Manager Review</b> <b>Date:</b> _____ <b>Name:</b> _____  <b>Signature:</b> _____
	<b>Floor Area</b> If considered gross floor area, then enter 1 floor/storey If Fire wall, then reduce footprint accordingly	
<b>Reductions or Surcharges</b>		
<b>3</b>	<b>Occupancy hazard reduction or surcharge</b> Residential - with no garage - Not Typical Residential - with garage General Commercial - <b>Generally, for commercial buildings no reduction</b> Check usage with FUS Check usage with FUS	
	<b>Sprinkler Reduction</b> Is the building sprinklered? Only Use if can be confirmed with client/architect Only Use if can be confirmed with client/architect (Fully Supervised generally means full time active monitoring)	
<b>5</b>	<b>Exposure Surcharge (cumulative %)</b> For Fire walls: FUS considers a Fire wall to have a minimum 2 hour rating per National Building Code of Canada	
<b>Results</b>		
<b>6</b>	NOTE: Refer to City Technical Bulletin ISDTB-2014-02 for additional considerations to cap this value at 10,000L/min  If IGPM is needed, divide USGPM by 1.20095	
<b>7</b>	For Rural areas, or where required	

## Appendix D

## **EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES**

### **Scope of Work**

The work under the applicable items includes the preparation, implementation and monitoring of an Erosion and Sediment Control Plan to prevent sediment-laden runoff resulting from the Contractor's construction operations from entering all sewers and watercourses both within and downstream from the Working Area. The plan shall include management and monitoring of water discharged from dewatering operations. The specification is limited to the management of sediment laden water and the management of contaminants such as hydrocarbons and volatile organic compounds present within groundwater at the site shall be managed as described elsewhere in the contract documents.

### **General**

The Contractor acknowledges that surface erosion and sediment runoff resulting from construction operations has potential to cause a detrimental impact to any downstream watercourse, and that all construction operations that may impact upon water quality shall be carried out in a manner that strictly meets the requirements of all applicable legislation and regulations.

Accordingly, the Contractor shall be responsible for determining and conforming to the requirements of the Ontario Ministry of the Environment (MOE), the Ontario Ministry of Natural Resources, the City of Ottawa, applicable Conservation Authorities and any other Governmental Regulatory Agencies (collectively "Regulatory Agencies") having jurisdiction in the Working Area or over any potentially affected watercourses.

### **Erosion and Sediment Control Plan**

Before commencing the Work, the Contractor shall submit to the Contract Administrator six copies of a detailed Erosion and Sediment Control Plan. The ESC Plan will consist of a written description and detailed drawings indicating the on-site activities and measures to be used to control erosion and sediment movement for each step of the Work. The written description shall be signed by, and the drawings shall bear the stamp and signature of a qualified Professional Engineer licensed in Ontario, herein designated as the Engineer of Record (EOR).

The Contractor acknowledges that the scheduling of the implementation of erosion and sediment controls is the key component for successful sediment control. Accordingly, the ESC Plan will contain a detailed schedule which identifies the following:

- Phasing of the steps for the installation of all control measures.
- Inspection, monitoring and maintenance of all control measures during construction.

## **EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES**

- Phasing of the removal and disposal of the control measures.

The Contractor acknowledges that no one measure is likely to be 100% effective for erosion protection and controlling sediment runoff and water discharges from the site. Therefore, where necessary the ESC Plan will implement sequential measures arranged in such a manner so as to mitigate sediment release from construction operations and achieve specific maximum permitted criteria where applicable. Suggested on-site measures may include, but shall not be limited to, the following methods: sediment ponds, filter bags, pump filters, settling tanks, silt fences, straw bales, filter cloths, check dams and/or berms, or other recognized technologies and methods available at the time of construction. Specific measures shall be installed in accordance with the requirements of OPSS 805 where appropriate, or in accordance with manufacturer's recommendations.

### **Inspection and Monitoring of Mitigation Measures**

The Contractor shall be solely responsible for inspecting, monitoring and maintaining the effectiveness of the ESC Plan upon implementation. The Contractor shall submit to the Contract Administrator weekly inspection reports demonstrating the performance of the installed measures, identifying deficiencies and indentifying required maintenance issues. These reports shall be prepared, signed by the EOR and provided to the Contract Administrator within 48 hours of the inspection.

- Maintenance issues are defined as any measure which is not functioning to the satisfaction of the EOR and in the opinion of the EOR may be repaired by the contractor with subsequent re-inspection at the next scheduled EOR site inspection.
- Deficiencies are defined as any measure or lack of measure which has potential to cause an adverse environmental impact at the site given the current/forecasted conditions and schedule of the work.

Maintenance issues which have previously been identified but not adequately corrected shall be considered deficiencies.

Deficiencies shall be immediately corrected. Corrective actions shall be re-inspected and documented by the EOR. Re-inspection reports shall be specific to the deficiency observed and may be written field reports.

EOR monitoring reports submitted shall include:

- The date and time of the inspection and monitoring.
- General description of the mitigating measures being utilized at the site.
- Confirmation as to the effectiveness of the measures inspected.



## **EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES**

- Description of any maintenance issue which requires minor repair, improvement or maintenance.
- Description of any deficiency observed including timeline for correction and re-inspection.
- Deficiency re-inspection reports outstanding for the site.

The Contractor shall notify the Contract Administrator in all situations where a regulatory agency has identified deficiencies in erosion/sediment control measures, quality of runoff or quality of water quality discharged from dewatering operation.

Where in the opinion of the Contract Administrator either the proof of performance submitted is or the measures implemented are considered inadequate, the Contractor shall have the EOR review measures in the presence of the Contract Administrator within 24 hours of being notified in writing.

The Contractor shall monitor all weather forecasts and schedule the Work in order to minimize the risk of sediment-laden water from entering any watercourse or sewer system. The ESC Plan shall contain a Contingency Plan to include the provision of additional labour, equipment or materials to install additional control measures, and detail an emergency response plan in case of an accidental event. As such, the Contractor shall have additional control materials on site at all times which are easily accessible and may be implemented at a moment's notice.

### **Contractor's Responsibilities**

The Contractor shall ensure that all workers, including sub-contractors, in the Working Area are aware of the importance of the erosion and sediment control measures and informed of the consequences of the failure to comply with the requirements of all Regulatory Agencies and the specifications detailed herein.

The Contractor shall periodically, and when requested by the Contract Administrator or EOR, clean out accumulated sediment deposits as required at the sediment control devices, including those deposits that may originate from outside the construction area. Accumulated sediment shall be removed in such a manner that prevents the deposition of this material into any sewer or watercourse and avoids damage to the control measure. The sediment shall be removed from the site at the Contractor's expense and managed in compliance with the requirements for excess earth material, as specified elsewhere in the Contract.

The Contractor shall immediately report to applicable regulatory agencies and the Contract Administrator any accidental discharges of sediment material into either the watercourse or the storm sewer system. Failure to report will be constitute a breach of this specification and the Contractor may also be subject to the penalties imposed by any

## **EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES**

applicable Regulatory Agency. Appropriate response measures, including any repairs to existing control measures or the implementation of additional control measures, shall be carried out by the Contractor without delay.

The sediment control measures shall be removed when, in the opinion of the EOR, the measure(s) is no longer required. No control measure may be permanently removed without prior written authorization from the EOR. All sediment and erosion control measures shall be removed in a manner that avoids the entry of sediment or debris into any sewer or watercourse within or downstream of the Working Area. All accumulated sediment shall be removed from the Working Area at the Contractor's expense and managed in compliance with the requirements for excess earth material, as specified elsewhere in the Contract. Any seeding and mulching, temporary cover, sodding or original turf cover that is disturbed by the removal of the control measures and accumulated sediment, shall be brought to final grade and restored. Payment for the supply and placing of ground cover at these locations shall be made under the applicable items listed elsewhere in the Contract.

Where, in the opinion of either the Contract Administrator or a Regulatory Agency, any of the terms specified herein have either not been complied with or not performed in a suitable manner, the Contract Administrator or Regulatory Agency has the right to immediately withdraw its permission to continue the work but may renew its permission upon being satisfied that the defaults and/or deficiencies in the performance of this specification by the Contractor have been remedied. No compensation will be made to the Contractor for the withdrawal of permission to do the work resulting from non-compliance with the requirements of this specification and the Regulatory Agencies.

In addition to any other remedy and/or penalty provided by law, where there has been default or non-compliance with any of the terms specified herein and the Contractor refuses to perform or rectify same within forty-eight (48) hours of the receipt of the written demand of the Contract Administrator to do so, the Owner is hereby entitled to enter upon the Working Area and either complete the work in conformity with the Contract or have the work done that it considers necessary to complete the Work to its intended condition, whichever, in the Owner's sole opinion, is the most reasonable course of action. The Contractor and the Owner further agree that the costs incurred for any such work shall be retained by the Owner from monies otherwise due to the Contractor.

### **Monitoring of Water Quality Impacts and Point Source Discharges**

The Contractor shall monitor runoff quality and quantity of water discharged from dewatering operations. The work shall include turbidity monitoring of impacts to watercourses (upstream vs downstream conditions), total suspended solids (TSS) monitoring of point sources such as those from dewatering operations. Discharge shall be in accordance with site specific constraints, regulatory requirements and sewer use bylaw

## EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES

requirements. Where no specific criteria has otherwise been identified, the contractor shall meet the following discharge objective.

Source	Objective	Monitoring Frequency (min)
Watercourse Impacts	Downstream turbidity not to exceed upstream levels by greater than 25%	Minimum of daily for first three days of operation Minimum of twice weekly on an ongoing basis Daily for situations where the work is being conducted within 20 metres of a watercourse.
Discharge from Dewatering Operations	TSS maximum level of 25 mg/L	Minimum of daily for first three days of operation Minimum of twice weekly on an ongoing basis

Monitoring frequency to increase where scheduled construction operations have potential to impair water quality.

### Mitigation and Action by Contractor Where Monitoring Indicates Water Impacts or Discharges Over Criteria or Objectives

Where site specific criteria or objectives are not attained, the Contractor and/or EOR shall immediately notify applicable regulatory agency of the monitoring results and possible impacts to sewers and watercourses. The Contractor shall implement an Action/Mitigation Plan acceptable to the EOR and applicable regulatory agency prior to continuing or resuming construction activities.

### Measurement and Basis of Payment

#### Item – Erosion and Sediment Control Plan and Monitoring

Payment at the Contract price for the item “Erosion and Sediment Control Plan and Monitoring” shall be full compensation for the preparation and monitoring of the Erosion and Sediment Control Plan.

Payment shall be based upon the following schedule:

- a) 25% upon satisfactory submission and implementation of the ESC Plan; and,
- b) 75% pro-rated into equal payments over the term of the contract.

## **EROSION AND SEDIMENT CONTROL PLAN, MONITORING, AND MEASURES**

This payment schedule may only be modified as agreed upon in writing between the Contractor and the Contract Administrator.

### **Item – Erosion and Sediment Control Measures**

Payment at the Contract price for the item “Erosion and Sediment Control Measures” shall be full compensation for the implementation and maintenance of erosion and sediment control measures required for the site, and shall include all labour, equipment and materials to supply, construct, monitor and maintain all erosion and sediment control measures detailed therein.

Payment shall be based upon the following schedule:

- a) 20% upon satisfactory installation of the control measures;
- b) 70% pro-rated into equal payments over the term of the contract; and,
- c) 10% upon successful completion and removal of the ESC Plan protection measures.

This payment schedule may only be modified as agreed upon in writing between the Contractor and the Contract Administrator.

Warrant: For work which is conducted in close proximity to watercourses or environmentally sensitive areas.

## Appendix E

## Drew Blair

---

**From:** Kuruvilla, Santhosh <Santhosh.Kuruvilla@ottawa.ca>  
**Sent:** Wednesday, May 12, 2021 9:50 AM  
**To:** Drew Blair  
**Cc:** Marc St.Pierre  
**Subject:** RE: Pre-Consultation Follow-Up: 5331 Fernbank

Hi Drew,

Please go ahead and use the JFSA figure.

Thanks,

---

**From:** Kuruvilla, Santhosh  
**Sent:** May 11, 2021 2:44 PM  
**To:** Drew Blair <D.Blair@novatech-eng.com>  
**Cc:** Marc St.Pierre <m.stpierre@novatech-eng.com>  
**Subject:** RE: Pre-Consultation Follow-Up: 5331 Fernbank

Hi Drew,

Thanks for your quick response.

I will check with my colleague who gave me the quantity control criteria for this site (70L/S/Ha) and get back to you.

Thanks,

**Santhosh**

---

**From:** Drew Blair <[D.Blair@novatech-eng.com](mailto:D.Blair@novatech-eng.com)>  
**Sent:** May 11, 2021 2:14 PM  
**To:** Kuruvilla, Santhosh <[Santhosh.Kuruvilla@ottawa.ca](mailto:Santhosh.Kuruvilla@ottawa.ca)>  
**Cc:** Marc St.Pierre <[m.stpierre@novatech-eng.com](mailto:m.stpierre@novatech-eng.com)>  
**Subject:** RE: Pre-Consultation Follow-Up: 5331 Fernbank

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It's not clearly spelled out in the text of the 2019 JFSA report. It is contained in the modelling files (provided by Stantec) that JFSA used for the overall Monahan Drain analysis including our site. I have attached the email we received from JFSA that confirms the 85L/s/Ha release rate for our site.

Please let us know if you need anything further.

Thanks,

Drew

**Drew Blair**, P.Eng., Project Manager | Land Development Engineering

**NOVATECH** Engineers, Planners & Landscape Architects

240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6 | Tel: 613.254.9643 x 236 | Fax: 613.254.5867

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**From:** Kuruvilla, Santhosh <[Santhosh.Kuruvilla@ottawa.ca](mailto:Santhosh.Kuruvilla@ottawa.ca)>

**Sent:** Tuesday, May 11, 2021 2:09 PM

**To:** Drew Blair <[D.Blair@novatech-eng.com](mailto:D.Blair@novatech-eng.com)>

**Cc:** Marc St.Pierre <[m.stpierre@novatech-eng.com](mailto:m.stpierre@novatech-eng.com)>

**Subject:** RE: Pre-Consultation Follow-Up: 5331 Fernbank

Hi Drew,

Thanks for your email.

Could you please let me know where (on what page) you found the stormwater quantity control criteria (85 L/s/Ha) for this development in the 2019 JFSA report?

Thanks,

**Santhosh**

---

**From:** Drew Blair <[D.Blair@novatech-eng.com](mailto:D.Blair@novatech-eng.com)>

**Sent:** May 10, 2021 3:11 PM

**To:** Kuruvilla, Santhosh <[Santhosh.Kuruvilla@ottawa.ca](mailto:Santhosh.Kuruvilla@ottawa.ca)>

**Cc:** Marc St.Pierre <[m.stpierre@novatech-eng.com](mailto:m.stpierre@novatech-eng.com)>

**Subject:** FW: Pre-Consultation Follow-Up: 5331 Fernbank

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We are currently working on our review of the stormwater design criteria from the 2019 J. F. Sabourin & Associates (JFSA) Monahan Drain Constructed Wetlands report that includes our site at 5331 Fernbank and have a question for you. The following statement "stormwater quantity control criteria – post development peak flow from the site shall be controlled to 70 L/s/ha" was provided in the pre-consultation notes below from the City for this site. From our review with JFSA and their 2019 report, our understanding from them is that the post development peak 100-Year minor system flow is 316 L/s for our site which divided by the site area of 3.7Ha is a minor system peak release rate of 85L/s/Ha. We will provide the background information and correspondence as part of our site plan submission.

Please confirm that we can proceed with the post development peak flow rate of 85L/s/Ha as per the 2019 JFSA report.

Please let us know if you need any further information.

Thanks,

Drew

**Drew Blair**, P.Eng., Project Manager | Land Development Engineering

**NOVATECH** Engineers, Planners & Landscape Architects

240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6 | Tel: 613.254.9643 x 236 | Fax: 613.254.5867

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---

**From:** Vincent Denomme <[vincent.denomme@claridgehomes.com](mailto:vincent.denomme@claridgehomes.com)>

**Sent:** Thursday, February 18, 2021 9:14 AM

**To:** Shawn Malhotra <[shawn.malhotra@claridgehomes.com](mailto:shawn.malhotra@claridgehomes.com)>; Drew Blair <[D.Blair@novatech-eng.com](mailto:D.Blair@novatech-eng.com)>; Marc St.Pierre <[m.stpierre@novatech-eng.com](mailto:m.stpierre@novatech-eng.com)>; Colleen McKeracher <[cmckeracher@rlaarchitecture.ca](mailto:cmckeracher@rlaarchitecture.ca)>; Jim Burghout <[jim.burghout@claridgehomes.com](mailto:jim.burghout@claridgehomes.com)>; Brad Byvelds <[B.Byvelds@novatech-eng.com](mailto:B.Byvelds@novatech-eng.com)>; Greg Winters <[G.Winters@novatech-eng.com](mailto:G.Winters@novatech-eng.com)>

**Subject:** Fwd: Pre-Consultation Follow-Up: 5331 Fernbank

All,

See pre-consult comments for your review.

----- Forwarded message -----

From: **McCreight, Laurel** <[Laurel.McCreight@ottawa.ca](mailto:Laurel.McCreight@ottawa.ca)>

Date: Wed, Feb 17, 2021 at 8:05 AM

Subject: Pre-Consultation Follow-Up: 5331 Fernbank

To: Vincent Denomme <[vincent.denomme@claridgehomes.com](mailto:vincent.denomme@claridgehomes.com)>

Hi Vincent,

Please refer to the below regarding the Pre-Application for 5331 Fernbank Road for a Site Plan Control Application for a residential development containing 16 walk-up apartment buildings. I have also attached the required Plans & Study List for application submission.

Below are staff's preliminary comments based on the information available at the time of the pre-consultation meeting:

### **Planning / Urban Design**

- A public parkette should be provided as discussed in the pre-consult meeting.
  - Parks staff have indicated that a minimum size of 0.266 ha would be required based on the dedication requirements.
  - An illustration of a preferred location has been provided.



