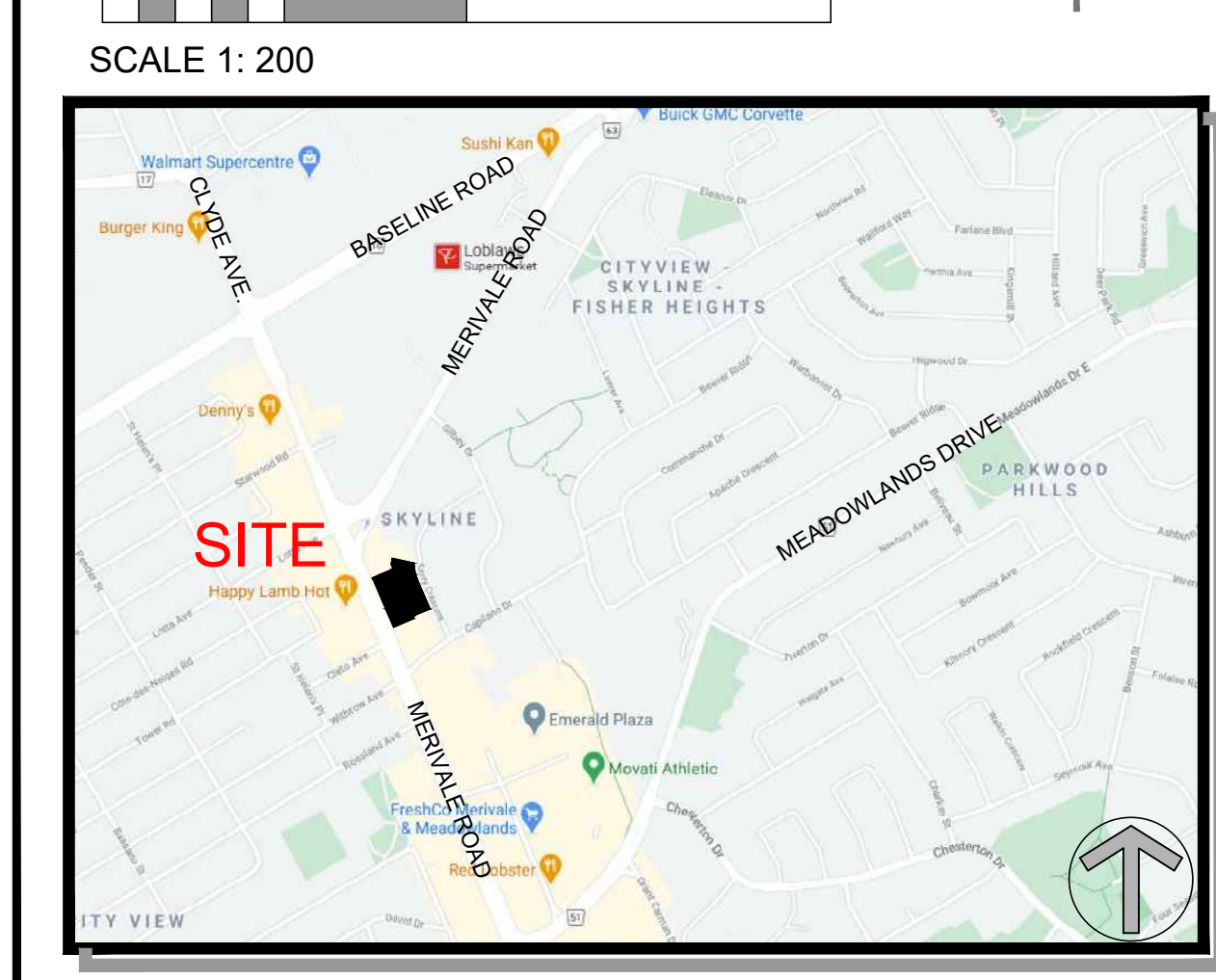
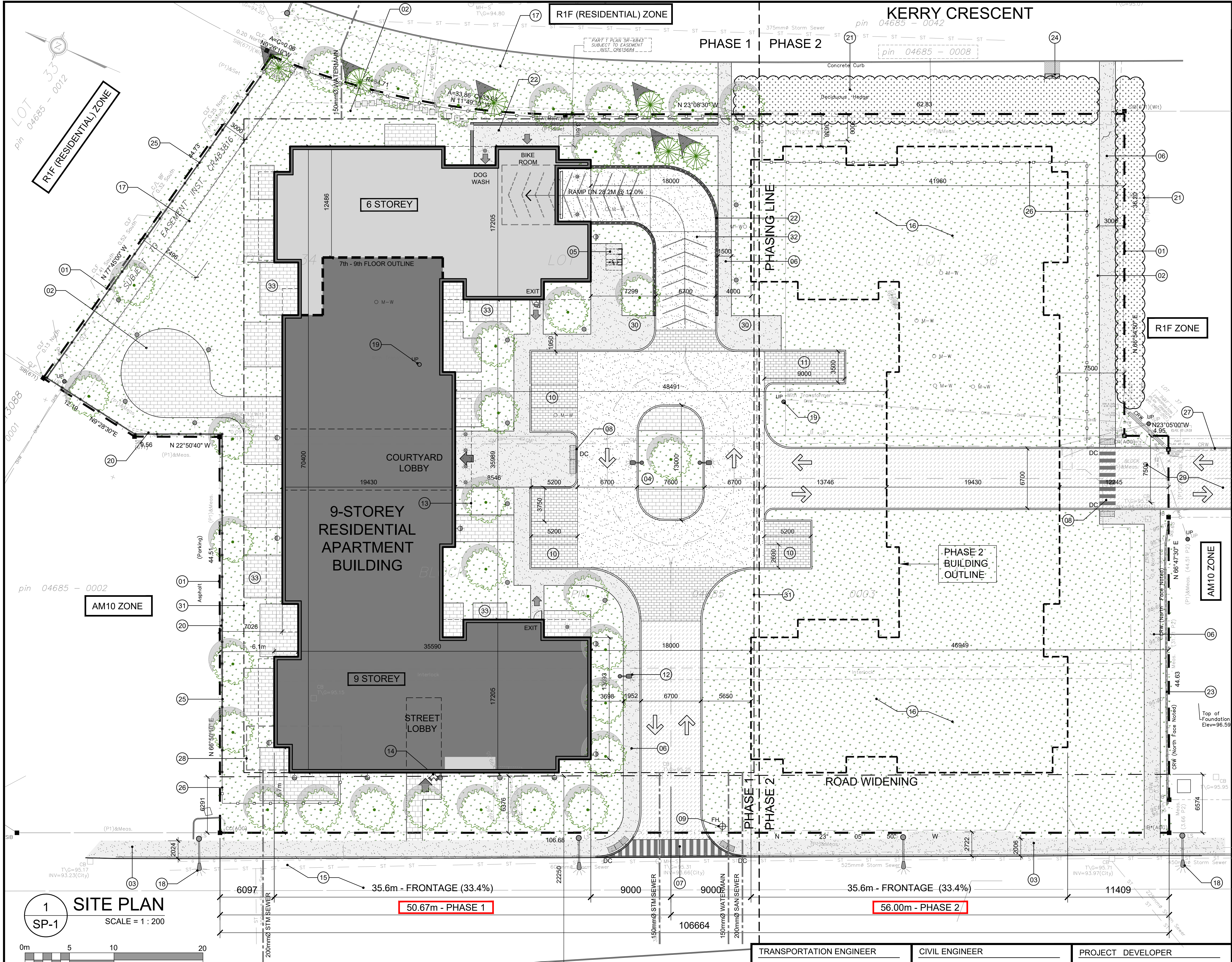




