

KEY PLAN  
NOT TO SCALE

**SITE INFORMATION:**

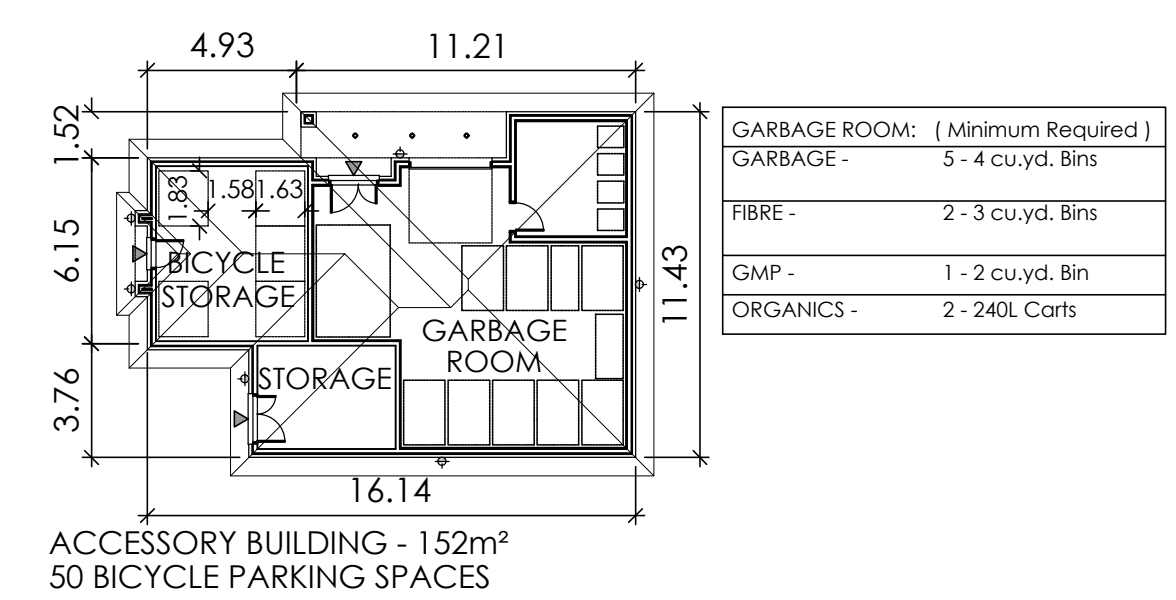
PROPOSED ZONING: R4Z [2704] - PERMITTED USES: - PLANNED UNIT DEVELOPMENT (SECTION 131)  
 - TOWNHOUSE DWELLING 90 UNITS  
 - STACKED DWELLING 94 UNITS

NOTE: FOR THE PURPOSE OF ZONING INTERPRETATION - FRONT LOT LINE ABUTS BRIAN COBURN BLVD.