- The pathway block located on the east side of the subject site should be provided with a public outlet to Terry Fox Drive, and/or Cope Drive/Fernbank Road.
  - This could be achieved by way of a pathway block, or private pathways with a public pedestrian easement.
- Garbage buildings in various locations are preferable to the current proposed molok/earth bin proposal.
  - Please consult the waste management guidelines for planned unit developments.
- Variation of the building placement along the east edge of the site is encouraged.
  - Slightly off setting the blocks would create visual interest and allow for additional plantings abutting the north/south private drive aisle.
- Internal walkways should connect to existing and planned sidewalks within the right of way.
- Concrete sidewalks should be provided internal to the site.
- Parking areas should be consolidated to the greatest extent possible to allow for additional landscaping on site.
- The proposed amenity areas labelled as park should be designed to provide buffering from Terry Fox Drive for future users.
  - This is not an ideal location for a private amenity on-site, and if retained should be designed for passive use vs. active play etc.
- Please ensure that the final landscape design incorporates four season design – wind, shadow, conifers etc. and CPTED principles.
- There are areas that do not appear to provide the appropriate landscape buffers for parking areas.
- Consideration should be given to alternatives to the loop at the south end of the site (hammerhead etc.) to reduce the amount of hard surface required in that area.
- A design brief is required as part of the subject application.
  - A terms of reference is attached.
- You are encouraged to contact the Ward Councillor, Councillor [Allan Hubley](#), about the proposal.

## **Parks**

- Parkland dedication required rather than cash-in-lieu of parkland.
- Density and location of existing/proposed parks nearby are not close enough to serve these residents.
- Park size of approximately 0.266 ha requirement based on current unit types/property area - at the small end of our park sizes, but still appropriate for some play features for residents of this development.
- The area around Block A is best location due to frontage requirements and it is quieter than Terry Fox.
  - Full park requirements can be seen in the City's Park Development Manual.
- Pathway block at the end of Tabaret – important to provide connectivity to that existing path and new park (see comments above from Planning/Urban Design).
- What are intentions for narrow parcel – Part 1, Block 98?
  - We would like to see a pathway connection here with the park.
  - Consider dedicating a pathway block in the former ROW lands to provide the connectivity, especially if there are concerns regarding crossing privately-owned lands.

Please contact Infrastructure Parks Planner [Reid Shepherd](#) for follow-up questions.

## **Engineering**

- Stormwater quantity control criteria – post development peak flow from the site shall be controlled to 70 L/s/ha.

- Existing sanitary sewer is available on Cope Drive to make service connection.
  - Existing storm sewer is available on Cope Drive to make service connection.
  - Existing watermain is available on Cope Drive to make service connection.
  - If looping is required for water, a second service connection is required.
  - Stormwater quality control – Consult with the Conservation Authority (RVCA) for their requirements.
    - Include the correspondence with RVCA in the stormwater/site servicing report.
  - As per the City of Ottawa Slope Stability Guidelines for Development Applications an engineering report is required for any retaining walls proposed 1.0 m or greater in height within the subject site that addresses the global stability of the wall and provides structural details.
    - A Retaining Wall Stability Analysis Report and Retaining Wall Structural Details are required to be provided from a Professional Engineer licensed in the Province of Ontario that demonstrates the proposed retaining wall structure has been assessed for global instability as per City standards.
    - Please ensure the analysis and required documentation are provided as part of the submission to address this comment.
  - Emergency routes will need to be satisfactory to Fire Services.
    - Please show fire routes on the site plan.
    - For information regarding fire route provisions, please consult with Kevin Heiss at [kevin.heiss@ottawa.ca](mailto:kevin.heiss@ottawa.ca).
  - Clearly show and label the property lines on all sides of the property.
  - Clearly show and label all the easements (if any) on the property, on all plans.
  - When calculating the post development composite runoff coefficient (C), please provide a drawing showing the individual drainage area and its runoff coefficient.
  - When using the modified rational method to calculate the storage requirements for the site, the underground storage should not be included in the overall available storage.
    - The modified rational method assumes that the restricted flow rate is constant throughout the storm which, in this case, underestimates the storage requirement prior to the 1:100-year head elevation being reached. Alternately, if you wish to include the underground storage, you may use an assumed average release rate equal to 50% of the peak allowable rate.
    - Otherwise, disregard the underground storage as available storage or provide modeling to support the design.
  - Engineering plans are to be submitted on standard A1 size (594mm x 841mm) sheets.
  - Phase 1 ESA and Phase 2 ESA must conform to clause 4.8.4 of the Official Plan that requires that development applications conform to Ontario Regulation 153/04.
1. Provide the following information for water main boundary conditions:
1. Location map with water service connection location(s).
  2. Average daily demand (l/s).
  3. Maximum daily demand (l/s).
  4. Maximum hourly demand (l/s).
  5. Fire flow demand (provide detailed fire flow calculations based on Fire Underwriters survey (FUS) Water Supply for Public Fire Protection). Exposure separation distances shall be defined on a figure to support the FUS calculation and required fire flow (RFF).
  6. Hydrant capacity shall be assessed to demonstrate the RFF can be achieved. Please identify which hydrants are being considered to meet the RFF on a fire hydrant coverage plan as part of the boundary conditions request.
- If you are proposing any exterior light fixtures, all must be included and approved as part of the site plan approval. Therefore, the lights must be clearly identified by make, model and part number. All external light

fixtures must meet the criteria for full cut-off classification as recognized by the Illuminating Engineering Society of North America (IESNA or IES), and must result in minimal light spillage onto adjacent properties (as a guideline, 0.5 fc is normally the maximum allowable spillage). In order to satisfy these criteria, the applicant must provide certification from an acceptable professional engineer. The location of all exterior fixtures, a table showing the fixture types (including make, model, part number), and the mounting heights must be included on a plan.

### *References and Resources*

- As per section 53 of the Professional Engineers Act, O. Reg 941/40, R.S.O. 1990, all documents prepared by engineers must be signed and dated on the seal.
- All required plans are to be submitted on standard A1 size sheets (594mm x 841mm) sheets, utilizing a reasonable and appropriate metric scale as per City of Ottawa Servicing and Grading Plan Requirements: title blocks are to be placed on the right of the sheets and not along the bottom. Engineering plans may be combined, but the Site Plans must be provided separately. Plans shall include the survey monument used to confirm datum. Information shall be provided to enable a non-surveyor to locate the survey monument presented by the consultant.
- All required plans & reports are to be provided in \*.pdf format (at application submission and for any, and all, re-submissions)
- Please find relevant City of Ottawa Links to Preparing Studies and Plans below:
- <https://ottawa.ca/en/city-hall/planning-and-development/information-developers/development-application-review-process/development-application-submission/guide-preparing-studies-and-plans#standards-policies-and-guidelines>
- To request City of Ottawa plan(s) or report information please contact the City of Ottawa Information Centre:  
[InformationCentre@ottawa.ca](mailto:InformationCentre@ottawa.ca)<<mailto:InformationCentre@ottawa.ca>>

(613) 580-2424 ext. 44455

Please contact Infrastructure Project Manager [Santhosh Kuruvilla](#) for follow-up questions.

### **Transportation**

- Follow Traffic Impact Assessment Guidelines
  - A TIA is required. Submit Scoping report at your earliest convenience.
  - Start this process asap. The application will not be deemed complete until the submission of the draft step 1-4, including the functional draft RMA package (if applicable) and/or monitoring report (if applicable).
  - Although a full review of the TIA Strategy report (Step 4) is not required prior to an application, it is strongly recommended.
  - Synchro files are required at Step 4.
  - Request base mapping asap if RMA is required. Contact Engineering Services (<https://ottawa.ca/en/city-hall/planning-and-development/engineering-services>)
- ROW protection on Terry Fox and Cope is 44.5 and 24 metres, respectively.
- A sidewalk on Terry Fox is strongly recommended.
- No full movement access will be permitted on this segment of Terry Fox.
- A Road Noise Impact Study is required.

- For the two private accesses, provide enough throat length for arterial/collector as per TAC guidelines.
- On site plan:
  - Show all details of the roads abutting the site up to and including the opposite curb; include such items as pavement markings, accesses and/or sidewalks.
  - Turning movement diagrams required for all accesses showing the largest vehicle to access/egress the site.
  - Turning movement diagrams required for internal movements (loading areas, garbage).
  - Show all curb radii measurements; ensure that all curb radii are reduced as much as possible
  - Show lane/aisle widths.
  - Sidewalk is to be continuous across access as per City Specification 7.1.
  - Grey out any area that will not be impacted by this application.
- The City recommends development on private property be in accordance with the Accessibility Design Standards (AODA legislation). As the site proposed is residential, it is suggested that the design conforms to the Site Plan Checklist, which summarizes AODA requirements (attached).

Please contact Transportation Project Manager, [Mike Giampa](#) for follow-up questions.

### **Other**

Please refer to the links to [“Guide to preparing studies and plans”](#) and [fees](#) for general information. Additional information is available related to [building permits](#), [development charges](#), and the [Accessibility Design Standards](#). Be aware that other fees and permits may be required, outside of the development review process. You may obtain background drawings by contacting [informationcentre@ottawa.ca](mailto:informationcentre@ottawa.ca).

These pre-consultation comments are valid for one year. If you submit a development application(s) after this time, you may be required to meet for another pre-consultation meeting and/or the submission requirements may change. You are as well encouraged to contact us for a follow-up meeting if the plan/concept will be further refined.

Please do not hesitate to contact me if you have any questions.

Regards,

Laurel

**Laurel McCreight MCIP, RPP**

Planner

Development Review West

Urbaniste

Examen des demandes d'aménagement ouest

City of Ottawa | Ville d'Ottawa

☎ 613.580.2424 ext./poste 16587

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Vincent Dénommé  
613-233-6030 ex 247



[www.claridgehomes.com](http://www.claridgehomes.com)

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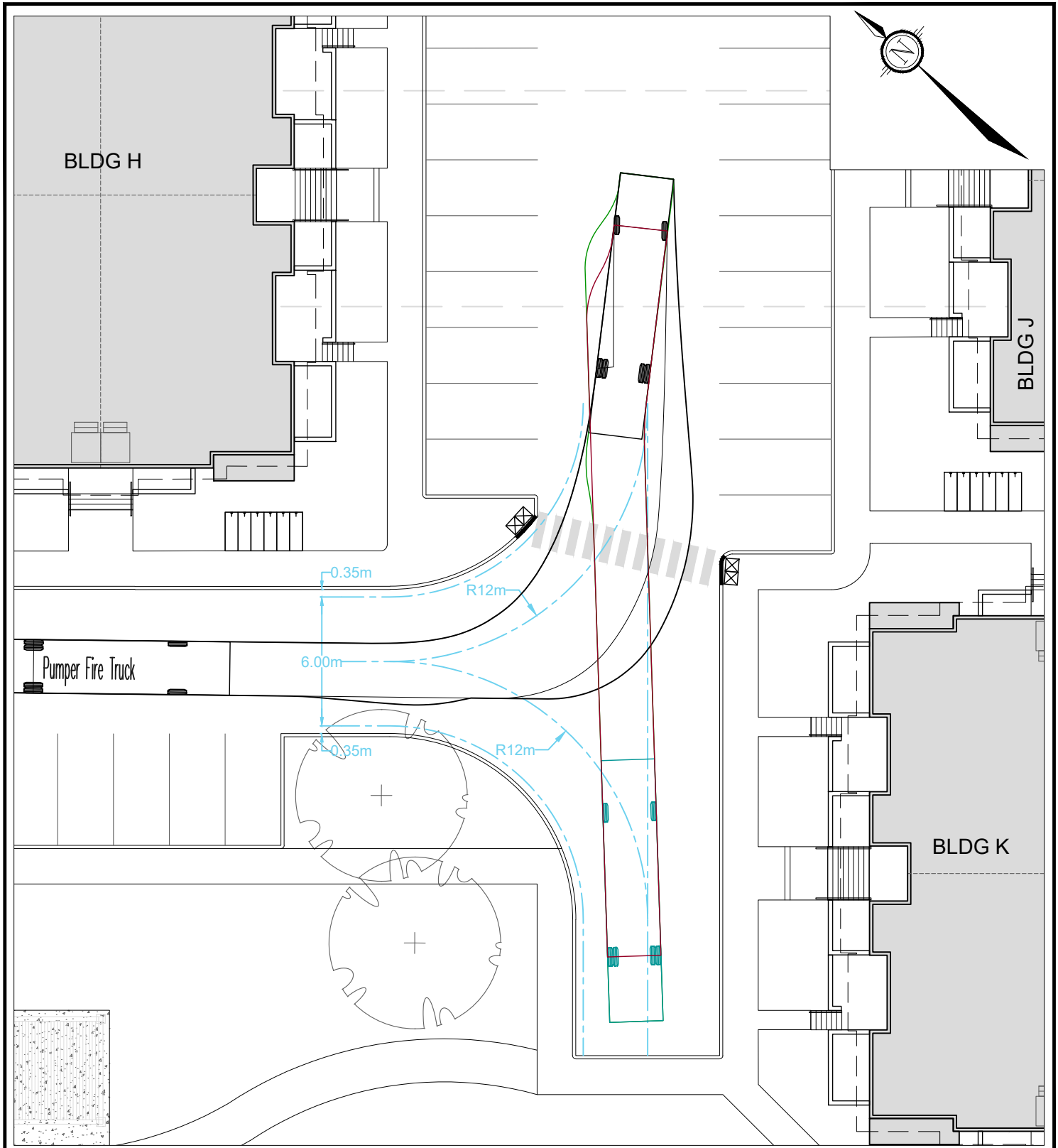
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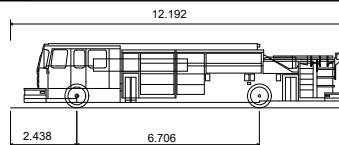
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Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

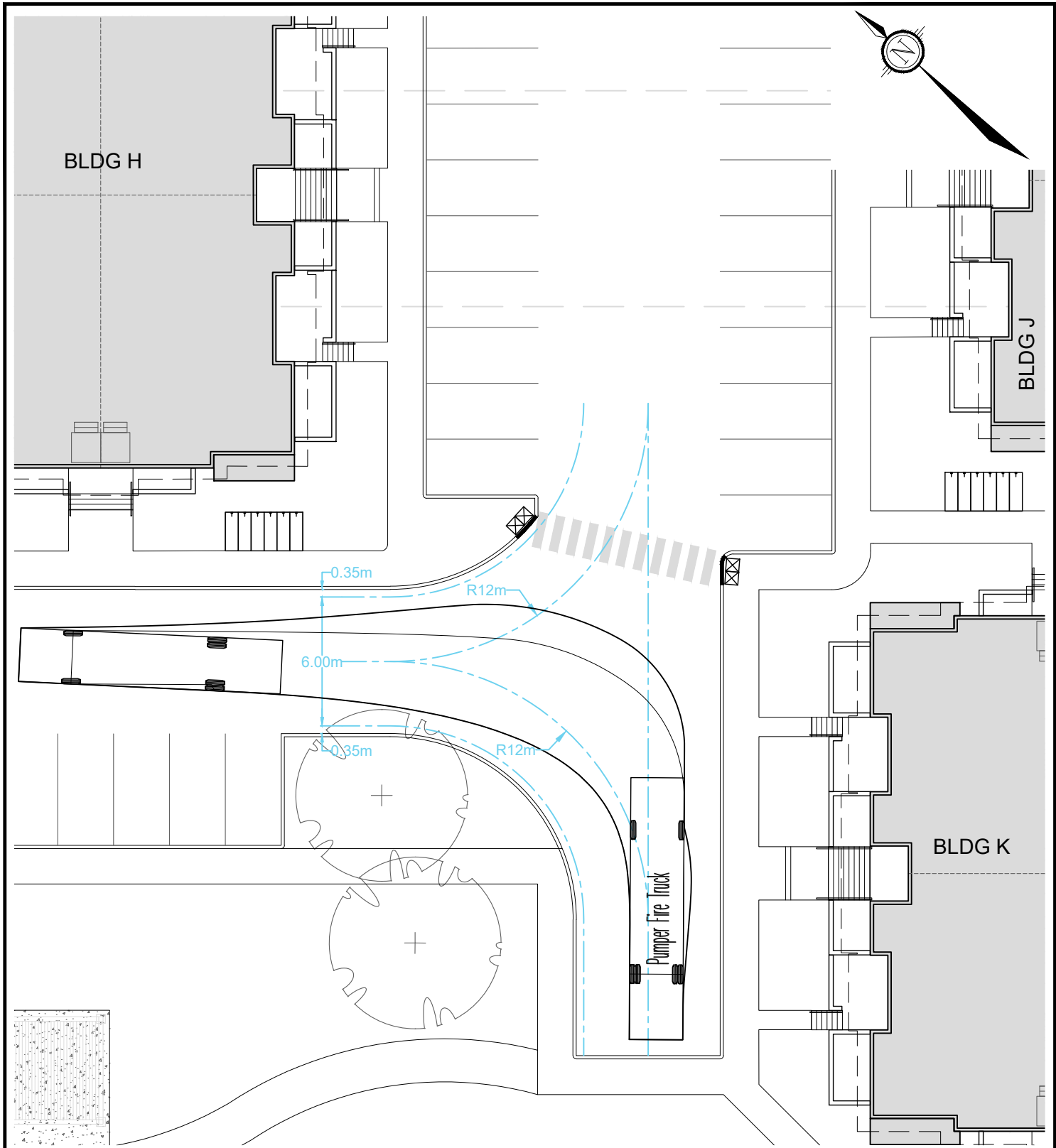
**FIRE TRUCK TURNING  
 MOVEMENT - IN**

1 : 250

FEB 2022

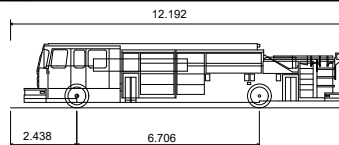
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AT1



Engineers, Planners & Landscape Architects  
 Suite 200, 240 Michael Cowpland Drive  
 Ottawa, Ontario, Canada K2M 1P6

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 Facsimile (613) 254-5867  
 Website www.novatech-eng.com



**Pumper Fire Truck**  
 N.T.S.

Overall Length	12.192m
Overall Width	2.489m
Overall Body Height	2.361m
Min Body Ground Clearance	0.200m
Track Width	2.489m
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

