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Servicing Report

Site Plan Control Application
Proposed Industrial Development
5368 Boundary Road and 6150 Thunder Road, Ottawa ON

Prepared for:

Avenue 31
222 Somerset Street West
Unit 401, Ottawa ON
K2P 2G3

Attention: Ms. Jennifer Murray

LRL File No.: 200578

November 25, 2021



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1 INTRODUCTION AND SITE DESCRIPTION

LRL Associates Ltd. was retained by Avenue 31 to prepare a servicing report to support site plan application for the property located at the southwest corner of the intersection of Boundary Road and Thunder Road in Ottawa ON. The civic address for the parcel is 6150 Thunder Road.



Figure 1: Aerial View of Subject Lands

The proposed development will consist of five (5) separate industrial buildings varying in size, totaling a building footprint area of 41 065 m². Surrounding the buildings will be asphalt parking lots and travel ways to enhance vehicular maneuverability, as well as landscaped area. To optimize functionality of the industrial site, included in the asphalt areas are loading docks as well as additional trailer parking in the central portion of the site. The site will have three (3) main entrances; one access off of boundary road, and two separate entrances off of Thunder Road. A detailed site plan has been included in Appendix A for reference.

The specifics of the proposed buildings outlined in the site plan are summarized in table 1 below.



Table 1: Site Development, Proposed Building Details

	Industrial Building A	Industrial Building B	Industrial Building C	Industrial Building D	Industrial Building E	Total
Building Size	8 920 m ²	8 920 m ²	8 920 m ²	10 405 m ²	3 900 m ²	41 065 m ²
Approximate Allocated Office Space	225 m ²	225 m ²	225 m ²	260 m ²	125 m ²	1 060m ²
Number of Auto Parking Spaces	85	64	61	79	36	325
Number of Loading Docks	12	12	12	14	4	54
Number of Trailer Parking Spaces	15	15	15	15	0	60

This report has been prepared in consideration of the terms and conditions noted above and with the civil drawings prepared for the new development relating to the site plan in Appendix A. Should there be any changes in the design features, which may relate to the servicing and stormwater considerations, LRL Associates Ltd. should be advised to review the report recommendations and design conclusions.

2 PRE CONSULTATION

A pre consultation with the City of Ottawa Staff took place on August 9th, 2021. Following the meeting, notes were circulated outlining general submission requirements and engineering considerations relating to the domestic water supply and stormwater management criteria. Refer to Appendix B for the circulated pre consultation notes.

3 ADDITIONAL SITE PLAN CONTROL ENGINEERING REPORT

To support the civil design aspects of the subject site, additional investigations and reports were completed.

The following documents were prepared for the development and have been referenced

- Environmental Impact Statement, prepared by Kilgour and Associates Ltd, dated July 15, 2021.
- Geotechnical Investigation, prepared by Patterson Group Inc., dated July 22, 2021
- SWM Report, prepared by J.F. Sabourin and Associates Inc., dated November 2021.

4 EXISTING SITE AND AVAILABLE SERVICES

The subject site measures approximately 12.3 ha with most of the land vacant with ground cover consisting primarily of long grasses, shallow vegetation and trees surrounding the boundary of the property.



The property is bordered to the east by Boundary Road, North by Thunder Road, and is bounded on the northwest corner by an unnamed drain.

Existing topography of the land is relatively flat, with elevations ranging from approximately 76.0 m to 77.5 m. The general elevation interior to the site boundary is slightly lower than those of the surrounding roads. Appendix C includes an overall site boundary with contours demonstrating the existing topography.

The site does not have access to municipal storm, sanitary or traditional water service as the infrastructure does not exist on Boundary Road or Thunder Road; however, the site is within the service boundary of the Carlsbad Springs trickle-feed water system. This system is supplied by the City of Ottawa's central distribution system and distributed via a network of small diameter pipes in the area of the subject lands. Further discussion relating to the servicing requirements for the industrial development are summarized in the following sections.

