

- ### SITE PLAN NOTES
- THE BUILDING IS TO BE SPRINKLERED.
 - THE SOLID WASTE ROOMS IS 75 SM AND WILL ACCOMMODATE GARBAGE VIA USE OF ONE CHUTE. GARBAGE CHUTE ACCESS OCCURS ON LEVELS 1 TO 3.
 - COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE ON SITE IN THE LOADING AREA DESIGNATED ON THE GROUND FLOOR PLAN. AN ON-SITE TRAINED STAFF/ MAINTENANCE PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE SOLID WASTE ROOM TO THE COLLECTION POINT AND PROVIDE VEHICULAR DIRECTION TO THE COLLECTION VEHICLE OPERATOR AS REQUIRED. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE CITY, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 - SIDEWALKS AND BOULEVARDS WITHIN THE RIGHT OF WAY TO HAVE A MINIMUM 2% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.
 - REFER TO SITE SERVICING PLAN, FOR SEWER AND WATER SERVICE INFORMATION.
 - ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGE THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE REINSTATE.
 - PROPOSED ACCESS TO THE DRIVEWAY FOR THIS PROJECT TO BE DESIGNED IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS.
 - SOLID WASTE MANAGEMENT TO BE NOTIFIED UPON COMPLETION OF THE DEVELOPMENT AND SHOULD PUBLIC WASTE COLLECTION BE USED ALL NECESSARY APPLICATION AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REFUSE COLLECTION.
 - NO SPEED BUMPS SHALL BE INSTALLED ON ANY MAIN DRIVEWAY AISLE OR DESIGNATED FIRE ROUTE.

SITE PLAN LEGEND

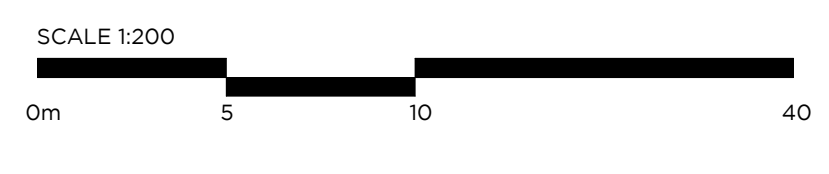
<ul style="list-style-type: none"> EXISTING ELEVATION PROPOSED ELEVATION TOP OF STRUCTURE TOP OF WALL TOP OF CURB VEHICULAR EXIT/ENTRANCE PEDESTRIAN EXIT/ENTRANCE PRIMARY RES ENTRANCE EXISTING EXTERIOR TO REMAIN NEW WALLS ITEM ABOVE SCREEN REF. # WALL TYPE DOOR REF. # 	<p>NOTES: REFER TO CONSULTANTS DRAWINGS FOR INFORMATION RELATING TO SITE SERVICING, GRADING AND LANDSCAPE. ALL ITEMS NEW CONSTRUCTION UNLESS NOTED OTHERWISE</p> <p>Abbreviations: AD AREA DRAIN CACF CENTRAL ALARM CONTROL FACILITY CB CATCH BASIN FH FIRE HYDRANT FD FLOOR DRAIN HB HOSE BIB HLP HYDRO LIGHT POLE MH MAN HOLE TLS TRAFFIC LIGHT STANDARD</p> <p>SITE PLAN INFORMATION TAKEN FROM: TOPOGRAPHIC PLAN SURVEY OF PART OF LOTS 10, 11, 12, 13, AND 21 ALL OF LOTS 18, 19, AND 20 REGISTERED PLAN 101 CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. LAND SURVEYORS (UPDATED JUNE 19, 2020)</p> <p>58.50m = ESTABLISHED GRADE 58.50m = TOS GROUND FLOOR 58.00m = AVERAGE GRADE</p>
--	--