**FIRE TRUCK TURNING  
 MOVEMENT - OUT**

1 : 250

FEB 2022

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AT2



Appendix F

**GENERAL**

- COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
- DETERMINE THE EXACT LOCATION, SIZE, MATERIAL, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THIS DRAWING.
- OBTAIN AND PAY ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
- ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITY THAT MAY EXIST ON SITE OR WITHIN THE STREET LINES MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- RESTORE ALL DISTURBED AREAS ON-SITE AND OFF-SITE, INCLUDING TRENCHES AND SURFACES ON PUBLIC ROAD ALLOWANCES TO EXISTING CONDITIONS OR BETTER TO THE SATISFACTION OF THE CITY OF OTTAWA AND ENGINEER.
- REMOVE FROM SITE ALL EXCESS EXCAVATED MATERIAL, ORGANIC MATERIAL AND DEBRIS UNLESS OTHERWISE INSTRUCTED BY ENGINEER. EXCAVATE AND REMOVE FROM SITE ANY CONTAMINATED MATERIAL. ALL CONTAMINATED MATERIAL SHALL BE DISPOSED OF AT A LICENSED LANDFILL FACILITY.
- ALL UNDERGROUND SERVICES MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND CODES OF THE MUNICIPALITY.
- ALL SURFACE DRAINAGE SHALL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- WHEREVER PIPES ARE PASSING THROUGH UNCOMPACTED FILL AREA, THE BEDDING TRENCH SHALL BE EXCAVATED TO THE UNDISTURBED GROUND LEVEL AND BACKFILLED WITH GRANULAR 'A' COMPACTED TO 100% STANDARD PROCTOR DENSITY.
- BEFORE COMMENCING CONSTRUCTION PROVIDE PROOF OF COMPREHENSIVE ALL RISK AND OPERATIONAL LIABILITY INSURANCE INCLUDING BLASTING (ONLY IF REQUIRED), INSURANCE POLICY TO NAME THE OWNER, ENGINEER AND ARCHITECT AS CO-INSURED. AMOUNT OF INSURANCE TO BE SPECIFIED BY OWNERS AGENT.
- CONNECTION TO EXISTING SYSTEMS AS DETAILED, INCLUDING ALL RESTORATION WORK NECESSARY TO REINSTATE SURFACES TO THE CONDITION THAT EXISTED PRIOR TO CONSTRUCTION OR BETTER.
- STANDARD ROAD CUT SHALL BE IN ACCORDANCE WITH CITY STANDARD R10.
- ASPHALT REINSTATEMENT SHALL BE IN ACCORDANCE WITH CITY STANDARD R25.
- CONCRETE SIDEWALK TO BE CONSTRUCTED AS PER CITY STANDARDS SC-3, SC-5, SC-7, AND SC-8
- CONTRACTOR TO PROVIDE LINE/PARKING PAINT LINES
- BOULEVARDS SHALL BE REINSTATED WITH 150mm OF TOPSOIL AND SODDED.
- INVESTIGATION REPORT FOR SUBSURFACE INFORMATION PREPARED BY THE GEOTECHNICAL CONSULTANT. INTERPRETATION OF INFORMATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVE TOPSOIL AND STOCKPILE ONSITE IN A SUITABLE LOCATION.
- TOPSOIL IN FILL AREA TO BE STRIPPED AND CLEAN FILL TO BE PLACED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT FOR CONSTRUCTION PURPOSES.
- THE ORIGINAL TOPOGRAPHY AND GROUND ELEVATIONS, SERVICING AND SURVEY DATA SHOWN ON THIS PLAN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION OBTAINED FROM THESE PLANS.
- THICKNESS OF GRANULAR MATERIAL AND ASPHALT LAYERS SHALL BE IN ACCORDANCE WITH CITY STANDARD ROAD CROSS SECTION AND AS PER THE GEOTECHNICAL CONSULTANTS RECOMMENDATIONS.
- ALL ELEVATIONS ARE GEODETIC AND UTILIZE METRIC UNITS. ALL MEASUREMENTS UTILIZE METRIC UNITS.
- CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GENERAL PLAN OF SERVICES INDICATING ALL SERVICING AS-BUILT INFORMATION SHOWN ON THIS PLAN. AS-BUILT INFORMATION MUST INDICATE PIPE MATERIAL, SIZES, LENGTHS, SLOPES, INVERT AND TIG ELEVATIONS, STRUCTURE LOCATIONS, VALVE AND HYDRANTS LOCATIONS, TWM ELEVATIONS AND ANY ALIGNMENT CHANGES, ETC.
- REFER TO ARCHITECTS AND LANDSCAPE ARCHITECTS DRAWINGS FOR BUILDING AND HARDSURFACE AREAS AND DIMENSIONS

**SEWERS**

- ALL SEWER MATERIALS AND CONSTRUCTION METHODS MUST FOLLOW CITY OF OTTAWA STANDARDS.
- ALL CATCHBASIN MANHOLES AND MANHOLES SHALL BE PRECAST AND CONFORM TO CITY OF OTTAWA DETAILS S24, S24.1, S25, S28, S28.1 AND OPSD 701.010.
- ALL CATCHBASINS SHALL BE PRECAST AND CONFORM TO OPSD 705.010.
- ALL CATCHBASIN MANHOLES AND CATCHBASINS TO HAVE A MINIMUM 0.6m SUMP AS PER OPSD UNLESS NOTED OTHERWISE.
- REAR YARD CATCHBASINS SHALL BE IN ACCORDANCE WITH CITY STANDARD DETAIL S29, S30 AND S31.
- ALL CATCHBASINS SHALL INCLUDE 6.0m OF 150mmØ PERFORATED SUBDRAIN C/W FILTER CLOTH.
- ROAD CATCHBASINS WITH SOLID COVER TO BE AS PER S19 SOLID COVER ALTERNATIVE.
- ALL CATCHBASIN LEADS TO BE 200MM DIAMETER AND ALL REAR YARD CATCHBASIN LEADS TO BE 250MM DIAMETER, UNLESS OTHERWISE NOTED.
- STORM SEWER SHALL BE CONCRETE CL III WITH TYPE "B" BEDDING OR PVC PIPE SDR 35 THROUGHOUT EXCEPT AT RISERS, UNLESS OTHERWISE NOTED, AS PER OPSD.
- ALL PROPOSED FOUNDATION DRAINS SHALL BE CONNECTED TO STORM SEWER.
- MANHOLE BENCHING SHALL FOLLOW MUNICIPALITY STANDARD DETAIL FOR MANHOLES WITH CONNECTING PIPES 900mm OR LARGER.
- SEWER TRENCHING AND BEDDING SHALL BE AS PER CLASS "B" BEDDING CITY OF OTTAWA STANDARD DRAWING S-7, UNLESS NOTED OTHERWISE. BEDDING SHALL BE COMPACTED TO MINIMUM 98% STANDARD PROCTOR DRY DENSITY. CLEAR STONE BEDDING SHALL NOT BE PERMITTED.
- SANITARY SEWERS AND CONNECTIONS 150mmØ AND SMALLER TO BE PVC SDR 28.
- SANITARY SEWERS AND CONNECTIONS 200mmØ AND LARGER TO BE PVC SDR 35 WITH TYPE "B" BEDDING THROUGHOUT EXCEPT AT RISERS, UNLESS OTHERWISE NOTED.
- ALL STORM AND SANITARY SERVICES ARE TO BE THE SIZES INDICATED AND THE MATERIAL SHALL BE PVC DR-28 @ 1.0% MINIMUM SLOPE.
- INSULATE ALL STORM AND SANITARY SEWERS THAT HAVE LESS THAN 2.0m AND 2.5m OF EFFECTIVE COVER RESPECTIVELY WITH THERMAL INSULATION. PROVIDE 150mm OF CLEARANCE BETWEEN PIPE AND INSULATION.
- SANITARY AND STORM SERVICES ARE TO BE CONSTRUCTED TO WITHIN 1.0m OF FOUNDATION WALL AND CAPPED, AT A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE INDICATED.
- THE OWNER SHALL REQUIRE THAT THE SITE SERVICING CONTRACTOR PERFORM FIELD TESTS FOR QUALITY CONTROL OF ALL SANITARY SEWERS. LEAKAGE TESTING SHALL BE COMPLETED IN ACCORDANCE WITH OPSS 410.07.16 AND 407.07.24. DYE TESTING IS TO BE COMPLETED ON ALL SANITARY SERVICES TO CONFIRM PROPER CONNECTION TO THE SANITARY SEWER MAIN. THE FIELD TESTS SHALL BE PERFORMED IN THE PRESENCE OF A CERTIFIED PROFESSIONAL ENGINEER WHO SHALL SUBMIT A CERTIFIED COPY OF THE TEST RESULTS
- CONTRACTOR TO TELEWISE (CCTV) ALL PROPOSED SEWERS, 200mm OR GREATER PRIOR TO BASE COURSE ASPHALT UPON COMPLETION OF CONTRACT. THE CONTRACTOR IS RESPONSIBLE TO FLUSH, CLEAN AND RE-TELEWISE ALL SEWERS & APPURTENANCES.
- FULL PORT BACKWATER VALVES ARE REQUIRED ON THE SANITARY SERIES INSTALLED AS PER THE MANUFACTURERS BUILDING; INSTALLED AS PER ST. DWG S14.
- WATERTIGHT COVERS TO BE LOCATED WITHIN STORMWATER MANAGEMENT PONDING AREAS AS PER OPSD 401.030. REFER TO SANITARY AND STORM WATERTIGHT LID TABLES.

**WATERMANS**

- CONSTRUCT ALL WATERMANS AND APPURTENANCES IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS AND SPECIFICATIONS. WATERMAIN TO BE PVC DR 18 EXCAVATION, INSTALLATION, BACKFILL AND RESTORATION OF ALL WATERMANS BY CONTRACTOR. CONNECTION TO EXISTING WATERMAIN BY CITY OF OTTAWA. NO WORK TO COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE.
- WATERMAIN MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.25m OVER AND 0.50m UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
- WATERMANS ARE TO HAVE A MINIMUM COVER OF 2.4m WITH A MINIMUM HORIZONTAL SPACING OF 2.0m FROM THEMSELVES AND OTHER UTILITIES, AS PER CITY OF OTTAWA STANDARD DETAIL R-20.
- PROVIDE THERMAL INSULATION FOR WATERMAIN AT OPEN STRUCTURES PER CITY OF OTTAWA STANDARD DETAIL W-23.
- IF WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.
- ALL CURB STOPS TO BE INSTALLED ON THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- WATERMAIN TRENCHING AND BEDDING TO CONFORM TO CITY OF OTTAWA STANDARD DETAIL W-17.
- VALVES AND VALVE BOXES TO CONFORM WITH CITY OF OTTAWA STANDARD DETAIL W-24.
- FIRE HYDRANT C/W VALVE AND BOX SHALL CONFORM TO CITY OF OTTAWA STANDARD DETAIL W-19.
- CONCRETE THRUST BLOCKS ARE TO BE CONSTRUCTED AS PER CITY OF OTTAWA STANDARDS W25.3 AND W25.4.
- ALL WATERMAIN SERVICE INSTALLATIONS AT SEWER CROSSINGS PER CITY OF OTTAWA STANDARD DETAIL W-38.
- WATER METER SHALL CONFORM TO CITY OF OTTAWA STANDARD DETAIL W-32. INSTALLATION BY CITY OF OTTAWA.
- WATER SERVICE IS TO BE CONSTRUCTED TO WITHIN 1.0m OF FOUNDATION WALL AND LEAVE 6.0m OF COIL UNLESS OTHERWISE INDICATED
- PRESSURE REDUCING VALVES (PRV) ARE TO BE INSTALLED ON EVERY WATER SERVICE.

**TYPICAL SERVICING NOTES:**

- NO HORIZONTAL BENDS IN RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY THE CITY. MAXIMUM OF TWO 22.5° HORIZONTAL BENDS FOR SANITARY AND STORM SERVICES.
- 1.0% MINIMUM SANITARY AND STORM SERVICE GRADIENT WITH 2% PREFERRED.
- STORM SERVICE LATERAL SHALL BE LOCATED TO THE LEFT OF SANITARY SERVICE LATERAL WHEN LOOKING AT THE STRUCTURE FROM THE STREET. SERVICE SIZES IN CONFORMANCE WITH S11.
- SEE S7 FOR PIPE FOUNDATION, EMBEDMENT AND FINAL BACKFILL REQUIREMENTS.
- MULTIPLE TAPS WITH SADDLES IN PVC WATERMAIN SHALL BE STAGGERED AND MINIMUM 600mm APART.
- ELEVATION OF SERVICES VARIABLE DEPENDING ON GRADIENT AND/OR DEPTH OF COVER.
- ALL DIMENSIONS ARE IN MILLIMETRES.
- CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GRADING PLAN INDICATING AS-BUILT ELEVATIONS OF ALL DESIGN GRADES SHOWN ON THIS PLAN.
- GRADE AND/OR FILL BEHIND PROPOSED CURB AND BETWEEN BUILDINGS AND CURBS, WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE.
- REFER TO ELECTRICAL DESIGN FOR UTILITY LOCATIONS.
- SEE W27 FOR ADDITIONAL WATER SERVICING SCENARIOS.

**GRADING**

- CONTACT CITY FOR ROUGH GRADING INSPECTION PRIOR TO PLACEMENT OF TOPSOIL OR TOPSOIL AND SOD.
- FINISHED GRADING WILL NOT ADVERSELY AFFECT DRAINAGE PATTERNS OF ADJACENT LANDS.
- MAXIMUM (3:1) SLOPES AT PROPERTY LINE AND WITHIN THE SITE UNLESS OTHERWISE INDICATED.
- MATCH EXISTING ELEVATIONS AT ALL PROPERTY LINES. ENSURE POSITIVE DRAINAGE WHETHER INDICATED OR NOT.
- WHERE EXISTING GRADE IS FOUND TO BE MORE THAN 300mm BELOW THE PROPOSED GRADES INDICATED ON THIS GRADING PLAN, CONTACT ENGINEER IMMEDIATELY.
- SWALES LESS THAN 1.5% SHALL HAVE A 250mm SUBDRAIN AS PER CITY OF OTTAWA STANDARD S29, S30 AND S31.
- MINIMUM OF 2% AND MAXIMUM OF 6% GRADE FOR GRASSED AREAS UNLESS OTHERWISE NOTED. SIDEWALK CROSSFALL NOT TO EXCEED 2%.
- CURBS SHALL BE BARRIER CURB (150mm) UNLESS OTHERWISE NOTED AND CONSTRUCTED AS PER CITY OF OTTAWA STANDARDS (SC1.1).
- ALL GRADES BY CURBS ARE EDGE OF PAVEMENT GRADES UNLESS OTHERWISE INDICATED
- ALL PROPOSED STEPS IN WALKWAYS ARE TO BE WITHIN THE PROPERTY BOUNDARY.
- ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, REVIEWED, INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- REFER TO LANDSCAPE PLAN FOR PLANTING AND OTHER LANDSCAPE FEATURE DETAILS

**UTILITY NOTES:**

- CONTRACTOR TO CONTACT RESPECTIVE UTILITY COMPANIES TO DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR TO ASSUME ALL LIABILITY FOR DAMAGE TO EXISTING UTILITIES.
- EXTEND ENCASED DUCT CROSSINGS 1.0m FROM BACK OF CURB OR SIDEWALK ON EACH SIDE.
- CONTRACTOR SHALL EXCAVATE, BACKFILL, AND RESTORE ALL SURFACES TO EXISTING CONDITIONS FOR HYDRO PRIMARY, BELL, AND CABLEVISION CABLES.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL DUCT WORK AND TRANSFORMER PAD. SINGLE PHASE TRANSFORMER PAD PER HYDRO OTTAWA DETAIL UCS0093.
- TEMPORARILY COIL ALL SERVICE WIRES ON A 76mm X 76mm X 2.4m WOODEN POST FOR EACH UNIT WITH ENOUGH CONDUCTOR TO ALLOW FOR COMPLETION OF TRENCHING AND BUILDING CONNECTION.
- MINIMUM 1.5m CLEARANCE TO BE PROVIDED FROM WATER SERVICES TO ALL PEDESTALS, TRANSFORMER PADS, ROAD DUCT CROSSINGS, AND STREET LIGHTS.
- MINIMUM 3.0m CLEARANCE TO BE PROVIDED FROM HYDRANT TO ALL ABOVE GROUND STRUCTURES INCLUDING STREETLIGHTS, BELL PEDESTALS, CABLE PEDESTALS, TRANSFORMERS, SECTIONALIZERS, ETC.

**PAVEMENT STRUCTURE NOTES**

- SUBGRADE MATERIAL SHALL BE PLACED IN MAXIMUM 300mm LIFTS AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY
- ROADWAY GRANULAR MATERIAL SHALL BE PLACED IN MAXIMUM 300mm LIFTS AND COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY
- ASPHALTIC CONCRETE TO BE COMPACTED TO AT LEAST 97% OF MARSHALL DENSITY
- ROADWAY SUBGRADE TO BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION TO REVIEW THE GRANULAR 'B' DEPTH AND FOR THE NECESSITY OF A WOVEN GEOTEXTILE BELOW THE GRANULAR MATERIALS.
- PRIOR TO THE PLACEMENT OF TOPLIFT, CONTRACTOR IS TO ADJUST ALL STRUCTURES AS PER CITY OF OTTAWA STANDARD R-2.

**EROSION AND SEDIMENT CONTROL NOTES:**

- THE OWNER AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN TO THE SATISFACTION OF THE CITY OF OTTAWA, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS AND DURING ALL PHASES OF THE SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL. SUCH AS BUT NOT LIMITED TO INSTALLING CATCHBASIN INSERTS ACROSS MH & CBS AND INSTALLING AND MAINTAINING LIGHT DUTY SILT FENCE BARRIERS AND STRAW BALE/ROCK CHECK DAMS AS REQUIRED.
- CONDITIONS OF THE SILT FENCE AND STRAW BALE/ROCK CHECK DAMS TO BE INSPECTED REGULARLY AND REPLACED OR REPAIRED AS INSTRUCTED BY THE ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT ROADS ARE KEPT CLEAN AT ALL TIMES USING SUCH PRACTICES AS WASHING DOWN TRUCK TIRES, ROAD SWEEPING AND FLUSHING ETC.
- THE CONTRACTOR ACKNOWLEDGES THAT SURFACE EROSION AND SEDIMENT RUNOFF RESULTING FROM HIS CONSTRUCTION OPERATIONS WILL HAVE A DETRIMENTAL IMPACT TO ANY DOWNSTREAM WATERCOURSE OR SEWER, AND THAT ALL CONSTRUCTION OPERATIONS THAT MAY IMPACT UPON WATER QUALITY SHALL BE CARRIED OUT IN A MANNER THAT STRICTLY MEETS THE REQUIREMENTS OF ALL APPLICABLE LEGISLATION AND REGULATIONS.
- AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT HIS OPERATIONS, AND SUPPLYING AND INSTALLING ANY APPROPRIATE CONTROL MEASURES, SO AS TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ANY SEWER OR WATERCOURSE WITHIN DOWNSTREAM OF THE WORKING AREA. FOR THIS PROJECT THE SUGGESTED ON-SITE MEASURES SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING METHODS:
  - CATCH BASIN SILT TRAPS
  - MAINTENANCE HOLE AND REAR YARD CATCH BASIN FILTERS
  - LIGHT DUTY SILT FENCE
  - MUD MATS
  - STRAW BALE CHECK DAMS

SPECIFIC MEASURES SHALL BE INSTALLED AT THE SPECIFIED LOCATIONS AND IN ACCORDANCE WITH THE REQUIREMENTS OF OPSS 577 WHERE APPROPRIATE, OR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

- WHERE, IN THE OPINION OF THE CONTRACT ADMINISTRATOR OR ANY REGULATORY AGENCY, THE INSTALLED CONTROL MEASURES FAIL TO PERFORM ADEQUATELY, THE CONTRACTOR SHALL SUPPLY AND INSTALL ADDITIONAL OR ALTERNATIVE MEASURES AS DIRECTED BY THE CONTRACT ADMINISTRATOR OR THE REGULATORY AGENCY. AS SUCH, THE CONTRACTOR SHALL HAVE ADDITIONAL CONTROL MATERIALS ON SITE AT ALL TIMES WHICH ARE EASILY ACCESSIBLE AND MAY BE IMPLEMENTED BY HIM AT A MOMENT'S NOTICE.
- THE CONTRACTOR SHALL ENSURE THAT ALL WORKERS, INCLUDING IN THE WORKING AREA ARE AWARE OF THE IMPORTANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES AND INFORMED OF THE CONSEQUENCES OF THE FAILURE TO COMPLY WITH THE REQUIREMENTS OF ALL REGULATORY AGENCIES AND THE SPECIFICATIONS DETAILED HEREIN.
- THE CONTRACTOR SHALL PERIODICALLY, OR WHEN REQUESTED BY THE CONTRACT ADMINISTRATOR, CLEAN OUT ACCUMULATED SEDIMENT DEPOSITS AS REQUIRED AT THE SEDIMENT CONTROL DEVICES, INCLUDING THOSE DEPOSITS THAT MAY ORIGINATE FROM OUTSIDE THE CONSTRUCTION AREA. ACCUMULATED SEDIMENT SHALL BE REMOVED IN SUCH A MANNER THAT PREVENTS THE DEPOSITION OF THIS MATERIAL INTO ANY SEWER OR WATERCOURSE AND AVOIDS DAMAGE TO THE CONTROL MEASURE. THE SEDIMENT SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE AND MANAGED IN COMPLIANCE WITH THE REQUIREMENTS FOR EXCESS EARTH MATERIAL, AS SPECIFIED ELSEWHERE IN THE CONTRACT.