5 WATER SERVICE

5.1 Carlsbad Springs Trickle-Feed Water Supply System

The proposed development site boundary falls within the Carlsbad Springs trickle-feed Water System. The Carlsbad Springs trickle-feed Water System is intended to provide sufficient water for indoor (domestic) use only through a network of small diameter mainline piping. During the design and planning stages of this system, no allowances were made for outdoor water use fire protection, therefore fire suppression requirements will have to be addressed with a designed site-specific fire reservoir.

A 102mm diameter pipe exists along Boundary Road and a 75mm pipe exists along Thunder Road which would be utilized for domestic supply.

The subject site has been allocated a pre-set constant flow rate, referred to as equivalent units (2,700L/d per unit) – however; the assigned three (3) equivalent units for the subject property does not necessarily represent the amount of water expected to be consumed within the development. In fact, given the magnitude of the site, and proposed development layout, to ensure that the domestic demands of the development could be fulfilled by the trickle-feed system, calculations have been done based on allocated building uses and seven (7) equivalent units are required to meet domestic demands of approximately 18 750 L/day further explained in section 5.2 below.

Prior to this submission for site plan application, Avenue 31 had mandated Stantec to further review the system and comment on the availability of domestic water to service the parcel and the availability of the required additional equivalent units.

5.2 Domestic Demands

The domestic demands of the site are intended to be met using the flow provided by the trickle-feed water system in conjunction with buildings specific water tanks or cisterns to meet peak instantaneous demands. The sizing of such cisterns would be determined during the detailed building design phase for building permit.

The demands summarized in table 3 on the following page provide a magnitude of the average water demands which are required to meet the domestic flow requirements of a fully built out site with specifics as outlined in the site development plan included in Appendix A.



To calculate the average day water demands for the development, the following design parameters have been used based on available City of Ottawa Design Guidelines.

- Office Space – 75 L/9.2m² of office space per day
- Loading Bay – 150 L/day per loading bay

Table 2: Domestic Demands based on Building Use

Use	Average Day Demands	Value	Total (L/day)
Office Space	75 L/9.2m ²	1 645 m ² of Office Space	<i>Building A=1 834</i>
			<i>Building B=1 834</i>
			<i>Building C=1 834</i>
			<i>Building D=2 120</i>
			<i>Building E=1 020</i>
			8 641
Loading Bay	150L/Loading Bay	55 Loading Bays	<i>Building A=1 800</i>
			<i>Building B=1 800</i>
			<i>Building C=1 800</i>
			<i>Building D=2 100</i>
			<i>Building E=600</i>
			8 100
Misc. Additional Use (Dependant on Tennant)	-	-	1 800
Total Consumption			<i>Building A=4 034</i>
			<i>Building B= 4 034</i>
			<i>Building C= 4034</i>
			<i>Building D=4 620</i>
			<i>Building E=2 020</i>
			18 741
Number of Equivalent Residential Units (2 700 L/day ea.)			7

For the proposed development with five (5) separate industrial buildings, approximately 7 equivalent residential units are required. Shall the interior layout of the building change, or specifics of number of loading docks

To ensure that the demand for the development on the system is limited to the number of equivalent units requested above, a water meter chamber is required at the property boundary to accommodate (while ensuring it is not exceeded). The water meter will be in a concrete underground chamber located at the entrance off of Thunder Road, located with in the City's right



of way, ultimately owned and operated by the City of Ottawa. Details of this chamber are located on the civil servicing drawing C901 located in Appendix E.

5.3 Fire Protection

In order to provide adequate fire protection and fulfill the fire suppression demands for the subject site, an above grade (or equivalent) storage tanks is required. Detailed design and selection of the most appropriate tanks will be completed and required during the building permit stage of future development on this site.

Based on available information at the time of this application, preliminary storage volumes of approximately 1 590 m³ of water will be required to supply fire protection. The required fire flows for the development were calculated to be 9000 L/min based on table two in Appendix A-3.2.5.7 of the Ontario Building Code. Appendix D contains the fire flow calculations for the development. During the design, based on separation distances of the buildings, calculations are based on assuming that protection for one building (requiring the highest fire protection demand) will be required. Further verification and sizing is required by the fire consultant and mechanical engineering consultant during the building permit detailed design.