KEY MAP

PROJECT INFORMATION

ZONING AM10

SITE AREA (OVERALL) 8,866.0 sq. m, 95,756 sq. ft.

SITE AREA (PHASE 1) 5,357.3 sq. m, 57,666 sq. ft.

SITE AREA (PHASE 2) 3,508.7 sq. m, 38,090 sq. ft.

REQUIRED

BUILDING HEIGHT	9 STOREYS - 30 m
DENSITY - F.S.I.	3.5
FRONT YARD SETBACK	3.0 m
INTERIOR YARD SETBACK	0.0, 3.0 & 7.5 m
REAR YARD SETBACK	3.0 m
AMENITY AREA PER UNIT	6.0 sq. m
VEHICLE PARKING - RESIDENTIAL	0.5 PER UNIT
VEHICLE PARKING - VISITOR ONLY	0.1 PER UNIT
BICYCLE PARKING - RESIDENTIAL	0.5 PER UNIT

PROVIDED

BUILDING HEIGHT	9 STOREYS - 29.0 m
DENSITY - F.S.I.	PHASE 1 ONLY 2.74
FRONT YARD SETBACK	6.7 m
INTERIOR YARD SETBACK	6.1 m
REAR YARD SETBACK	3.6 m
AMENITY AREA PER UNIT	6.0 sq. m
TOWER FOOTPRINT	890 sq. m
VEHICLE PARKING - RESIDENTIAL	0.5 PER UNIT
VEHICLE PARKING - VISITOR ONLY	0.1 PER UNIT
BICYCLE PARKING - RESIDENTIAL	0.7 PER UNIT

DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONCRETE SIDEWALK TO REMAIN
- LANDSCAPE ISLAND WITH 150mm BARRIER CURB
- BICYCLE PARKING SPACES (0.6 x 1.8m) WITH RACK
- CONCRETE WALK, WIDTH AS NOTED
- CONCRETE SIDEWALK WITH DEPRESSED CURB & TWSI
- DEPRESSED CURB & TWSI
- FIRE HYDRANT
- STANDARD PARKING SPACE (2.6 X 5.2 M)
- LOADING ZONE
- LIGHT STANDARD - LOCATION TO BE CONFIRMED
- BUILDING CANOPY
- SIAMESE CONNECTION
- FIRE ROUTE
- SOFT LANDSCAPING
- EXISTING CEDAR HEDGE TO BE REMOVED
- EXISTING STREET LIGHT
- EXISTING HYDRO POLE TO BE REMOVED
- EXISTING MOVABLE CURE TO BE REMOVED
- EXISTING CEDAR HEDGE
- RETAINING WALL WITH GUARD RAILINGS AS REQUIRED
- EXISTING RETAINING WALL
- EXISTING CANADA POST MAIL BOXES
- 2.1m HT. SOLID WOOD FENCE, SEE LANDSCAPE
- LOW METAL PICKET FENCE, SEE LANDSCAPE
- EXISTING RETAINING WALL TO BE REMOVED
- BELOW GRADE CISTERN
- EXISTING SERVICE LANE TO BE EXTENDED
- REFUGE PICK UP AREA
- EXTENT OF BELOW GROUND PARKING GARAGE
- RAMP TO PARKING GARAGE WITH TRENCH DRAIN
- PRIVATE PATIO AT GRADE
- EXISTING FIRE HYDRANT
- HYDRO EQUIPMENT
- TEMPORARY SNOW STORAGE AREA

NOTATION SYMBOLS:

(01) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(02) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.

(03) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

(000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

(04) - DETAIL NUMBER

(05) - TITLE

(06) - DETAIL REFERENCE PAGE

(07) - DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

(A) REFER TO TYPICAL ASSEMBLY SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.

(B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A500 SERIES.

(C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.

(D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.

(E) ALL EXTERIOR WALLS ARE TO BE TYPE "W1" UNLESS NOTED OTHER WISE.

(F) ALL INTERIOR PARTITIONS ARE TO BE TYPE "P1" UNLESS NOTED OTHER WISE.

BUILDING STATISTICS

UNIT STATISTICS

STUDIO	19
1 BEDROOM UNIT	102
1 BEDROOM + DEN UNIT	38
2 BEDROOM UNIT	41
2 BEDROOM + DEN UNIT	3
TOTAL	203

GROSS BUILDING FLOOR AREA
(OTTAWA ZONING DEFINITION)

GROUND FLOOR	913.9 sq. m, 9,837 sq. ft.
2nd - 6th FLOOR	5 x 1,482.4 sq. m, 7,462.0 sq. m, 80,320 sq. ft.
7th - 9th FLOOR	3 x 1,067.3 sq. m, 3,201.8 sq. m, 34,464 sq. ft.
TOTAL AREA ABOVE GRADE	11,577.7 sq. m, 124,621 sq. ft.

CAR PARKING

REQUIRED

RESIDENT	- 0.5 PER UNIT (203 UNITS)	102
VISITOR	- 0.1 PER UNIT AFTER FIRST 12 UNITS	19
TOTAL		121

PROVIDED

RESIDENT	- 0.5 PER UNIT	102
VISITOR	- 0.1 PER UNIT AFTER FIRST 12 UNITS	19
TOTAL		121

SURFACE PARKING SPACES 6

LEVEL P1 PARKING SPACES 115

BICYCLE PARKING

REQUIRED

RESIDENT	- 0.5 PER UNIT (203 UNITS)	102
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PROVIDED

RESIDENT	- 0.7 PER UNIT	143
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AMENITY AREA

AT GRADE EXTERIOR - PRIVATE	360.1 sq. m
AT GRADE EXTERIOR - COMMUNAL	491.1 sq. m
INTERIOR AMENITY - COMMUNAL	287.8 sq. m
EXTERIOR AMENITY - COMMUNAL	632.1 sq. m
BALCONIES - PRIVATE	1,528.1 sq. m
TOTAL	2,828.8 sq. m

TOTAL COMMUNAL 1,300.8 sq. m

REQUIRED (203 UNITS X 6 m²) = 1,218 sq. m.

REQUIRED COMMUNAL @ 50% = 609 sq. m.

SITE COVERAGE

BUILDING FOOTPRINT	34.2%	1,804.3 sq. m
DRIVING SURFACE	18.6%	980.3 sq. m
LANDSCAPE AREA	47.3%	2,498.4 sq. m
PHASE 1 TOTAL	100.0%	5,283 sq. m

SOLID WASTE COLLECTION

REQUIRED	PROVIDED
GARBAGE @ 0.110 cu yd per unit	22.33 yd 23 yd
GMP CONTAINERS @ 0.018 cu yd per unit	3.65 yd 4 yd
FIBRE CONTAINERS @ 0.018 cu yd per unit	7.71 yd 8 yd
ORGANICS CONTAINERS @ one 240L per 50 unit	4.06 5

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LEGAL DESCRIPTION
PART OF LOTS 34, 35 AND 36
AND
PART OF BLOCK A
REGISTERED PLAN 313132
CITY OF OTTAWA

GEOTECHNICAL ENGINEER
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t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
1509 MERIVALE ROAD

SHEET TITLE:
SITE PLAN

DRAWN: RV
SCALE: 1:200
PROJECT No: 2034

CHECKED: R.V.
SHEET No: SP-1

PAPER SIZE: ISO Full Bleed B1 (707.00 X 1000.00 MM)

PLOT DATE: Thursday, December 16, 2021

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

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