**PAVEMENT STRUCTURE:**

REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION RECOMMENDATIONS

Light Duty Parking 50mm HL3 OR SUPERPAVE 12.5 150mm GRAN 'A' 300mm GRAN 'B' TYPE II
--

Access Lanes and Heavy Duty Truck Parking 40mm SUPERPAVE 12.5 CLASS B 50mm SUPERPAVE 19.0 CLASS B 150mm GRAN 'A' 400mm GRAN 'B' TYPE II
---

\* GRANULAR BASE TO BE COMPACTED TO 99% STANDARD PROCTOR DRY DENSITY.

SANITARY MANHOLES THAT REQUIRE WATERTIGHT LIDS AS PER CITY SPEC MS-22.15	
MH ID	
105	
111	
115	
127	
131	
135	
145	
167	

STORM MANHOLES THAT REQUIRE WATERTIGHT LIDS AS PER CITY SPEC MS-22.15	
MH ID	
212	
224	
230	

**LEGEND**

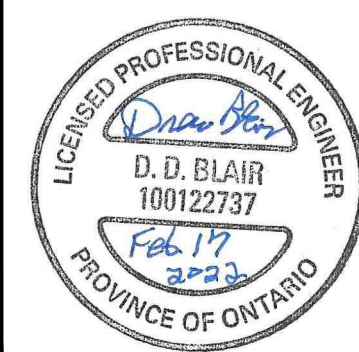
	SITE BOUNDARY		PROPOSED CATCHBASIN MANHOLE INSERT
	PROPOSED ELEVATION		PROPOSED CATCHBASIN INSERT
	EXISTING ELEVATION		PROPOSED SILT FENCE (SEE OPSD)
	PROPOSED TOP OF WALL ELEVATION		PROPOSED ROCK CHECK DAM (SEE OPSD 219.210)
	PROPOSED BOTTOM OF WALL ELEVATION		PROPOSED MUD MAT
	PROPOSED CENTERLINE OF DITCH ELEVATION		PROPOSED STRAW BALE (SEE OPSD 219.180)
	PROPOSED SWALE ELEVATION		PROPOSED TWSI AS PER SC7.3
	PROPOSED TERRACE ELEVATION		CONCRETE
	PROPOSED SLOPE		ROAD CUT AS PER CITY OF OTTAWA DETAIL R10
	PROPOSED CENTRELINE SWALE		EXISTING STORM MANHOLE AND SEWER
	PROPOSED TERRACING (MAXIMUM 3:1 SLOPE)		EXISTING SANITARY MANHOLE AND SEWER
	PROPOSED BARRIER CURB AS PER SC1.1		EXISTING VALVE AND VALE BOX
	PROPOSED TWSI AS PER CITY OF OTTAWA DETAIL 7.2		EXISTING FIRE HYDRANT
	PROPOSED RETAINING WALL		EXISTING CATCHBASIN
	PROPOSED SIDEWALK		EXISTING TOP OF GRATE
	STATIC PONDING AREA AND SPILL DEPTH ELEVATION		EXISTING UTILITY POLE C/W CUY WIRES
	1.100yr PONDING AREA AND ELEVATION		EXISTING LIGHT STANDARD
	1.5yr PONDING AREA AND ELEVATION		EXISTING DITCH
	EXISTING CONTOUR LINE AND CONTOUR ELEVATION		EXISTING SANITARY MANHOLE & SEWER
	PROPOSED UNDERSIDE OF FOOTING ELEVATION		EXISTING WATERMAIN
	PROPOSED HYDRANT TOP OF FLANGE ELEVATION		EXISTING FIRE HYDRANT C/W LEAD
	PROPOSED TOP OF GRATE ELEVATION		EXISTING VALVE & VALVE BOX LOCATION
	PROPOSED MAJOR OVERLAND FLOW ROUTE		EXISTING VALVE & VALVE CHAMBER LOCATION
	AREA ID		EXISTING UTILITY POLE
	MANHOLE TO MANHOLE		EXISTING OVER HEAD WIRE
	POPULATION EQUIVALENT		EXISTING SIDEWALK
	AREA IN HECTARES		EXISTING STORM MH & SEWER
	SANITARY DRAINAGE AREA BOUNDARY		EXISTING WATERMAIN
	DRAINAGE AREA (hectares)		
	AREA IDENTIFICATION		
	MANHOLE TO MANHOLE		
	RUN-OFF COEFFICIENT		
	DRAINAGE AREA BOUNDARY		
	PROPOSED SANITARY MANHOLE		
	PROPOSED STORM MANHOLE		
	PROPOSED CATCHBASIN MANHOLE		
	PROPOSED CATCHBASIN		
	PROPOSED CATCHBASIN & LEAD		
	PROPOSED REAR YARD ELBOW		
	PROPOSED REAR YARD TEE		
	PROPOSED VALVE & VALVE BOX LOCATION		
	PROPOSED HYDRANT C/W VALVE & LEAD		
	PROPOSED WATERMAIN AND DIAMETER		
	PROPOSED VALVE LOCATION		
	VALVE & VALVE BOX		
	VALVE & VALVE CHAMBER		
	PROPOSED TOP OF BOTTOM FLANGE		
	PROPOSED BEND AND THRUSTBLOCK 11.25', 22.5', 45' or TEE		
	PRESSURE REDUCING VALVE		
	PROPOSED DIRECTION OF FLOW		

NOTE: THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB

**FOR REVIEW ONLY**



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CITY OF OTTAWA  
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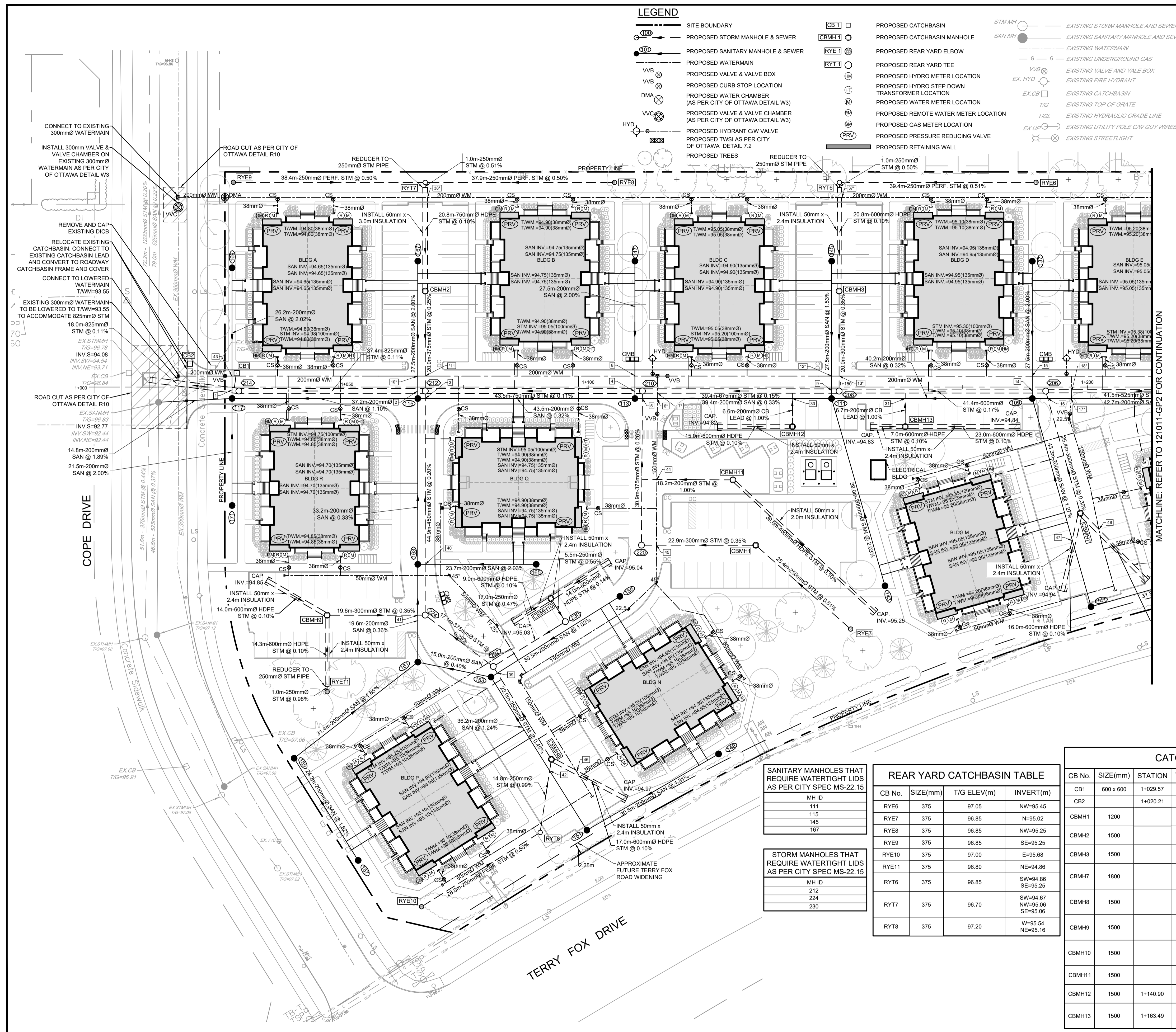
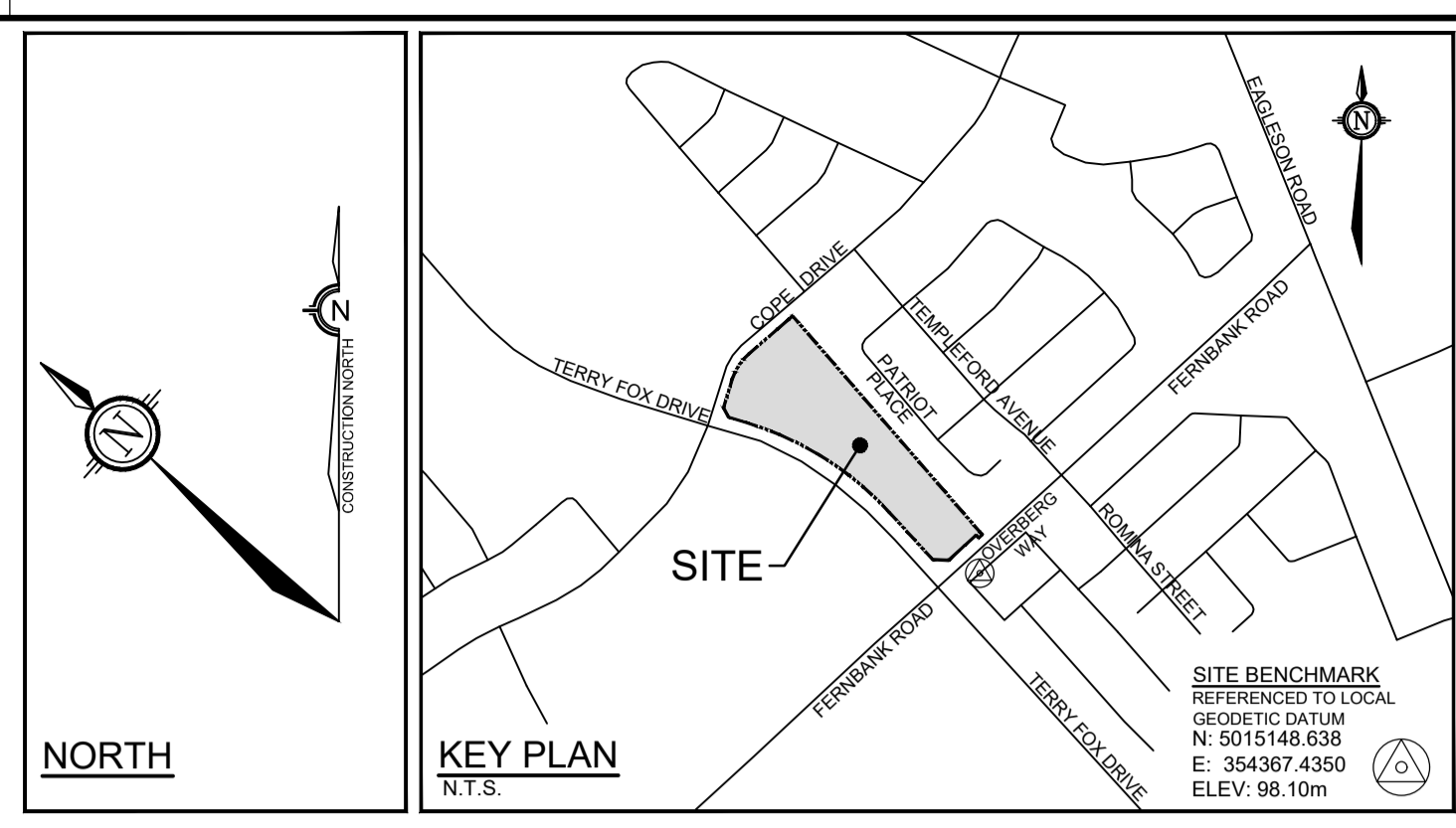
DRAWING NAME  
NOTES, LEGENDS AND DETAILS

PROJECT No.	121011-00
REV	REV # 3
DRAWING No.	121011-NLD



**LEGEND**

- SITE BOUNDARY
- PROPOSED STORM MANHOLE & SEWER
- PROPOSED SANITARY MANHOLE & SEWER
- PROPOSED WATERMAIN
- PROPOSED VALVE & VALVE BOX
- PROPOSED CURB STOP LOCATION
- PROPOSED WATER CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
- PROPOSED VALVE & VALVE CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
- PROPOSED HYDRANT CW VALVE
- PROPOSED TREES
- PROPOSED CATCHBASIN
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED REAR YARD ELBOW
- PROPOSED REAR YARD TEE
- PROPOSED HYDRO METER LOCATION
- PROPOSED CURB STOP DOWN TRANSFORMER LOCATION
- PROPOSED WATER METER LOCATION
- PROPOSED REMOTE WATER METER LOCATION
- PROPOSED GAS METER LOCATION
- PROPOSED PRESSURE REDUCING VALVE
- PROPOSED RETAINING WALL
- EXISTING STORM MANHOLE AND SEWER
- EXISTING SANITARY MANHOLE AND SEWER
- EXISTING WATERMAIN
- EXISTING UNDERGROUND GAS
- EXISTING VALVE AND VALVE BOX
- EXISTING FIRE HYDRANT
- EXISTING CATCHBASIN
- EXISTING TOP OF GRATE
- EXISTING HYDRAULIC GRADE LINE
- EXISTING UTILITY POLE CW-GUY WIRES
- EXISTING STREETLIGHT