The location of the fire tanks and pumps are central to the site as can be seen on the site plan and engineering drawings. This system will be owned and operated privately.

On site fire hydrants have been supplied to ensure coverage for the entire footprint of each building. Hydrant locations can be viewed in the C401 DWG included in Appendix E.

6 SANITARY SERVICE

There is no municipal sanitary sewer proximal to the proposed development, and the development property is outside of the serviced urban boundary of the City of Ottawa. Municipal potable water is available – in limited quantity – adjacent to the site.

An on-site wastewater collection and treatment system is required to service the staff and users of site facilities. The treatment system shall be scaled to meet the required flows under the Ontario Building Code table 8.2.1.3 for the subject development. The wastewater treatment and discharge will require approval by the Ministry of the Environment, Conservation and Parks (MECP) in the form of an Environmental Compliance Approval (ECA) for the works. Detailed engineering and MECP consultation shall occur during site plan approval and prior to building permit applications.

The geotechnical and hydrogeological characteristics of the site, as well as the proximity to a suitable surface water receiver, suggest discharge to a water course is the preferred outlet option subject to confirmation through consultation with the MECP. A similar approach is presently employed for a neighbouring development of similar scale.

Discharge to the seasonal drainage ditch which intersects the north edge of the development is expected to require a high level of treatment prior to discharge. Consideration for storm water



discharge – which is proposed to outlet to the same receiver – along with sanitary flows will be required to ensure the overall discharge from the property meets Provincial objectives for post-development impacts. The downstream water quality cannot be negatively impacted as a result of the site development.

The proposed servicing will provide wastewater collection and treatment for all of the build out of the site. Pre-fabricated, manufactured treatment systems suitable for the proposed influent include sequencing batch reactor (SBR) technology, moving bed biological reactor (MBBR) technology, and membrane biological reactor (MBR) technology. The flexibility, adaptability and adjustability of the SBR process offer distinct advantages over other technologies; however, it is expected that tertiary filtration will be required post treatment to ensure effluent solids and phosphorus limits are consistently met. The final determination of process technology and configuration will be confirmed during further detailed engineering working alongside the manufacturer.

Expected influent characteristics include,

- Flow – an average day flow (ADF) of between twenty (20) and fifty (50) cubic metres per day (m³/d) is typical of the proposed site use;
- Organic carbon (cBOD₅) – typical domestic-commercial wastewater composition suggests a figure between 200 and 275 milligrams per litre (mg/l);
- Kjeldahl nitrogen (TKN) - typical domestic-commercial wastewater composition suggests a figure between 60 and 80 milligrams per litre (mg/l);
- Solids (TSS) - typical domestic-commercial wastewater composition suggests a figure between 275 and 350 milligrams per litre (mg/l);
- Phosphorus (TP) - typical domestic-commercial wastewater composition suggests a figure between 10 and 15 milligrams per litre (mg/l);
- Temperature - typical domestic-commercial wastewater composition suggests a figure between 12 and °C; and,
- pH - typical domestic-commercial wastewater composition suggests a figure between 6.5 and 8.5.

Expected effluent quality, comparable to similar operating sites,

- cBOD₅ – 10 mg/l;
- TSS – 10 mg/l;
- Ammonia (TAN) – 2 to 5 mg/l (seasonal);
- TP – 0.1 mg/l;
- pH – 6.5 to 9.0; and,
- e. coli. – 200 CFU/100ml.

These effluent limits are achievable through each of the shortlisted technologies listed earlier. The concentration in the discharge will be lowered when blended with discharge from the stormwater pond.



7 STORMWATER MANAGEMENT

Currently there is no municipal storm sewer adjacent to the subject lot. In pre-development conditions, the stormwater accumulated on the property would be retained from various depressions in the topography, sheet drain in the north direction to the unnamed drain or towards the undeveloped lands bordering the parcel to the south and west, ultimately reaching the surrounding pervious area.

A combination of an on-site sewer network, detention areas, quality treatment units, best management practices and low impact development principles are designed to be implemented to ensure the proposed development will meet the City's stormwater quantity and quality requirements.