SITE AREA: 26,051.7 m<sup>2</sup>  
 TOTAL BUILDING AREA: 8,381.8 m<sup>2</sup>

PROPOSED ZONING:	R4Z[2704]	PROVIDED:
LOT AREA (MIN.):	1,400.0 m <sup>2</sup>	26,051.70 m <sup>2</sup> (2.60 ha)
LOT AREA - BACK TO BACK UNIT (MIN.):	84.0 m <sup>2</sup>	92.0 m <sup>2</sup>
LOT WIDTH (MIN.):	18.0 m	4.88 m
FRONT YARD (MIN.):	3.0 m	Block 2 - 5.34 m
CORNER SIDE YARD (MIN.):	3.0 m	Block 17 - 4.10 m
INTERIOR SIDE YARD (MIN.):	n/a	
REAR YARD (MIN.):	n/a	4.14 m
COULOIR ROAD (MIN.):	3.0 m	
BUILDING SPACING:		
BETWEEN BUILDING & PRIVATE WAY	1.8 m	2.57 m
BETWEEN GARAGE & PRIVATE WAY	5.2 m	5.94 m
BETWEEN CARPORT/GARAGE & SIDEWALK	6.2 m	6.20 m
BETWEEN BUILDINGS	1.2 m	3.80 m
MINIMUM LANDSCAPED AREA:	30.0%	45.4% (11,833.4m <sup>2</sup> )
BUILDING HEIGHT (TOWNHOUSE) (MAX.):	11.0 m	10.6 m
BUILDING HEIGHT (STACKED UNITS) (MAX.):	15.0 m	9.5 m
PORCH STAIR TO LOT LINE (SECTION 65)	0.60 m	1.14 m
MINIMUM LANDSCAPING for PARKING LOTS (SECTION 110):	15.0% of PARKING LOT AREA:	PARKING LOT AREA: 4,058.0m <sup>2</sup> LANDSCAPED AREA: 1,857.0m <sup>2</sup> 45.7%
TOTAL AMENITY AREA REQUIRED:	- STACKED DWELLING 6.0m <sup>2</sup> x 96 = 576.0m <sup>2</sup>	- PRIVATE AMENITY AREA - (BALCONIES & PATIOS) 6.5m <sup>2</sup> x 96 = 624.0m <sup>2</sup>
COMMUNAL AMENITY AREA REQ'D. (MIN.):	50% of 576 m <sup>2</sup> = 288.0m <sup>2</sup>	- COMMUNAL AMENITY AREA - 1,130.0m <sup>2</sup> TOTAL AMENITY AREA PROVIDED: 1,754.0m <sup>2</sup>
ACCESSORY BUILDING BUILDING HEIGHT (MAX.):	4.5 m	PROVIDED: 4.47 m
FLOOR AREA (MAX.):	200.0 m <sup>2</sup>	152.00 m <sup>2</sup>
BACK TO BACK PARKING:	PARKING PROVIDED: 2 Spaces / UNIT - 1 Driveway / 1 Garage	
TERRACE FLATS PARKING:	PARKING REQUIRED: 1.2 Spaces / (96) d.u. + 0.2 / (96) d.u. (Visitor) = 115.2 + 19.2 = 134.4 Spaces PARKING PROVIDED: 116 Spaces + 19 Visitor Spaces = 135 Spaces	
BICYCLE PARKING REQUIRED:	96 (0.5 / (96) d.u.) = 48.0 Spaces BICYCLE PARKING PROVIDED: 50 Interior Spaces + 8 Exterior Spaces = 58 Spaces	
STREET BACK TO BACK TOWNHOMES:	BLOCK No. 1: BUILDING AREA: GROSS FLOOR AREA: No. UNITS: BLOCK 1 = BACK TO BACK TOWNHOMES 544.3 m <sup>2</sup> 1,281.1 m <sup>2</sup> 10 UNITS BLOCK 2 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 3 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 4 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 5 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 6 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 7 = BACK TO BACK TOWNHOMES 438.5 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 8 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 9 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 10 = BACK TO BACK TOWNHOMES 436.0 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS BLOCK 11 = BACK TO BACK TOWNHOMES 438.5 m <sup>2</sup> 1,026.6 m <sup>2</sup> 8 UNITS TOTAL = 4,909.3 m <sup>2</sup> 11,547.1 m <sup>2</sup> 90 UNITS	
TERRACE FLATS:	BLOCK No. 1: BUILDING AREA: GROSS FLOOR AREA: No. UNITS: BLOCK 12 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 13 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 14 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 15 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 16 = TERRACE FLATS 412.0 m <sup>2</sup> 1,219.0 m <sup>2</sup> 12 UNITS BLOCK 17 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 18 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BLOCK 19 = TERRACE FLATS 415.5 m <sup>2</sup> 1,320.0 m <sup>2</sup> 12 UNITS BICYCLE / GARBAGE = 152.0 m <sup>2</sup> TOTAL = 3,472.5 m <sup>2</sup> 10,459.0 m <sup>2</sup> 96 UNITS	
SNOW STORAGE:	SNOW STORAGE WILL BE OFF SITE.	