**PIPE CROSSING TABLE**

CROSSING #	WATERMAIN	SANITARY	STORM
1	INV = 93.14 OVB = 93.34	INV = 93.14 OVB = 93.34	INV = 94.10 OVB = 95.04
2	INV = 93.55 OVB = 93.75	INV = 93.55 OVB = 93.75	INV = 94.13 OVB = 95.07
3	INV = 93.46 OVB = 93.66	INV = 93.46 OVB = 93.66	INV = 94.52 OVB = 95.05
4	INV = 93.69 OVB = 93.89	INV = 93.69 OVB = 93.89	INV = 94.26 OVB = 95.12
5	INV = 94.63 OVB = 93.80	INV = 94.63 OVB = 93.80	INV = 94.63 OVB = 95.09
6*	INV = 92.96 OVB = 93.11	INV = 93.61 OVB = 93.81	INV = 94.33 OVB = 95.11
7*	INV = 92.96 OVB = 93.11	INV = 93.75 OVB = 93.95	INV = 94.39 OVB = 95.17
8	INV = 92.76 OVB = 94.70	INV = 93.81 OVB = 93.81	INV = 94.39 OVB = 95.17
9	INV = 92.76 OVB = 94.70	INV = 93.81 OVB = 94.01	INV = 94.39 OVB = 95.17
10*	INV = 92.76 OVB = 92.96	INV = 93.81 OVB = 93.81	INV = 94.60 OVB = 95.06
11*	INV = 92.76 OVB = 92.96	INV = 93.81 OVB = 93.81	INV = 94.60 OVB = 95.06
12*	INV = 92.96 OVB = 93.16	INV = 93.86 OVB = 94.06	INV = 94.77 OVB = 95.14
13*	INV = 92.96 OVB = 93.16	INV = 93.95 OVB = 94.15	INV = 94.53 OVB = 95.23
14*	INV = 94.68 OVB = 94.21	INV = 94.01 OVB = 94.21	INV = 94.85 OVB = 95.21
15	INV = 94.68 OVB = 94.21	INV = 93.87 OVB = 94.21	INV = 94.84 OVB = 95.21
16	INV = 93.24 OVB = 93.39	INV = 93.89 OVB = 94.09	INV = 94.61 OVB = 95.22
17*	INV = 93.24 OVB = 93.39	INV = 93.89 OVB = 94.09	INV = 94.61 OVB = 95.22
18*	INV = 93.24 OVB = 93.39	INV = 93.89 OVB = 94.09	INV = 94.61 OVB = 95.22
31	INV = 94.15 OVB = 94.35	INV = 93.78 OVB = 93.98	INV = 94.76 OVB = 94.96
33	INV = 94.15 OVB = 94.35	INV = 93.70 OVB = 93.90	INV = 94.75 OVB = 94.95
37*	INV = 94.15 OVB = 94.35	INV = 94.04 OVB = 94.24	INV = 94.85 OVB = 95.45
38*	INV = 94.15 OVB = 94.35	INV = 94.04 OVB = 94.24	INV = 94.85 OVB = 95.45
39	INV = 94.15 OVB = 94.35	INV = 94.04 OVB = 94.24	INV = 94.85 OVB = 95.45
40	INV = 94.14 OVB = 94.12	INV = 93.92 OVB = 94.12	INV = 94.59 OVB = 95.12
41	INV = 94.14 OVB = 94.12	INV = 93.92 OVB = 94.12	INV = 94.59 OVB = 95.12
42	INV = 94.27 OVB = 94.47	INV = 93.20 OVB = 93.40	INV = 94.77 OVB = 95.14
43	INV = 94.27 OVB = 94.47	INV = 93.20 OVB = 93.40	INV = 94.77 OVB = 95.14
44	INV = 94.40 OVB = 94.55	INV = 94.14 OVB = 94.29	INV = 95.05 OVB = 95.25
45	INV = 94.14 OVB = 94.29	INV = 94.14 OVB = 94.29	INV = 94.73 OVB = 95.09
46	INV = 94.31 OVB = 94.46	INV = 94.08 OVB = 94.28	INV = 94.96 OVB = 95.62
47	INV = 94.28 OVB = 94.43	INV = 94.31 OVB = 94.51	INV = 94.93 OVB = 95.53
48	INV = 94.28 OVB = 94.43	INV = 94.31 OVB = 94.51	INV = 94.93 OVB = 95.53

**SAN MANHOLE TABLE**

MANHOLE ID	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)
109	1200	1+188.95	97.23	SE=93.86 NW=93.82 SW=93.92
111	1200	1+148.74	96.99	SE=93.73 NW=93.73 SW=93.79
113	1200	1+109.33	97.06	SE=93.60 NW=93.60 NE=93.66
115	1200	1+065.84	96.98	SE=93.46 NW=93.46 SW=93.52
117	1200	1+028.64	96.90	SE=93.05 NW=93.11 SW=93.60
137	1200		97.54	SW=94.47
141	1200		97.44	SE=94.53 NE=94.47
143	1200		97.45	NE=94.58
145	1200		96.95	SW=94.21
147	1200		97.28	SW=94.21
149	1200		97.47	W=94.73
151	1200		97.40	E=94.33 N=94.27
153	1200		97.12	S=93.82 E=93.82 NW=93.79
155	1200		97.20	W=94.13
157	1200		97.47	N=94.81
159	1200		97.35	S=94.37 E=94.31
161	1200		97.19	W=93.73 NE=93.70 SE=93.73
163	1200		97.02	SW=93.63 SE=93.69 NE=93.63
165	1200		97.30	NW=94.17
167	1200		96.78	SW=94.07
169	1200		97.15	SW=93.64
171	1200		97.17	NE=94.03

**CATCHBASIN TABLE**

CB No.	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)	ICD DIA.(mm)
CB1	600 x 600	1+029.57	96.88	SW=95.27	83mm PLATE
CB2	600 x 600	1+020.21	96.76		
CBMH1	1200		96.85	S=94.89 NW=94.86	83mm PLATE
CBMH2	1500		96.70	SW=94.64 NE=94.64	105mm PLATE
CBMH3	1500		96.85	SW=94.83 NE=94.83	80mm PLATE
CBMH7	1800		96.95	NE=94.92 SW=94.92 S=94.92	114mm PLATE
CBMH8	1500		96.85	N=94.95 SW=95.01 S=94.95	TEMPEST LMF VORTEX 92
CBMH9	1500		96.80	SE=94.83 SW=94.83 N=94.83	83mm PLATE
CBMH10	1500		96.85	S=95.02 E=95.02 W=95.02	87mm PLATE
CBMH11	1500		96.80	N=95.21 S=95.21	80mm PLATE
CBMH12	1500	1+140.90	96.83	NE=94.81 NW=94.81	TEMPEST LMF VORTEX 73
CBMH13	1500	1+163.49	96.83	NE=94.82 NW=94.82 SE=94.82	TEMPEST LMF VORTEX 75

**STM MANHOLE TABLE**

MANHOLE ID	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)
206	1200	1+191.63	97.26	SE=94.60 SW=94.83 NW=94.53
208	1500	1+150.24	97.03	SE=94.46 NE=94.76 NW=94.39
210	1500	1+110.84	97.09	SE=94.33 SW=94.63 NW=94.28
212	1500	1+067.34	96.94	SE=94.21 SW=94.52 NW=94.14
214	1500	1+029.99	96.91	NW=94.10 SE=94.10
220	1200		97.16	SE=94.78 NE=94.71
222	1200		97.12	N=94.73 S=94.85 E=94.85
224	1200		96.97	S=94.68 NE=94.61 NW=94.76
230	1200		97.03	N=94.99 W=94.93

**SANITARY MANHOLES THAT REQUIRE WATERTIGHT LIDS AS PER CITY SPEC MS-22.15**

MH ID
111
115
145
167

**STORM MANHOLES THAT REQUIRE WATERTIGHT LIDS AS PER CITY SPEC MS-22.15**

MH ID
212
224
230

**REAR YARD CATCHBASIN TABLE**

CB No.	SIZE(mm)	T/G ELEV(m)	INVERT(m)
RYE6	375	97.05	NW=95.45
RYE7	375	96.85	N=95.02
RYE8	375	96.85	NW=95.25
RYE9	375	96.85	SE=95.25
RYE10	375	97.00	E=95.68
RYE11	375	96.80	NE=94.86
RYT6	375	96.85	SW=94.86 SE=95.25
RYT7	375	96.70	N=94.67 SW=95.06 S=94.95
RYT8	375	97.20	W=95.54 NE=95.16

NOTE:  
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

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NOT FOR  
CONSTRUCTION**

**REVISIONS**

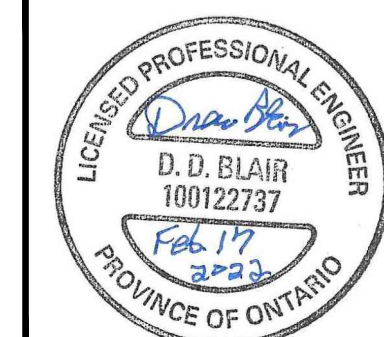
No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB

**SCALE**

1:400

**FOR REVIEW ONLY**

DESIGN	DDB
CHECKED	MSP
DRAWN	MTM
CHECKED	DDB
APPROVED	MSP



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5331 FERNBANK ROAD  
FERNBANK ZENS

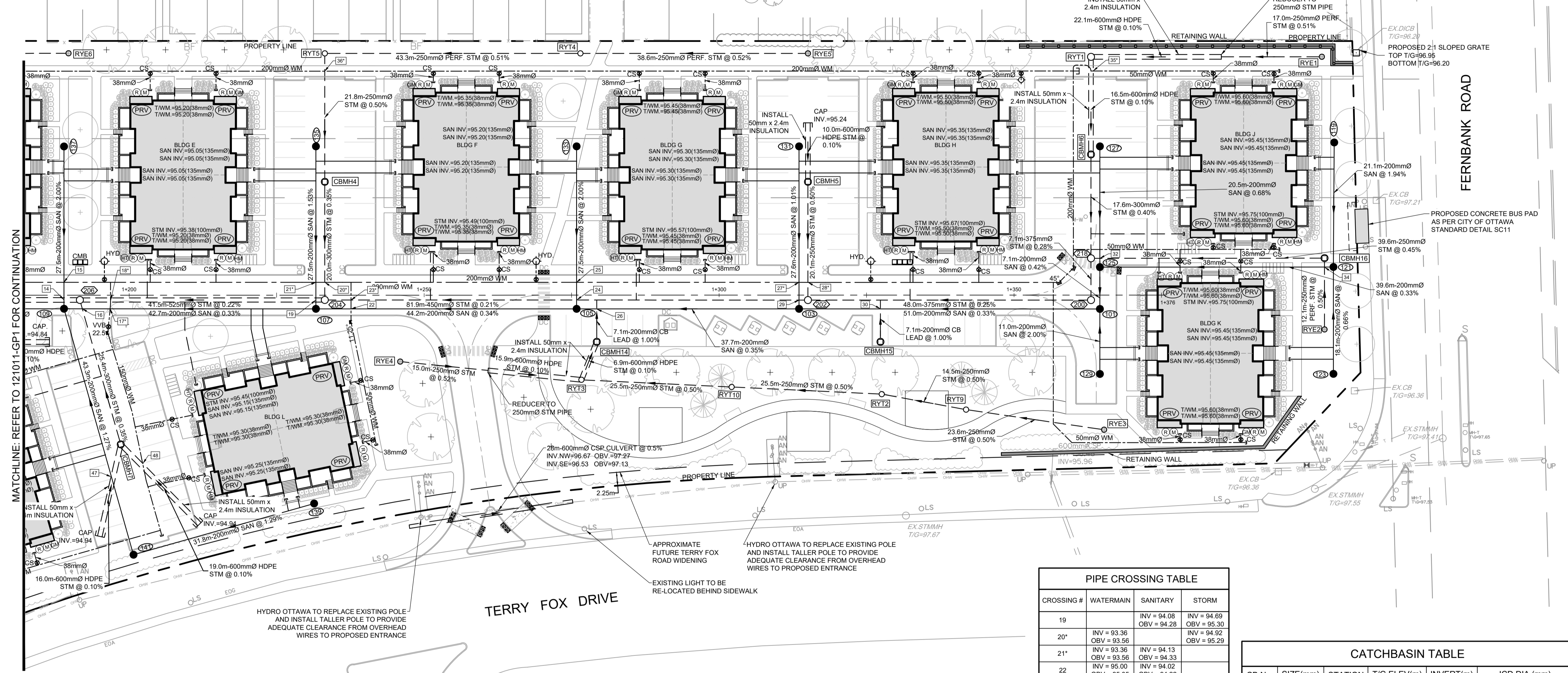
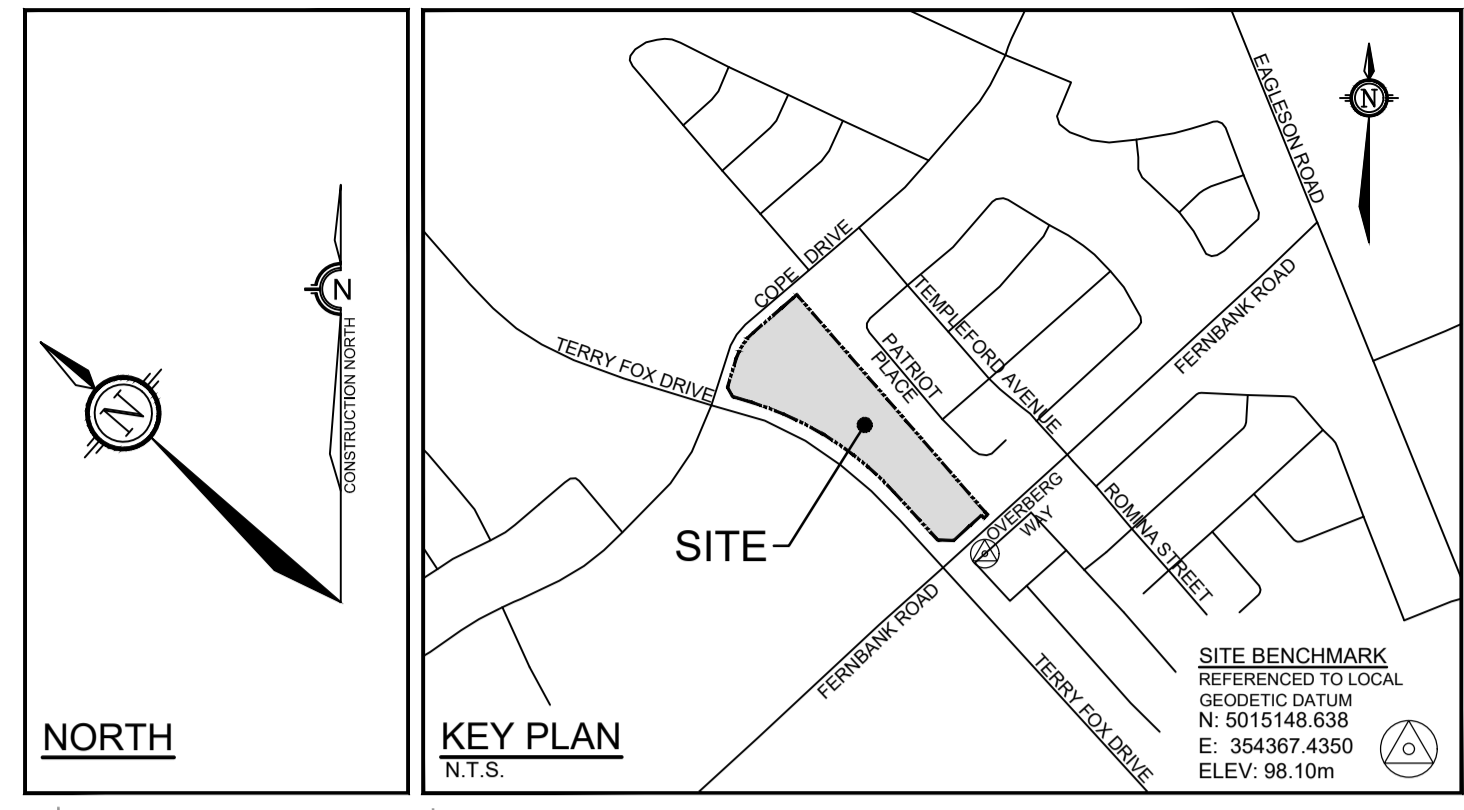
**DRAWING NAME**  
GENERAL PLAN OF SERVICES

PROJECT No. 121011-00  
REV # 3  
DRAWING No. 121011-GP1  
#18539

D07-12-21-0080

**LEGEND**

- SITE BOUNDARY
- PROPOSED STORM MANHOLE & SEWER
- PROPOSED SANITARY MANHOLE & SEWER
- PROPOSED WATERMAIN
- WB ⊗ PROPOSED VALVE & VALVE BOX
- CS ⊗ PROPOSED CURB STOP LOCATION
- DMA ⊗ PROPOSED WATER CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
- WVC ⊗ PROPOSED VALVE & VALVE CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
- HYD ⊗ PROPOSED HYDRANT CM VALVE
- CB ⊗ PROPOSED CATCHBASIN
- CBMH ⊗ PROPOSED CATCHBASIN MANHOLE
- RYE ⊗ PROPOSED REAR YARD ELBOW
- RYT ⊗ PROPOSED REAR YARD TEE
- PROPOSED TWSI AS PER CITY OF OTTAWA DETAIL 7.2
- PROPOSED TREES
- ⊕ PROPOSED HYDRO METER LOCATION
- ⊕ PROPOSED HYDRO STEP DOWN TRANSFORMER LOCATION
- ⊕ PROPOSED WATER METER LOCATION
- ⊕ PROPOSED REMOTE WATER METER LOCATION
- ⊕ PROPOSED GAS METER LOCATION
- ⊕ PROPOSED PRESSURE REDUCING VALVE
- ⊕ PROPOSED RETAINING WALL
- EXISTING STORM MANHOLE AND SEWER
- EXISTING SANITARY MANHOLE AND SEWER
- EXISTING WATERMAIN
- EXISTING UNDERGROUND GAS
- WB ⊗ EXISTING VALVE AND VALVE BOX
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING CATCHBASIN
- ⊕ EXISTING TOP OF GRATE
- EXISTING HYDRAULIC GRADE LINE
- ⊕ EXISTING UTILITY POLE C/W GUY WIRES
- ⊕ EXISTING STREETLIGHT



SAN MANHOLE TABLE				
MANHOLE ID	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)
101	1200	1+364.55	97.63	NW=94.45 SW=94.85 NE=94.51
103	1200	1+313.56	97.56	SE=94.28 NW=94.28 NE=94.34
105	1200	1+275.85	97.41	SE=94.14 NW=94.15 NE=94.21
107	1200	1+231.65	97.41	SE=94.00 NW=94.00 NE=94.06
109	1200	1+188.95	97.23	SE=93.86 NW=93.86 SW=93.92
119	1200		97.90	SW=95.20
121	1200		97.50	NE=94.79 SW=94.79 NW=94.73
123	1200		97.40	NE=94.91
125	1200		97.56	SE=94.60 NE=94.54 SW=94.54
127	1200		97.42	SW=94.68
129	1200		97.75	NE=95.07
131	1200		97.39	SW=94.62
133	1200		97.59	SW=94.76
135	1200		97.23	SW=94.48
137	1200		97.54	SW=94.47
139	1200		97.73	NW=94.94
141	1200		97.44	SE=94.53 NE=94.47

STM MANHOLE TABLE				
MANHOLE ID	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)
200	1200	1+363.05	97.60	NW=95.12 NE=95.18
202	1200	1+315.06	97.57	SE=95.00 NE=95.13 NW=94.93
204	1200	1+233.15	97.42	SE=94.76 NE=94.91 NW=94.69
206	1200	1+191.63	97.26	SE=94.60 SW=94.83 NW=94.53
218	1200	1+363.05	97.54	SE=95.32 NE=95.27 SW=95.20

PIPE CROSSING TABLE			
CROSSING #	WATERMAIN	SANITARY	STORM
19		INV = 94.08 OBV = 94.28	INV = 94.69 OBV = 95.30
20*	INV = 93.36 OBV = 93.56		INV = 94.44 OBV = 95.29
21*	INV = 93.36 OBV = 93.56	INV = 94.13 OBV = 94.33	
22	INV = 95.00 OBV = 95.05	INV = 94.02 OBV = 94.22	
23*	INV = 94.22 OBV = 94.27		INV = 94.77 OBV = 95.30
24		INV = 94.24 OBV = 94.44	INV = 94.85 OBV = 95.38
25	INV = 94.95 OBV = 95.15	INV = 94.30 OBV = 94.50	
26		INV = 94.16 OBV = 94.36	INV = 95.12 OBV = 95.32
27*	INV = 93.84 OBV = 93.84	INV = 94.39 OBV = 94.59	
28*	INV = 93.64 OBV = 93.84		INV = 95.14 OBV = 95.39
29		INV = 94.36 OBV = 94.56	INV = 94.93 OBV = 95.38
30		INV = 94.33 OBV = 94.53	INV = 95.54 OBV = 95.74
32		INV = 94.55 OBV = 94.75	INV = 95.33 OBV = 95.53
34		INV = 94.73 OBV = 94.93	INV = 95.57 OBV = 95.82
35*	INV = 94.80 OBV = 94.85		INV = 95.35 OBV = 95.95
36*	INV = 94.43 OBV = 94.63		INV = 95.13 OBV = 95.38
47		INV = 94.31 OBV = 94.51	INV = 94.93 OBV = 95.53
48	INV = 94.28 OBV = 94.43		INV = 94.93 OBV = 95.53

\* WATERMAIN CROSSING AS PER W25 & W25.2 PROVIDE THERMAL INSULATION AS PER W22 WHERE THERE IS LESS THAN 2.4m COVER.