J.F. Sabourin and Associates was retained to complete the modeling and summarize further details of the stormwater management approach for the proposed development. Refer to the separate report for all further details.

Conclusions of the stormwater management report have been integrated into the servicing drawings included in Appendix E. Site grading has been detailed to ensure surface storage is provided.

8 CONCLUSIONS

This report has been prepared to support the site plan application for the proposed industrial development located at 6150 Thunder Road.

Based on the forgoing the conclusions in relation to the serviceability of the site are as follows:

- Water:
 - Domestic demands will be required to be supplied by the Carlsbad Springs trickle-feed supply system. Approximately seven (7) equivalent connections are required to meet the domestic demands of the proposed buildings.
 - A storage tank and pressure system as well as on site fire hydrants are required to provide the water required for fire suppression is required to meet the fire demands of development on the subject property.
- Sanitary Sewage
 - Onsite sewage treatment and collection facility will be designed in detail to release treated effluent to the unnamed drain running through the property. This final effluent rate will be considered during the stormwater management design as well to ensure post development flow rates do not exceed predevelopment conditions. Current Stormwater design outlets at a lesser rate the predevelopment with this taken into consideration.
- Stormwater
 - Currently stormwater runoff flows uncontrolled to the South & West borders of the property.
 - The property is mostly pervious area in existing conditions. In developing the lot into a "light industrial" lot, the development has increased the impervious area greatly.
 - Stormwater release rate will be controlled through a number of on-site orifices and three (3) dry retention areas. The storm sewer network will require insulation due to



low cover, and a pump to elevate the conveyed water to the retention area at the downstream section of the network.

- An outlet control device/structure at the two main outlets (towards Boundary Roadside ditch, and the unnamed ditch) will ensure flows do not exceed predevelopment values.
- Storm quality treatment units are proposed. Final sizing to be confirmed upon further detailed design.
- Reference to separate Stormwater Management Report Prepared by J.F. Sabourin and Associates Inc. is required for full SWM design description and modeling details.

9 CLOSURE

This document was prepared by LRL Associates Ltd. For exclusive use by Avenue 31. It may only be distributed in accordance and agreement with Avenue 31.

Prepared by:

LRL Associates Ltd.