NOTE:  
 - SITE PLAN TO BE READ IN CONJUNCTION WITH:  
 - SITE SERVICING PLAN PREPARED BY STANTEC.  
 - LANDSCAPING PLAN PREPARED BY NAK DESIGN STRATEGIES.  
 - BOUNDARIES DERIVED FROM: PLAN OF SURVEY OF PART OF LOTS 2 AND 3 CONVESSION 3 (OTTAWA FRONT), PLAN PREPARED BY STANTEC NOV. 11, 2020.



**LEGEND:**

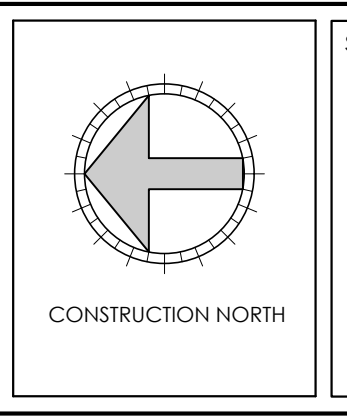
- D.C. - DEPRESSED CURB
- WALL MOUNT LIGHT FIXTURE
- L. D. LINE - LIMITING DISTANCE LINE
- GM - GAS METER LOCATION
- FIRE HYDRANT
- TACTILE WALKING SURFACE INDICATORS (TWSI)
- EXTERIOR BIKE PARKING SPACE

SCALE: 0 5 10 20 30 50m

**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
- THIS REPRODUCTION SHALL NOT BE ALTERED.

**M. David Blakely Architect Inc.**  
 2200 Prince of Wales Dr., Suite 101  
 Ottawa, Ontario K2E 6Z9  
 Phone (613) 226-8811 Fax (613) 226-7942



SEAL

No.	DATE	DESCRIPTION	INIT.
10.	27/08/20	REVISED B/B TOWN LAYOUT	SM
9.	25/08/20	REVISED BLOCK SEPARATIONS	SM
8.	11/08/20	REVISED BLOCK LAYOUT	SM
7.	16/07/20	ADDED ACCESS PATHWAYS	SM
6.	30/06/20	FOR REVIEW	SM
5.	26/03/20	REMOVED TRANSFORMER LOCATIONS	SM
4.	06/03/20	FOR REVIEW	SM
3.	26/02/20	FOR REVIEW	SM
2.	26/09/19	FOR REVIEW	SM
1.	19/09/19	FOR REVIEW	SM

No.	DATE	DESCRIPTION	INIT.
20.	14/05/21	GATEWAY COLUMNS ADDED	SM
19.	14/04/21	GENERAL REVISIONS	SM
18.	08/04/21	MOVED BLOCKS 8-11 EAST 0.13m	SM
17.	07/04/21	REV. AMENITY AREA/GENERAL	SM
16.	26/03/21	AS PER CITY COMMENTS	SM
15.	10/12/20	REV. SIDEWALK @ COULOIR ROAD	SM
14.	02/12/20	REV. BLKS. 18&19 PATHWAY	SM
13.	20/11/20	GENERAL REVISIONS	SM
12.	05/11/20	REV. BLKS. 1-7 & ACC. BLDG.	SM
11.	03/09/20	REVISED B/B TOWN LAYOUT	SM

No.	DATE	DESCRIPTION	INIT.
29.			
28.			
27.			
26.	02/12/21	LIGHTING/EV PARKING ADDED	SM
25.	08/11/21	STREET END ELEVATION ADDED TO BLOCKS 12, 13, 14, 15, 17, 18 & 19	SM
24.	14/09/21	TRANSFORMER LOCATIONS ADDED	SM
23.	11/08/21	RELOCATED BLOCKS 18 & 19	SM
22.	12/07/21	FUTURE GATEWAY FEATURE LOCATION	SM
21.	28/06/21	AS PER CITY COMMENTS	SM

PROJECT: 186 UNIT TERRACE FLATS & B/B TOWNHOMES TRAILSEDGE BLOCK 193 & 194 OTTAWA, ONT.

DRAWING TITLE: SITE PLAN

CLIENT: RICH CRAFT Group Of Companies

DATE: SEPT., 2019. SCALE: 1:500 SHEET No. SP-1

DRAWN BY: SBM CHECKED: MDB

07-12-20-0184