CATCHBASIN TABLE				
CB No.	SIZE(mm)	STATION	T/G ELEV(m)	INVERT(m)
CBMH4	1200		97.15	SW=94.98 NE=95.03
CBMH5	1500		97.30	SW=95.23 NE=95.23
CBMH6	1500		97.35	SW=95.34 NE=95.34
CBMH7	1800		96.95	NE=94.92 SW=94.92 S=94.92
CBMH14	1500	1+279.26	97.25	NE=95.18 NW=95.21
CBMH15	1200	1+327.36	97.30	NE=95.60 SW=95.56
CBMH16	1200		97.45	NE=95.50 SW=95.56

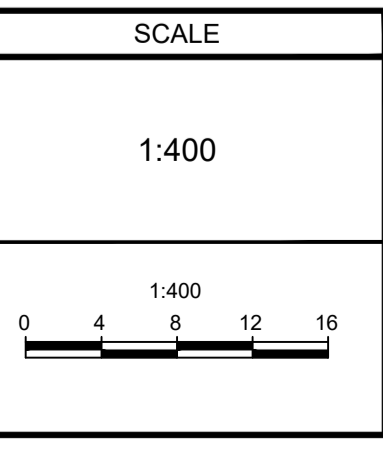
REAR YARD CATCHBASIN TABLE			
CB No.	SIZE(mm)	T/G ELEV(m)	INVERT(m)
RYE1	375	97.45	NW=95.48
RYE2	375	97.20	NE=95.62
RYE3	375	97.70	NW=95.78
RYE4	375	97.30	SE=95.37
RYE5	375	97.35	NW=95.62
RYE6	375	97.05	NW=95.45
RYT1	750	97.30	SW=95.36 SE=95.36
RYT2	375	97.25	SE=95.59 NW=95.59
RYT3	750	97.25	SE=95.33 NW=95.28 E=95.22
RYT4	375	97.15	NW=95.42 SE=95.42
RYT5	375	97.05	SW=95.14 SE=95.20
RYT9	375	97.55	SE=95.66 NW=95.66
RYT10	375	97.25	SE=95.46 NW=95.46

SANITARY MANHOLES THAT REQUIRE WATERTIGHT LIDS AS PER CITY SPEC MS-22.15	
MH ID	
105	
127	
131	
135	

**NOTE:**  
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3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
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DESIGN	DDB
CHECKED	MSP
DRAWN	MTM
CHECKED	DDB
APPROVED	MSP

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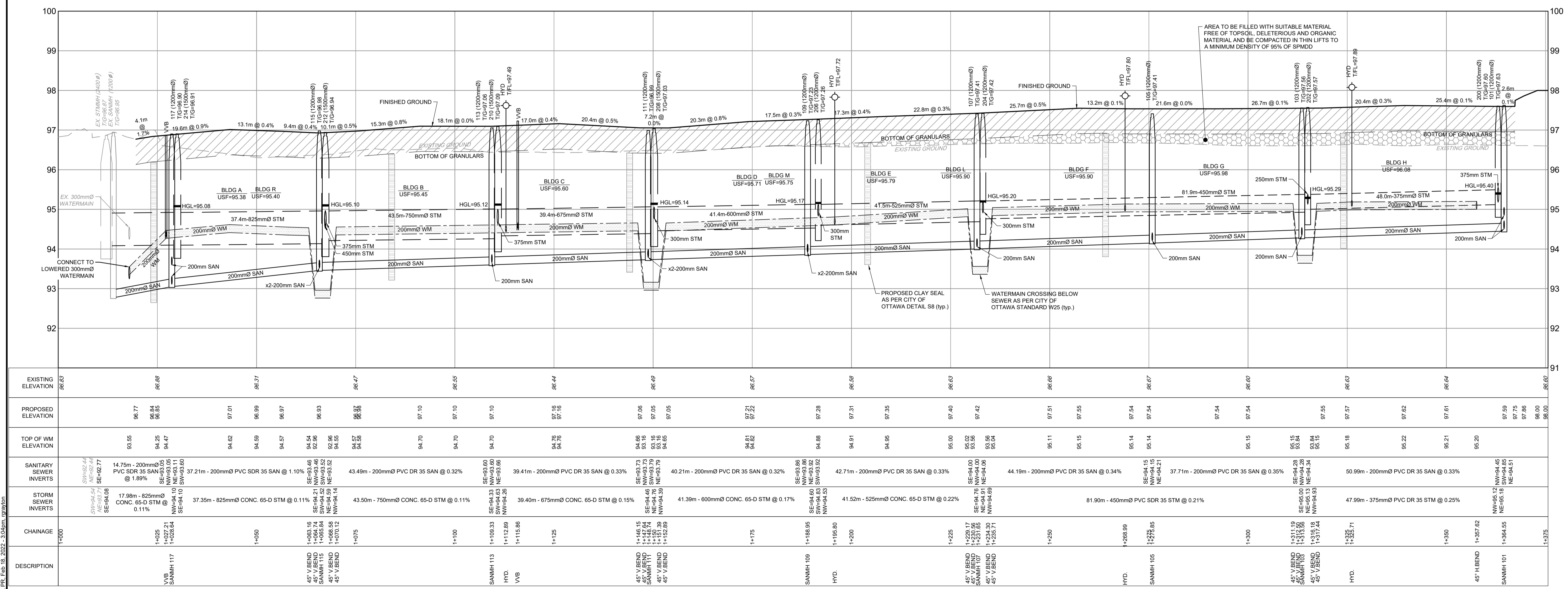
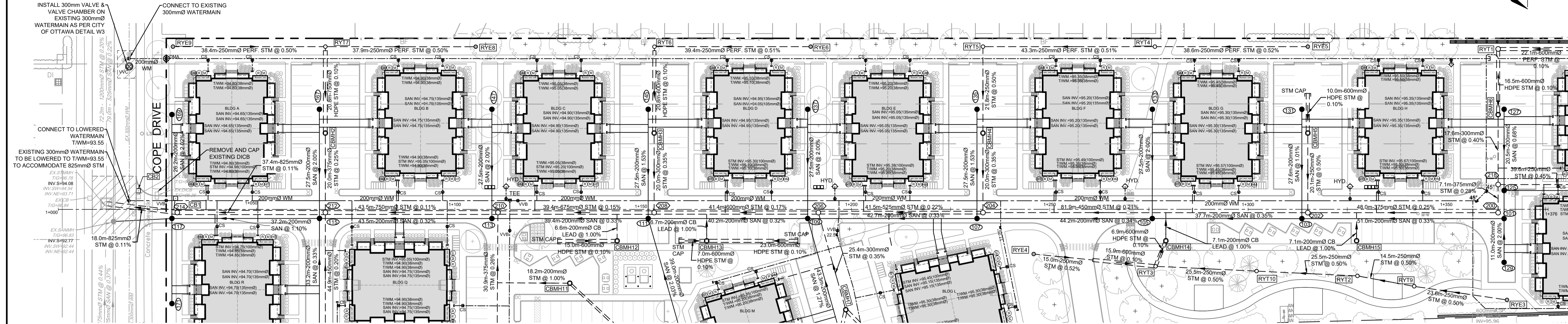
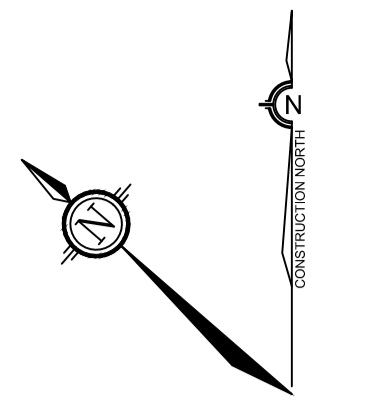
**NOVATECH**  
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CITY OF OTTAWA  
5331 FERNBANK ROAD  
FERNBANK ZENS

DRAWING NAME: GENERAL PLAN OF SERVICES

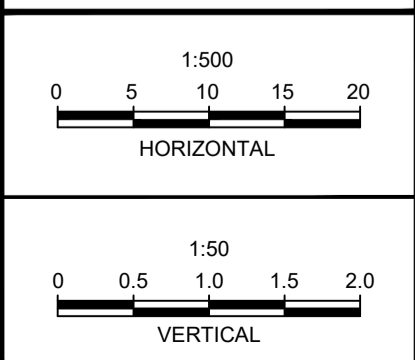
PROJECT No: 121011-00  
REV: REV # 3  
DRAWING No: 121011-GP2  
#18539

D07-12-21-0080



EXISTING ELEVATION	PROPOSED ELEVATION	TOP OF WM ELEVATION	SANITARY SEWER INVERTS	STORM SEWER INVERTS	CHAINAGE	DESCRIPTION
96.63	96.77	93.95	SV=92.44 NE=92.44 SE=92.77	SV=94.54 NE=93.71 SE=94.08	1+000	EXISTING WATERMAIN
96.68	96.84	94.25	14.75m - 200mm SDR 35 SAN @ 1.89%	17.98m - 825mm CONC. 65-D STM @ 0.11%	+1+025.21	CONNECT TO LOWERED WATERMAIN
96.31	96.99	94.47	SE=93.05 NE=93.11 SW=93.60	SE=94.10 NE=94.10 SW=94.10	+1+037.64	BLDG A USF=95.38
96.37	97.01	94.62	37.21m - 200mm PVC SDR 35 SAN @ 1.10%	37.35m - 825mm CONC. 65-D STM @ 0.11%	+1+050	BLDG R USF=95.40
96.47	96.99	94.57	SE=93.46 NE=93.46 SW=93.46	SE=94.21 NE=93.52 SW=94.14	+1+063.16	BLDG B USF=95.45
96.55	97.10	94.86	43.49m - 200mm PVC DR 35 SAN @ 0.32%	43.50m - 750mm CONC. 65-D STM @ 0.11%	+1+075	BLDG C USF=95.60
96.44	97.16	94.70	39.41m - 200mm PVC DR 35 SAN @ 0.33%	39.40m - 675mm CONC. 65-D STM @ 0.15%	+1+125	BLDG D USF=95.60
96.49	97.05	94.76	40.21m - 200mm PVC DR 35 SAN @ 0.32%	41.39m - 600mm CONC. 65-D STM @ 0.17%	+1+175	BLDG E USF=95.71
96.57	97.22	94.81	42.71m - 200mm PVC DR 35 SAN @ 0.33%	41.52m - 525mm CONC. 65-D STM @ 0.22%	+1+225	BLDG L USF=95.90
96.59	97.31	94.95	44.19m - 200mm PVC DR 35 SAN @ 0.34%	81.90m - 450mm PVC SDR 35 STM @ 0.21%	+1+250	BLDG M USF=95.75
96.63	97.40	95.00	37.71m - 200mm PVC DR 35 SAN @ 0.35%	47.99m - 375mm PVC DR 35 STM @ 0.25%	+1+300	BLDG F USF=95.90
96.66	97.51	95.11	50.99m - 200mm PVC DR 35 SAN @ 0.33%		+1+311.19	BLDG G USF=95.98
96.67	97.54	95.14			+1+313.56	BLDG H USF=96.08
96.69	97.54	95.15			+1+316.18	BLDG I USF=96.08
96.69	97.54	95.15			+1+317.44	BLDG J USF=96.08
96.69	97.54	95.15			+1+325.71	BLDG K USF=96.08
96.69	97.54	95.15			+1+375	BLDG L USF=96.08
96.69	97.54	95.15				BLDG M USF=96.08

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



**FOR REVIEW ONLY**

DESIGN: DBB  
CHECKED: MSP  
DRAWN: MTM  
CHECKED: DBB  
APPROVED: MSP



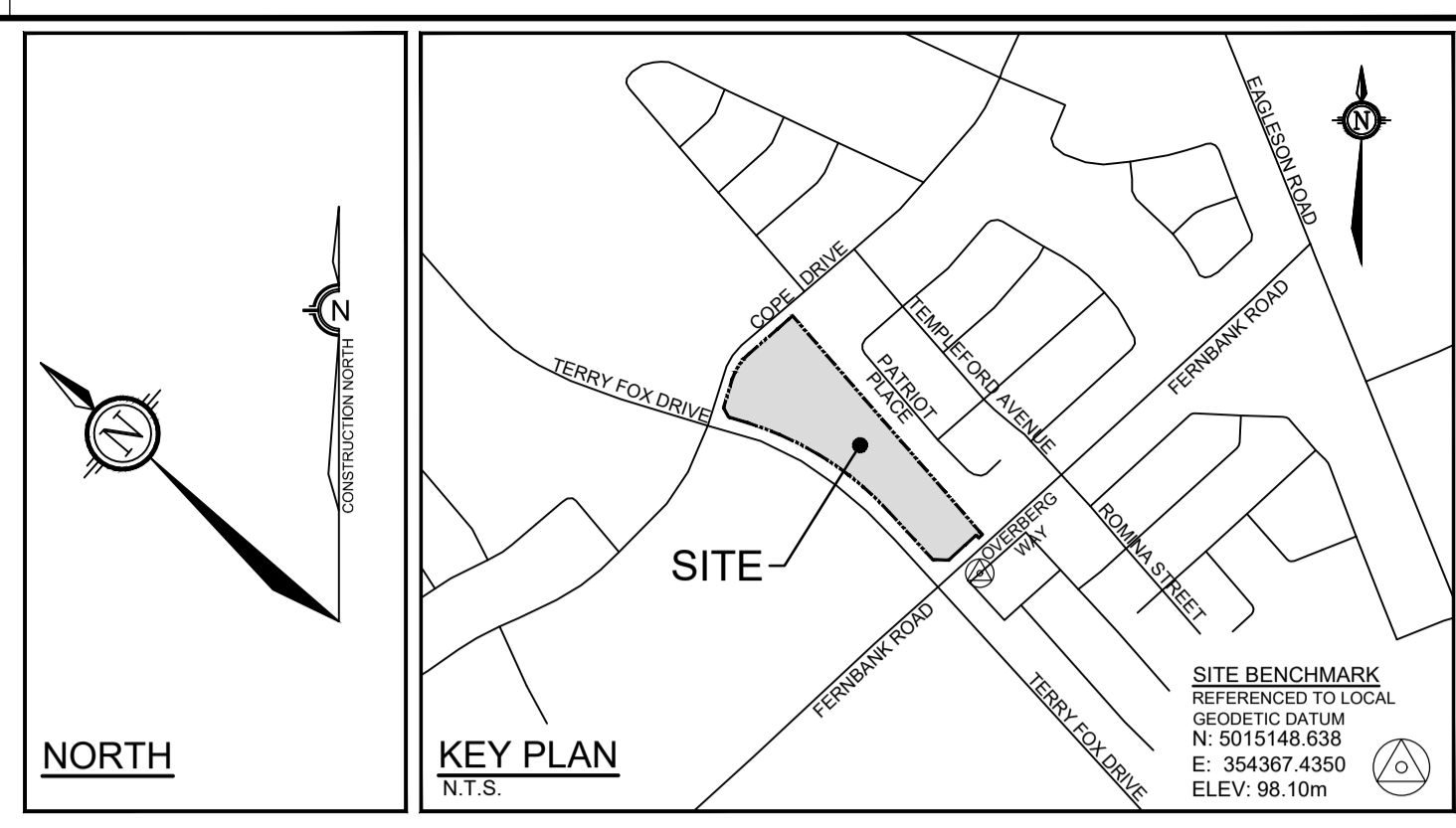
**NOVATECH**  
Engineers, Planners & Landscape Architects  
Suite 200, 240 Michael Cowpland Drive  
Ottawa, Ontario, Canada K2M 1P6  
Telephone: (613) 254-9643  
Facsimile: (613) 254-5867  
Website: www.novatech-eng.com

CITY OF OTTAWA  
5331 FERNBANK ROAD  
FERNBANK ZENS

DRAWING NAME  
**PLAN AND PROFILE**

PROJECT No: 121011-00  
REV # 2  
DRAWING No: 121011-PR  
**#18539**

M:\2021\121011\121011-PR.dwg, PR, Feb 18, 2022 - 3:04pm, ggraydon



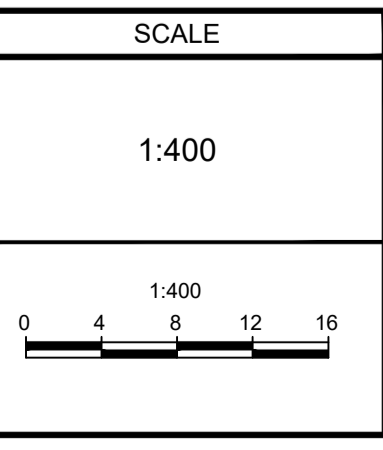
- LEGEND**
- SITE BOUNDARY
  - 97.32 PROPOSED ELEVATION
  - 96.32 EXISTING ELEVATION
  - 97.80T/W PROPOSED TOP OF WALL ELEVATION
  - 96.40B/W PROPOSED BOTTOM OF WALL ELEVATION
  - 98.20TC PROPOSED TOP OF CURB ELEVATION
  - 96.85(S) PROPOSED SWALE ELEVATION
  - 96.80TG PROPOSED TOP OF GRATE ELEVATION
  - 97.20CLD PROPOSED CENTERLINE OF DITCH ELEVATION
  - PROPOSED RETAINING WALL
  - FF= FINISHED FLOOR ELEVATION
  - T/F= TOP OF FOUNDATION ELEVATION
  - USF= UNDERSIDE OF FOOTING ELEVATION
  - MUSF= MINIMUM UNDERSIDE OF FOOTING ELEVATION
  - 97.70 PROPOSED TERRACE ELEVATION
  - MAXIMUM 3:1 SIDESLOPE
  - PROPOSED CENTRELINE SWALE
  - 2.0% PROPOSED GRADE AND DIRECTION
  - MAJOR OVERLAND FLOW ROUTE
  - HYD PROPOSED HYDRANT LOCATION
  - T/F=127.55 PROPOSED TOP OF BOTTOM FLANGE
  - VVB PROPOSED VALVE & VALVE BOX
  - CS PROPOSED CURB STOP LOCATION
  - DMA PROPOSED WATER CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
  - VVC PROPOSED VALVE & VALVE CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
  - 100 PROPOSED SANITARY MANHOLE
  - 100 PROPOSED STORM MANHOLE
  - CB1 PROPOSED ROAD CATCHBASIN
  - CBMH1 PROPOSED CATCHBASIN MANHOLE
  - RYE1 PROPOSED REAR YARD ELBOW
  - RYT1 PROPOSED REAR YARD TEE
  - W PROPOSED WATER METER LOCATION
  - RM PROPOSED REMOTE WATER METER LOCATION
  - PROPOSED TWSI AS PER CITY OF OTTAWA DETAIL 7.2
  - 97.55 PROPOSED STATIC PONDING LIMITS AND ELEVATION
  - 98.00 EXISTING CONTOUR LINE AND ELEVATION
  - 97.50 EXISTING CONTOUR LINE AND ELEVATION
  - 97.00 EXISTING CONTOUR LINE AND ELEVATION
  - EX HYD EXISTING FIRE HYDRANT
  - EX SANMH EXISTING SANITARY MANHOLE
  - EX STMMH EXISTING STORMMANHOLE
  - VVB EXISTING WATER VALVE
  - HP EXISTING HYDRO POLE
  - EX CB EXISTING CATCH BASIN