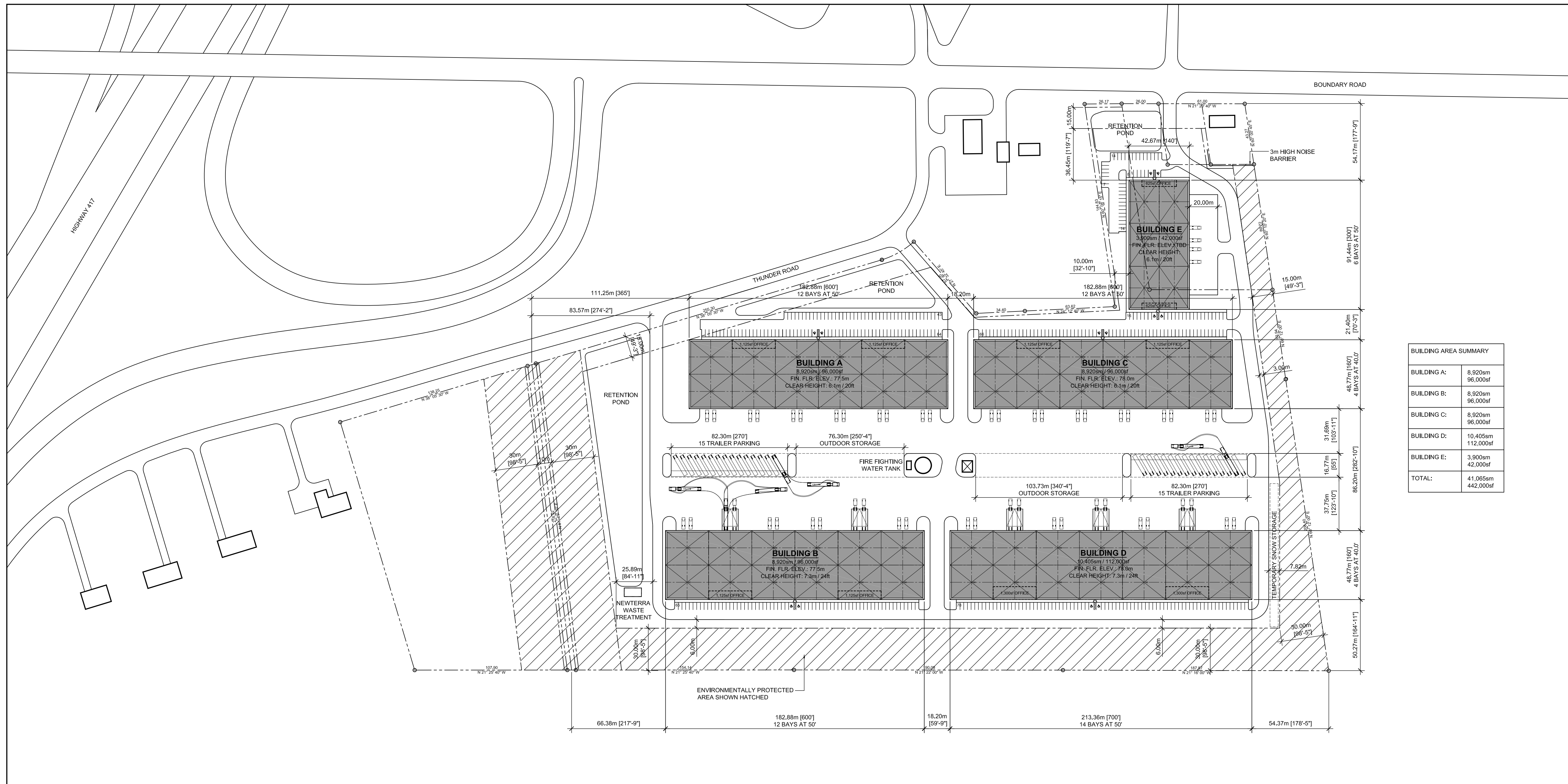
Virginia Johnson, P. Eng.
Civil Engineer



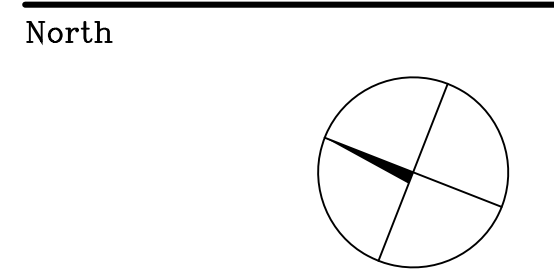
APPENDIX A

Site Plan





BUILDING AREA SUMMARY	
BUILDING A:	8,920sqm / 96,000sf
BUILDING B:	8,920sqm / 96,000sf
BUILDING C:	8,920sqm / 96,000sf
BUILDING D:	10,405sqm / 112,000sf
BUILDING E:	3,900sqm / 42,000sf
TOTAL:	41,065sqm / 442,000sf



Revisions

No.	By	Description	Date
01	ERM	ISSUED FOR SITE PLAN APPLICATION	2021-11-25
02	ERM	REVISED FOR SITE PLAN APPLICATION	2021-11-26