ZONING: TMB HC15

Zoning Mechanism	Zoning Provision	Provided
Uses	No residential or office uses within 6 metres of front facade Residential uses may occupy a maximum of 50% of the ground floor area of a building that faces Barrette Street and the uses must face Barrette Street.	Retail proposed fronting Beechwood 73% of the ground floor is occupied by residential uses
Minimum Lot Area	No minimum	4,153 m ²
Minimum Lot Width	No minimum	68 m
Front Yard Setback	Max: 2 m (where hydro pole) Min: 0 m (first 3 storeys) + 2 m (above 3 rd storey)	Floors 1-3: 4.3 m Floors 4-6: 5.6 m Floors 7-8: 7.2 m Floor 9: 9.0 m
Interior Side Yard Setback	Maximum: 3 m, except where: Allowing for driveway: max. 6 m Abutting R-zone: min. 3 m	East: Varies/min 2.7 m West: Varies/min 0 m abutting TM, min 2.6 m abutting R-zone
Minimum Rear Yard Setback	First 3 storeys: 3 m Above the 3 rd storey: provided setback + 2 m.	Floors 1-4: 0.0 m Floors 5: 3.3 m Floor 6-7: 8.8 m Floor 8: 10.7 m Floor 9: 23.7 m
Front Facade	50% of ground floor facade facing main street, up to 4.5m, must be transparent windows and active entrances	>66%
Active Entrances	Front facade must include at least one active entrance serving each use occupying the ground floor.	4 retail uses and 4 active entrances facing Beechwood
Building Height	Minimum: 6.7 m Maximum: 20 m	Facing Beechwood: 30.7 m* Facing Barrette: 21 m*
Minimum Landscaped Area	Abutting R-zone: 3 m buffer	2.6 m pathway (west edge)
Amenity Area Requirements	6m ² per unit, and 50% communal: 1362 m ² total, 681 m ² communal. One area min 54 m ²	Communal: 898 m ² Total: 3,098 m ²
Permitted projections above height limit	Mechanical/Service Penthouse	Height of Mechanical Penthouse: 35.2 m* (4.3 m)
Access	Driveway: 6 m (double-lane) Aisle in a parking garage: 6m	Driveway: 6 m Aisle: 6 m
Minimum Parking Spaces (Area Y)	Residential: 0.5/unit after first 12 units (227*12)*0.5 = 107 Visitor: 0.1/unit after first 12 units = (227*12)*0.1 = 21 Retail: No requirement Total: 128	Residential: 137 Visitor: 21 Total: 158
Bicycle Parking Spaces	Residential: 0.5/unit: 227*0.5 = 114 Retail: 1/250 m ² GFA: 2 Total: 116	Residential (at P/R2): 244 Retail (at-grade): 8 Total: 252
Loading Spaces	0 required	1 provided
Outdoor Commercial Patio	At least 30 m from a lot in a residential zone and screened and physically separate from that same lot by a structure, screen, or wall that is 2 m or more in height so as to mitigate noise and light from the outdoor commercial patio	16 m with 2.1m vegetated screen

Douglas James
DOUGLAS JAMES, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW - CENTRAL
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Douglas James at 10:06 am, Dec 02, 2021



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

REV	Date	Revision
1	20-07-21	BEZINGING
2	20-10-18	REVISIONS FOR BEZINGING - ISSUES FOR SPC
3	20-08-07	REVISIONS FOR SPC
4	20-08-06	REVISIONS FOR SPC
5	20-08-20	REVISIONS FOR SPC
6	20-08-20	REVISIONS FOR SPC

REVISION RECORD

REV	Date	Description
1	20-07-21	BEZINGING
2	20-10-18	REVISIONS FOR BEZINGING - ISSUES FOR SPC
3	20-08-07	REVISIONS FOR SPC
4	20-08-06	REVISIONS FOR SPC
5	20-08-20	REVISIONS FOR SPC
6	20-08-20	REVISIONS FOR SPC



19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 SITE PLAN

SCALE: As indicated
A100