- PAVEMENT STRUCTURE DETAILS**
- \*REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION RECOMMENDATIONS.
- ACCESS LANES AND HEAVY DUTY TRUCK PARKING**
- 40mm SUPERPAVE 12.5
  - 50mm SUPERPAVE 19.0
  - 150mm GRANULAR 'A'
  - 150mm GRANULAR 'B' TYPE II
  - 400mm GRANULAR 'B' TYPE II
  - SUBGRADE TO BE FILL, IN SITU SOIL, OR O.P.S.S. GRANULAR 'B' TYPE 1 OR 2 MATERIAL PLACED OVER IN SITU SOIL OR FILL
- LIGHT DUTY PARKING**
- 50mm HL3 OR SUPERPAVE 12.5
  - 150mm GRANULAR 'A'
  - 300mm GRANULAR 'B' TYPE II
  - SUBGRADE TO BE FILL, IN SITU SOIL, OR O.P.S.S. GRANULAR 'B' TYPE 1 OR 2 MATERIAL PLACED OVER IN SITU SOIL OR FILL

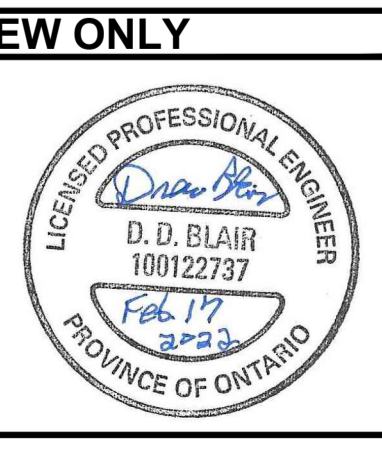
**NOTE:**  
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB



DESIGN	DDB
CHECKED	DDB
DRAWN	MSP
CHECKED	ATE
APPROVED	DDB
	MSP

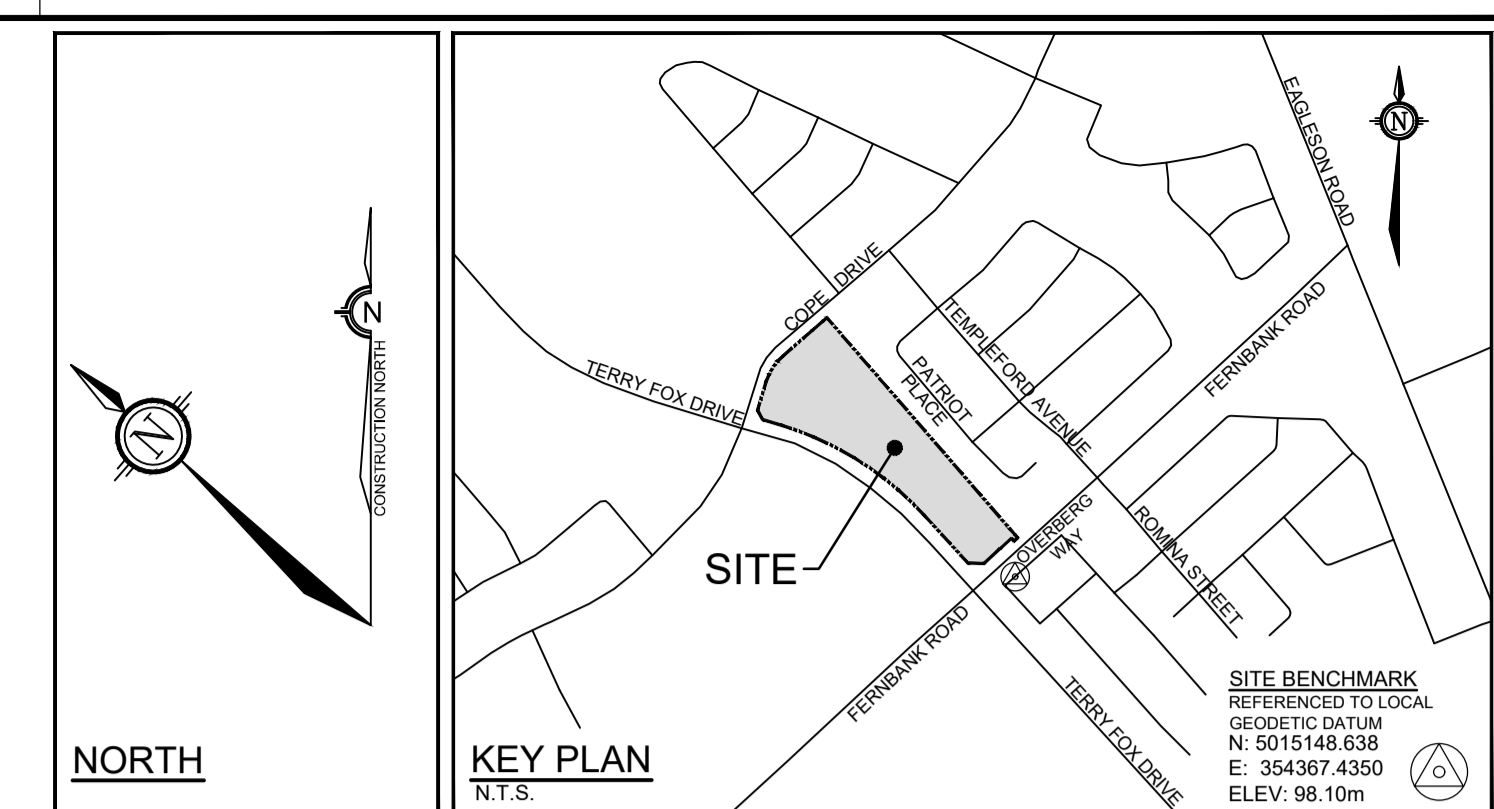


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CITY OF OTTAWA 5331 FERNBANK ROAD FERNBANK ZENS		PROJECT No. 121011-00
DRAWING NAME GRADING PLAN		REV # 3 REV # 3
		DRAWING No. 121011-GR1

M:\2021\121011\121011-GR.dwg, GR1, Feb 17, 2022, 4:47pm, jbragdon

D07-12-21-0080



**LEGEND**

	SITE BOUNDARY
	PROPOSED ELEVATION
	EXISTING ELEVATION
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED SWALE ELEVATION
	PROPOSED TOP OF GRATE ELEVATION
	PROPOSED CENTERLINE OF DITCH ELEVATION
	PROPOSED RETAINING WALL
	FF= FINISHED FLOOR ELEVATION
	T/F= TOP OF FOUNDATION ELEVATION
	USF= UNDERSIDE OF FOOTING ELEVATION
	MUSF= MINIMUM UNDERSIDE OF FOOTING ELEVATION
	97.70 PROPOSED TERRACE ELEVATION
	MAXIMUM 3:1 SLOPE
	PROPOSED CENTERLINE SWALE
	PROPOSED GRADE AND DIRECTION
	MAJOR OVERLAND FLOW ROUTE
	PROPOSED HYDRANT LOCATION
	T/F=127.55 PROPOSED TOP OF BOTTOM FLANGE
	VVB PROPOSED VALVE & VALVE BOX
	CS PROPOSED CURB STOP LOCATION
	DMA PROPOSED WATER CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
	VVC PROPOSED VALVE & VALVE CHAMBER (AS PER CITY OF OTTAWA DETAIL W3)
	SMH PROPOSED SANITARY MANHOLE
	STMH PROPOSED STORM MANHOLE
	CBM1 PROPOSED ROAD CATCHBASIN
	CBMH1 PROPOSED CATCHBASIN MANHOLE
	RYE1 PROPOSED REAR YARD ELBOW
	RYT1 PROPOSED REAR YARD TEE
	WM PROPOSED WATER METER LOCATION
	RWM PROPOSED REMOTE WATER METER LOCATION
	TWIS PROPOSED TWIS AS PER CITY OF OTTAWA DETAIL 7.2
	97.55 STATIC PONDING LIMITS AND ELEVATION
	98.00 EXISTING CONTOUR LINE AND ELEVATION
	EX-HYD EXISTING FIRE HYDRANT
	EX-SAMH EXISTING SANITARY MANHOLE
	EX-STMH EXISTING STORM MANHOLE
	WV EXISTING WATER VALVE
	HP EXISTING HYDRO POLE
	EX-CB EXISTING CATCH BASIN

**PAVEMENT STRUCTURE DETAILS**  
\*REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION RECOMMENDATIONS.

**ACCESS LANES AND HEAVY DUTY TRUCK PARKING**

- 40mm SUPERPAVE 12.5
- 50mm SUPERPAVE 19.0
- 150mm GRANULAR 'A'
- 400mm GRANULAR 'B' TYPE II
- SUBGRADE TO BE FILL, IN SITU SOIL, OR O.P.S.S. GRANULAR 'B' TYPE 1 OR 2 MATERIAL PLACED OVER IN SITU SOIL OR FILL

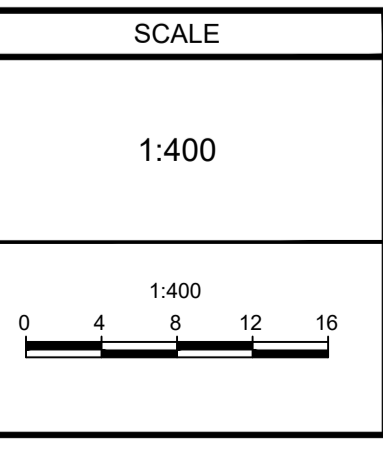
**LIGHT DUTY PARKING**

- 50mm HL3 OR SUPERPAVE 12.5
- 150mm GRANULAR 'A'
- 300mm GRANULAR 'B' TYPE II
- SUBGRADE TO BE FILL, IN SITU SOIL, OR O.P.S.S. GRANULAR 'B' TYPE 1 OR 2 MATERIAL PLACED OVER IN SITU SOIL OR FILL

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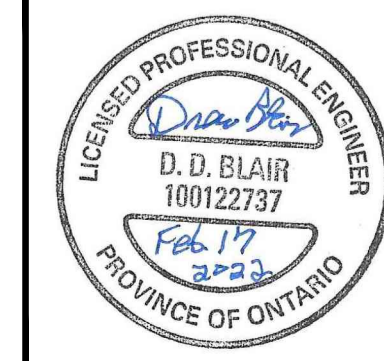
No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB



**DESIGN**

DESIGNED	DDB
CHECKED	MSP
DRAWN	ATE
CHECKED	DDB
APPROVED	MSP

**FOR REVIEW ONLY**

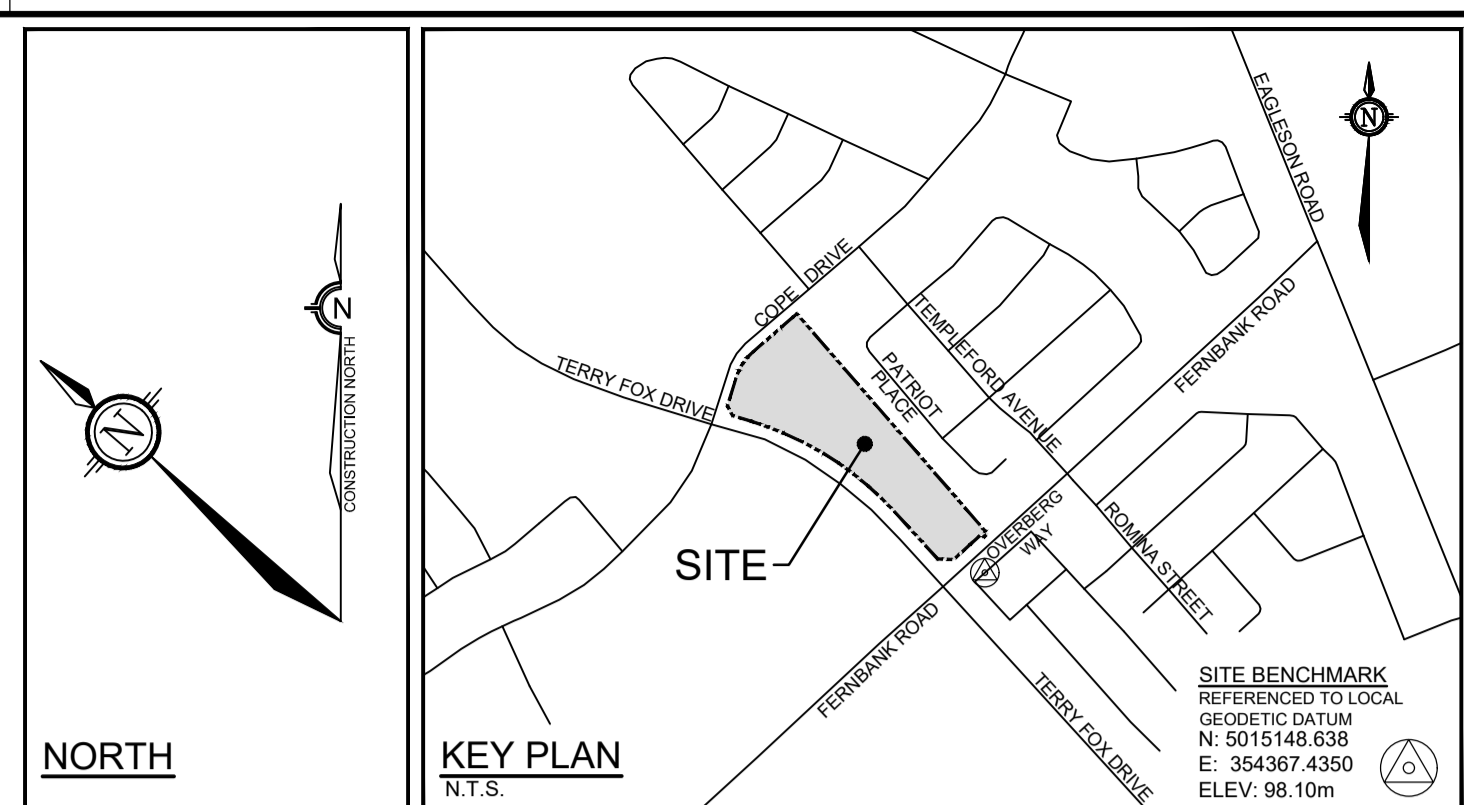


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CITY OF OTTAWA 5331 FERNBANK ROAD FERNBANK ZENS		PROJECT No. 121011-00
DRAWING NAME GRADING PLAN		REV # 3 REV # 3
		DRAWING No. 121011-GR2
		#18539

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- LEGEND**
- AREA 1 815-813
  - MANHOLE TO MANHOLE
  - POPULATION EQUIVALENT
  - AREA IN HECTARES
  - SANITARY DRAINAGE AREA BOUNDARY
  - PROPOSED SANITARY SEWER AND MANHOLE
  - PROPOSED SANITARY SEWER WITH DIRECTION OF FLOW
  - EXISTING SANITARY SEWER AND MANHOLE
  - EXISTING SANITARY SEWER WITH DIRECTION OF FLOW

NOTE:  
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

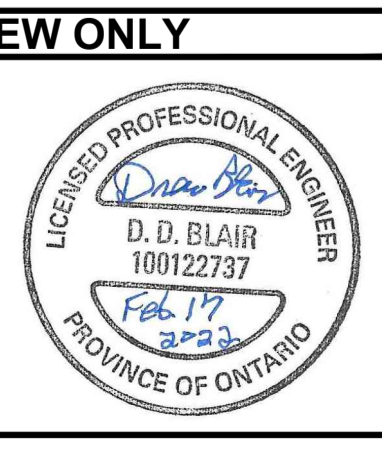
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB

**SCALE**

1:750

DESIGN	FOR REVIEW ONLY
DDB	
CHECKED MSP	
DRAWN MTM	
CHECKED DDB	
APPROVED MSP	



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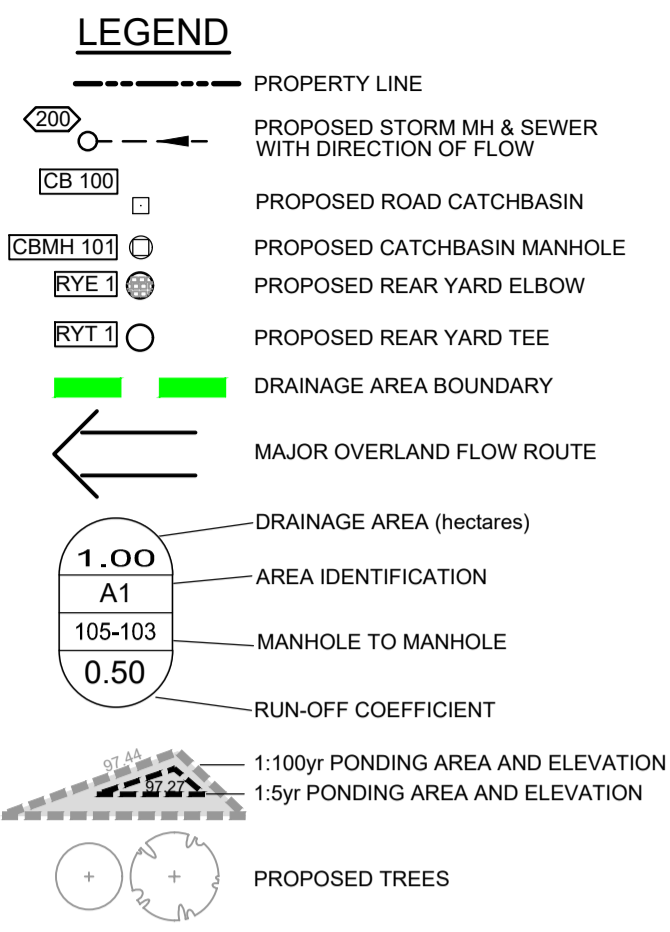
CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