03 SITE PLAN - OPTION B2r8
SPA-01 SCALE: 1:1500

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
ZONING: RG RURAL GENERAL INDUSTRIAL ZONE	LIGHT INDUSTRIAL LIMITED COMMERCIAL	LIGHT INDUSTRIAL USE WAREHOUSE (N95)
MINIMUM LOT AREA	0.4HA	15.35HA / 37.93 ACRES AREAS 1 & 3 ONLY
MINIMUM LOT WIDTH	30m	425m THUNDER ROAD 82m BOUNDARY ROAD
MAXIMUM LOT COVERAGE	50.0%	26.8% (4.11HA)
MINIMUM FRONT YARD	15m	COMPLIANT WITH ZONING
MINIMUM CORNER SIDE YARD	12m	COMPLIANT WITH ZONING
MINIMUM INTERIOR YARD SETBACK	ABUTTING A RG, RH OR RC ZONE	3m
	ALL OTHER CASES	8m
MINIMUM REAR YARD	15m	COMPLIANT WITH ZONING
MAXIMUM FLOOR SPACE INDEX	2	COMPLIANT WITH ZONING
MAXIMUM BUILDING HEIGHT	15m	7m TO 9m
OUTDOOR STORAGE	NOT PERMITTED WITHIN ANY REQUIRED FRONT OR CORNER YARD	COMPLIANT WITH ZONING
	STORAGE MUST BE SCREEN WHEN ABUTTING RESIDENTIAL ZONES AND PUBLIC STREETS	COMPLIANT WITH ZONING

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
MINIMUM WIDTH OF LANDSCAPING	3m	COMPLIANT WITH ZONING
PARKING - TYPICAL SECTION 101	BUILDING A: 8920sqm	55 TYPICAL 1 BARRIER-FREE
	BUILDING B: 8920sqm	55 TYPICAL 1 BARRIER-FREE
	BUILDING C: 8920sqm	55 TYPICAL 1 BARRIER-FREE
	BUILDING D: 10405sqm	61 TYPICAL 1 BARRIER-FREE
	BUILDING E: 3900sqm	31 TYPICAL 1 BARRIER-FREE
PARKING - BARRIER FREE SECTION 111 BYLAW 2017-301 1 PER 99 SPACES	TOTAL	262 TYPICAL 5 BARRIER-FREE
	TOTAL	363 TYPICAL 4 BARRIER-FREE
BICYCLE PARKING SECTION 111	BUILDING A: 8920sqm	4 SPACES
	BUILDING B: 8920sqm	4 SPACES
	BUILDING C: 8920sqm	4 SPACES
	BUILDING D: 10405sqm	5 SPACES
	BUILDING E: 3900sqm	2 SPACES
WAREHOUSE 1 SPACE PER 2000m2 BY-LAW 2015-190	BUILDING A: 8920sqm	4 - LOCATION TO BE DETERMINED
	BUILDING B: 8920sqm	4 - LOCATION TO BE DETERMINED
	BUILDING C: 8920sqm	4 - LOCATION TO BE DETERMINED
	BUILDING D: 10405sqm	6 - LOCATION TO BE DETERMINED
	BUILDING E: 3900sqm	4 - LOCATION TO BE DETERMINED

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
LOADING SPACE SECTION 113	BUILDING A: 2 OVERSIZED (4.3m X 13m)	12 OVERSIZED (1 PER 8000sf)
LIGHT INDUSTRIAL USE	BUILDING B: 2 OVERSIZED (4.3m X 13m)	12 OVERSIZED (1 PER 8000sf)
	BUILDING C: 2 OVERSIZED (4.3m X 13m)	12 OVERSIZED (1 PER 8000sf)
	BUILDING D: 2 OVERSIZED (4.3m X 13m)	14 OVERSIZED (1 PER 8000sf)
	BUILDING E: 2 OVERSIZED (4.3m X 13m)	4 OVERSIZED (1 PER 10,000sf)

BUILDING CLASSIFICATION:

3.2.2.67: GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA SPRINKLERED

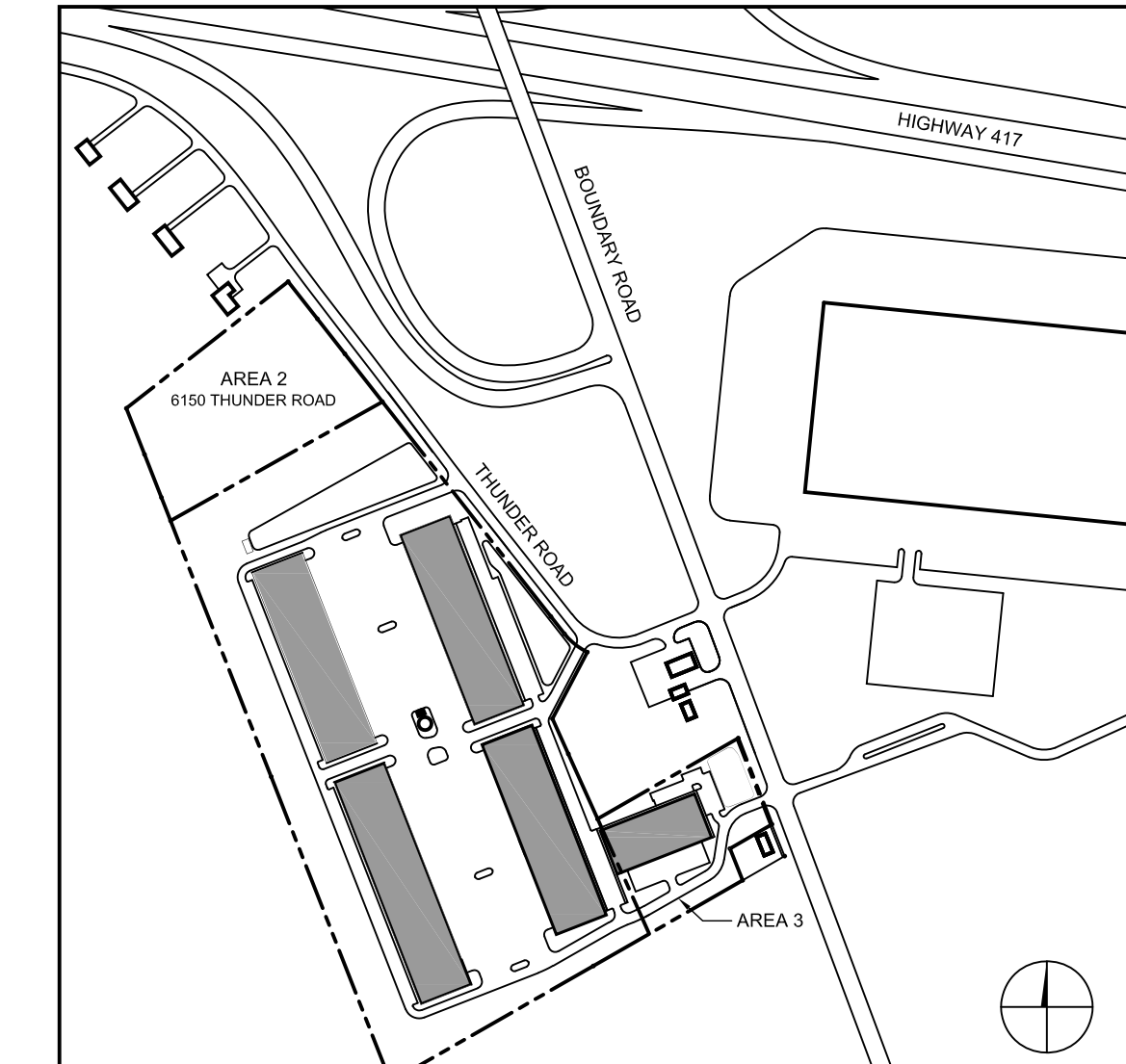
- NON-COMBUSTIBLE CONSTRUCTION
- FLOOR ASSEMBLIES SHALL HAVE A MIN 2HR FIRE RESISTANCE RATING
- MEZZANINES SHALL HAVE A MIN 1HR FIRE RESISTANCE RATING
- LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES

3.2.3.1: SPATIAL SEPARATION - TABLE 3.2.3.1.E

- 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m2)
- 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET

3.4.2.5: LOCATION OF EXITS

- 45m MAXIMUM TRAVEL DISTANCE



02 SITE DATA AND ZONING INFORMATION
SPA-01 SCALE:

01 LOCATION PLAN
SPA-01 SCALE: NTS

Project
6160 THUNDER ROAD INDUSTRIAL PARK

6160 THUNDER ROAD, OTTAWA
Drawing
LOCATION PLAN, ZONING REVIEW AND SITE PLAN B2 r8

Scale AS NOTED
Stamp
Drawn ERM
Checked JAS

Project No. 21-135
Date APRIL 2021
Drawing No.
SPA-01

APPENDIX B
Pre Consultation Notes



Pre-Application Consultation Meeting Notes

Property Address: 6150 Thunder Road- “southern parcel”