DRAWING NAME  
**SANITARY DRAINAGE AREA PLAN**

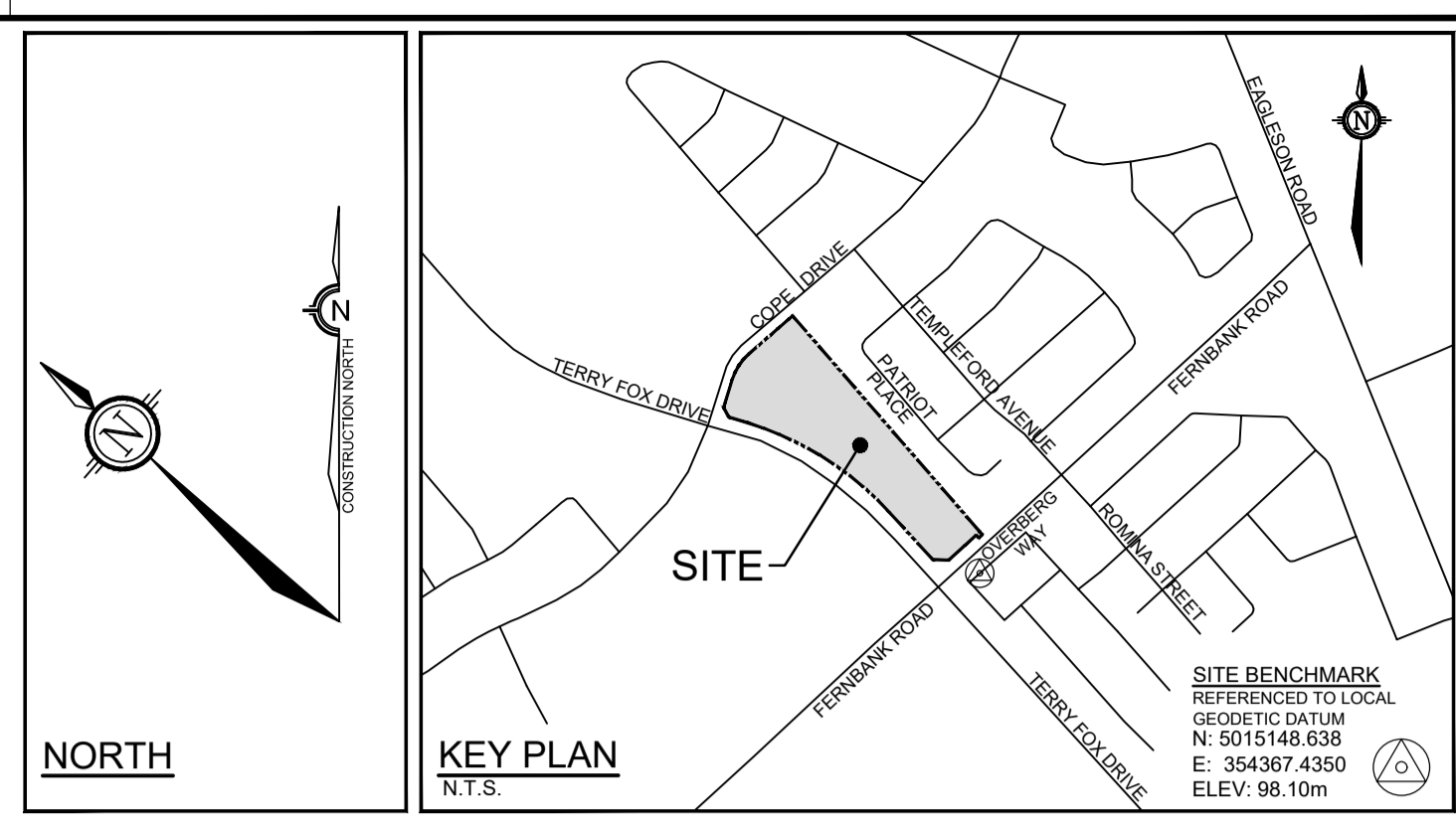
PROJECT No. 121011-00  
 REV # 3  
 DRAWING No. 121011-SAN  
**#18539**

M:\2021\121011\121011-SAN.dwg, SAN, Feb 10, 2022, 2:22pm, greg@nov

D07-12-21-0080



**NOTES:**  
 \*100 YEAR PONDING DEPTH IS GREATER THAN THE STATIC PONDING DEPTH DUE TO CASCADING WATER INTO THE NEXT AREA. THIS HAS BEEN ACCOUNTED FOR IN THE STORMWATER MANAGEMENT REPORT AND CONFORMS TO THE ALLOWABLE RELEASE RATE FROM THE SITE.



CB No.	RIM ELEV. (m)	EVENT	PONDING <sup>1</sup>	
			WATER LEVEL ELEV. (DEPTH) (m)	WATER LEVEL ELEV. (DEPTH) (m)
CBMH10	96.85	2yr	(0.00) 95.82	(0.00) 96.28
		5yr	(0.00) 96.79	(0.00) 96.80
		100yr	(0.29) 97.14	(0.14) 96.99
		Static	(0.30) 97.15	(0.25) 97.10
		100yr + 20%	(0.32) 97.17	(0.23) 97.08
CBMH11	96.80	2yr	(0.00) 96.41	(0.00) 96.55
		5yr	(0.07) 96.87	(0.00) 96.98
		100yr	(0.22) 97.02	(0.17) 97.17
		Static	(0.30) 97.10	(0.20) 97.20
		100yr + 20%	(0.35) 97.15	(0.22) 97.22
CBMH12	96.83	2yr	(0.00) 95.91	(0.00) 96.35
		5yr	(0.02) 96.85	(0.07) 96.87
		100yr	(0.25) 97.08	(0.22) 97.02
		Static	(0.30) 97.13	(0.30) 97.10
		100yr + 20%	(0.35) 97.18	(0.30) 97.10
CBMH13	96.83	2yr	(0.00) 95.83	(0.00) 96.54
		5yr	(0.03) 96.86	(0.09) 97.39
		100yr	(0.25) 97.08	(0.30) 97.60
		Static	(0.30) 97.13	(0.35) 97.65
		100yr + 20%	(0.35) 97.18	(0.35) 97.65
CBMH14	97.25	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.14) 97.39	(0.14) 97.39
		100yr	(0.31) 97.56	(0.30) 97.55
		Static	(0.30) 97.55	(0.35) 97.60
		100yr + 20%	(0.33) 97.58	(0.30) 97.55
CBMH15	97.30	2yr	(0.00) 97.28	(0.00) 97.21
		5yr	(0.07) 97.37	(0.14) 97.39
		100yr	(0.17) 97.47	(0.31) 97.56
		Static	(0.30) 97.60	(0.30) 97.55
		100yr + 20%	(0.21) 97.51	(0.34) 97.59
CBMH16	97.45	2yr	(0.00) 95.78	(0.00) 97.03
		5yr	(0.00) 96.04	(0.13) 97.28
		100yr	(0.00) 97.20	(0.30) 97.45
		Static	(0.05) 97.50	(0.30) 97.45
		100yr + 20%	(0.00) 97.40	(0.34) 97.49
RYE01	97.45	2yr	(0.00) 96.54	(0.00) 97.03
		5yr	(0.00) 97.39	(0.23) 97.28
		100yr	(0.15) 97.60	(0.40) 97.45
		Static	(0.15) 97.60	(0.35) 97.40
		100yr + 20%	(0.20) 97.65	(0.43) 97.48
RYE02	97.20	2yr	(0.00) 96.41	(0.00) 96.84
		5yr	(0.00) 96.05	(0.09) 96.94
		100yr	(0.01) 97.21	(0.31) 97.16
		Static	(0.15) 97.35	(0.35) 97.20
		100yr + 20%	(0.21) 97.41	(0.33) 97.18
RYE03	97.70	2yr	(0.00) 97.21	(0.00) 96.27
		5yr	(0.00) 97.40	(0.09) 96.79
		100yr	(0.00) 97.55	(0.29) 96.99
		Static	(0.15) 97.85	(0.35) 97.05
		100yr + 20%	(0.00) 97.55	(0.36) 97.06
RYE04	97.30	2yr	(0.00) 97.03	(0.00) 97.21
		5yr	(0.00) 97.21	(0.00) 96.55
		100yr	(0.09) 97.39	(0.00) 96.98
		Static	(0.26) 97.56	(0.00) 97.17
		100yr + 20%	(0.30) 97.60	(0.00) 97.20
RYE05	97.35	2yr	(0.00) 97.03	(0.00) 97.21
		5yr	(0.00) 97.28	(0.00) 97.39
		100yr	(0.10) 97.45	(0.00) 97.55
		Static	(0.25) 97.60	(0.15) 97.70
		100yr + 20%	(0.14) 97.49	(0.00) 97.55
RYE06	97.05	2yr	(0.00) 96.41	(0.00) 97.21
		5yr	(0.00) 96.95	(0.14) 97.39
		100yr	(0.12) 97.17	(0.30) 97.55
		Static	(0.25) 97.30	(0.32) 97.57
		100yr + 20%	(0.19) 97.24	(0.30) 97.55
RYE07	96.85	2yr	(0.00) 96.75	(0.00) 96.84
		5yr	(0.07) 96.92	(0.07) 96.92
		100yr	(0.20) 97.05	(0.00) 96.80
		Static	(0.35) 97.20	(0.14) 96.99
		100yr + 20%	(0.25) 97.10	(0.22) 97.07
RYE08	96.85	2yr	(0.00) 96.28	(0.00) 96.80
		5yr	(0.00) 96.80	(0.00) 96.80
		100yr	(0.22) 97.02	(0.14) 96.99
		Static	(0.30) 97.10	(0.22) 97.07
		100yr + 20%	(0.30) 97.10	(0.22) 97.07

CB No.	RIM ELEV. (m)	EVENT	PONDING <sup>1</sup>	
			WATER LEVEL ELEV. (DEPTH) (m)	WATER LEVEL ELEV. (DEPTH) (m)
RYE09	96.85	2yr	(0.00) 96.28	(0.00) 96.28
		5yr	(0.00) 96.79	(0.00) 96.80
		100yr	(0.14) 96.99	(0.14) 96.99
		Static	(0.25) 97.10	(0.25) 97.10
		100yr + 20%	(0.23) 97.08	(0.23) 97.08
RYE10	97.00	2yr	(0.00) 96.55	(0.00) 96.55
		5yr	(0.00) 96.98	(0.00) 96.98
		100yr	(0.17) 97.17	(0.17) 97.17
		Static	(0.20) 97.20	(0.20) 97.20
		100yr + 20%	(0.22) 97.22	(0.22) 97.22
RYE11	96.80	2yr	(0.00) 96.35	(0.00) 96.35
		5yr	(0.07) 96.87	(0.07) 96.87
		100yr	(0.22) 97.02	(0.22) 97.02
		Static	(0.30) 97.10	(0.30) 97.10
		100yr + 20%	(0.30) 97.10	(0.30) 97.10
RYT01	97.30	2yr	(0.00) 96.54	(0.00) 96.54
		5yr	(0.09) 97.39	(0.09) 97.39
		100yr	(0.30) 97.60	(0.30) 97.60
		Static	(0.35) 97.65	(0.35) 97.65
		100yr + 20%	(0.35) 97.65	(0.35) 97.65
RYT02	97.25	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.14) 97.39	(0.14) 97.39
		100yr	(0.30) 97.55	(0.30) 97.55
		Static	(0.35) 97.60	(0.35) 97.60
		100yr + 20%	(0.33) 97.58	(0.30) 97.55
RYT03	97.25	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.14) 97.39	(0.14) 97.39
		100yr	(0.30) 97.55	(0.30) 97.55
		Static	(0.35) 97.60	(0.35) 97.60
		100yr + 20%	(0.33) 97.58	(0.30) 97.55
RYT04	97.15	2yr	(0.00) 97.03	(0.00) 97.03
		5yr	(0.00) 97.28	(0.13) 97.28
		100yr	(0.30) 97.45	(0.30) 97.45
		Static	(0.30) 97.45	(0.30) 97.45
		100yr + 20%	(0.34) 97.49	(0.34) 97.49
RYT05	97.05	2yr	(0.00) 97.03	(0.00) 97.03
		5yr	(0.00) 97.28	(0.23) 97.28
		100yr	(0.40) 97.45	(0.40) 97.45
		Static	(0.35) 97.40	(0.35) 97.40
		100yr + 20%	(0.43) 97.48	(0.43) 97.48
RYT06	96.85	2yr	(0.00) 96.84	(0.00) 96.84
		5yr	(0.09) 96.94	(0.09) 96.94
		100yr	(0.31) 97.16	(0.31) 97.16
		Static	(0.35) 97.20	(0.35) 97.20
		100yr + 20%	(0.33) 97.18	(0.33) 97.18
RYT07	96.70	2yr	(0.00) 96.27	(0.00) 96.27
		5yr	(0.00) 96.79	(0.09) 96.79
		100yr	(0.29) 96.99	(0.29) 96.99
		Static	(0.35) 97.05	(0.35) 97.05
		100yr + 20%	(0.36) 97.06	(0.36) 97.06
RYT08	97.20	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.00) 96.55	(0.00) 96.55
		100yr	(0.00) 97.17	(0.00) 96.98
		Static	(0.00) 97.20	(0.00) 97.17
		100yr + 20%	(0.00) 97.20	(0.00) 97.20
RYT09	97.55	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.00) 97.39	(0.00) 97.39
		100yr	(0.00) 97.55	(0.00) 97.55
		Static	(0.15) 97.70	(0.15) 97.70
		100yr + 20%	(0.00) 97.55	(0.00) 97.55
RYT10	97.25	2yr	(0.00) 97.21	(0.00) 97.21
		5yr	(0.14) 97.39	(0.14) 97.39
		100yr	(0.30) 97.55	(0.30) 97.55
		Static	(0.32) 97.57	(0.32) 97.57
		100yr + 20%	(0.30) 97.55	(0.30) 97.55

28m-600mm CSP CULVERT @ 0.5%  
 INV. NW=96.67 OBV.=97.27  
 INV. SE=96.53 OBV.=97.13

CB No.	RIM ELEV. (m)	EVENT	WATER LEVEL ELEV. (DEPTH) (m)
CBMH01	96.85	2yr	(0.00) 96.75
		5yr	(0.06) 96.91
		100yr	(0.19) 97.04
		Static	(0.30) 97.15
		100yr + 20%	(0.23) 97.08
CBMH02	96.70	2yr	(0.00) 96.27
		5yr	(0.09) 96.79
		100yr	(0.29) 96.99
		Static	(0.30) 97.00
		100yr + 20%	(0.36) 97.06
CBMH03	96.85	2yr	(0.00) 96.41
		5yr	(0.09) 96.94
		100yr	(0.31) 97.16
		Static	(0.30) 97.15
		100yr + 20%	(0.33) 97.18
CBMH04	97.15	2yr	(0.00) 97.03
		5yr	(0.12) 97.27
		100yr	(0.30) 97.45
		Static	(0.30) 97.45
		100yr + 20%	(0.31) 97.46
CBMH05	97.30	2yr	(0.00) 96.85
		5yr	(0.06) 97.36
		100yr	(0.16) 97.46
		Static	(0.30) 97.60
		100yr + 20%	(0.20) 97.50
CBMH06	97.35	2yr	(0.00) 96.54
		5yr	(0.03) 97.38
		100yr	(0.24) 97.59
		Static	(0.30) 97.65
		100yr + 20%	(0.30) 97.65
CBMH07	96.95	2yr	(0.00) 97.65
		5yr	(0.00) 96.79
		100yr	(0.07) 97.02
		Static	(0.30) 97.25
		100yr + 20%	(0.33) 97.28
CBMH08	96.85	2yr	(0.00) 96.55
		5yr	(0.13) 96.98
		100yr	(0.31) 97.16
		Static	(0.30) 97.15
		100yr + 20%	(0.32) 97.17
CBMH09	96.80	2yr	(0.00) 96.35
		5yr	(0.07) 96.87
		100yr	(0.22) 97.02
		Static	(0.30) 97.10
		100yr + 20%	(0.30) 97.10

<sup>1</sup>BASED ON PCSWMM MODEL (3-HOUR CHICAGO STORM DISTRIBUTION)

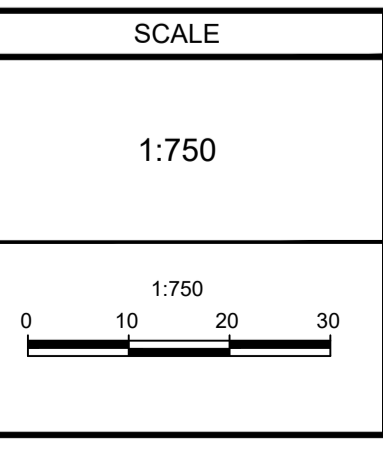
BASED ON PCSWMM MODEL (3-HOUR CHICAGO STORM DISTRIBUTION)

BASED ON PCSWMM MODEL (3-HOUR CHICAGO STORM DISTRIBUTION)

**NOTE:**  
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

No.	REVISION	DATE	BY
3.	REVISED PER CITY COMMENTS	FEB 17/22	DDB
2.	REVISED PER CITY COMMENTS	NOV 5/21	DDB
1.	ISSUED FOR CITY OF OTTAWA REVIEW	JUN 2/21	DDB



**FOR REVIEW ONLY**

DESIGN: DDB  
 CHECKED: MSP  
 DRAWN: ATE  
 CHECKED: DDB  
 APPROVED: MSP

PROFESSIONAL ENGINEER  
 D. D. BLAIR  
 100122737  
 FEB 17 2022  
 PROVINCE OF ONTARIO

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 Website www.novatech-eng.com

CITY OF OTTAWA  
 5331 FERNBANK ROAD  
 FERNBANK ZENS

DRAWING NAME  
**STORM DRAINAGE AREA PLAN**

PROJECT No. 121011-00  
 REV # 3  
 DRAWING No. 121011-STM  
**#18539**

M:\2021\121011\121011-STM.dwg, STM, Feb 18, 2022 - 11:28am, grawdon