File #PC2021-0254

August 9th, 2021

Attendees:

Anissa McAlpine City of Ottawa, Planner anissa.mcalpine@ottawa.ca

Kevin Hall, City of Ottawa, Project Manager Kevin.hall@ottawa.ca

Sami Rehman, City of Ottawa, Environmental Planner sami.rehman@ottawa.ca

Brent Harbers, SNCA bharbers@nation.on.ca

Stephen Kapusta, MTO, Stephen.kapusta@otario.ca

Regrets:

James Holland, SNCA jholland@nation.on.ca

Neeti Paudel, City of Ottawa, infrastructure approvals, Neeti.paudel@ottawa.ca

proponents:

Jennifer Murray, applicant <jmurray@ave31.com>;

Paul Hicks <hicks@republicurbanism.com>;

Gavin MacDonald <gmacdonald@ave31.com>;

Eric Malboeuf <Malboeuf@mcrobie.com>;

Subject:

- This pre-consultation meeting is to discuss the site plan control application needed for an industrial development at 5368 Boundary Road and a portion of 6150 Thunder Road.
- 6150 Thunder Road and 5368 Boundary Road are subject to a current Zoning By-law Amendment and Official Plan Amendment [applications](#). Please note the site is not currently zoned nor designated for industrial development.
- The following notes are provided based on the assumption that the site will be zoned RG for Rural General industrial. Please note that a decision has not been rendered by the City Council on this matter yet. There is no current date expected for these applications to go before the Agriculture and Rural Affairs Committee nor council for a decision.
- Matters of holding symbols, split zoning, or setbacks greater than those typical of the RG zone may be recommended by staff to the ARAC on the above noted OPA and ZBLA applications.
- The following notes are provided based on a typical industrial site plan application. Staff would be pleased to update these pre-consultation notes, and the list of required plans and studies should an Official Plan Amendment and Zoning By-law Amendment be approved on the site.
- Please note that a City of Ottawa New Official Plan is scheduled to go to Council for a decision in Fall of 2021. The required submissions should speak to the proposed policies of the New Official Plan and how the proposal intends to comply with proposed policies. Depending on timing of application submission, the policy regime and requirements may change.

Proposed:

- Proposed is a one storey warehouse with retail and office component. Illustrated in the site plan provided is a 585 m² office, a 585 m² retail and a 4,960 m² warehouse space and 74 parking spaces.
- 6150 Thunder Road is 16.71 ha in size, with frontage on both Thunder Road and Boundary Road. The property is bisected by an unnamed watercourse. The lands subject to the site plan pre-consultation are those located north of the watercourse and understood to be about 2.5 ha in size.
- The subject site is located directly south of a series of existing residences that front onto Thunder Road. Opposite the subject lands are on/off ramps of the 417 Highway. To the west of the property, lands are forested and contain the headwaters of Bearbrook Creek.
- The subject lands are designated General Rural in the Official Plan.
- This site is part of the Natural Heritage System identified on Schedule L1
- The proposed use is not appropriate in the General Rural Area. An OPA is required to bring the lands into the Rural Employment lands to support the use.
- The property is currently zoned RU (Rural Countryside) which does not permit warehouse/office, or retail use. A zoning amendment will be required to permit a warehouse, or retail use.
- The subject lands are serviced with water by the Carlsbad Trickle Feed (Public service area). Water availability to the site is limited. Please see Engineering notes below.
- Until such a time as a zoning amendment is approved for the site, it is challenging to discuss the permitted uses or zoning provisions. Should a zoning amendment for a rural industrial use be approved by City Council for the site, matters of water servicing, compatibility with adjacent users, natural heritage or hazard lands may result in the use of zoning hold symbols, or setbacks different than those typical in the proposed RG zone being utilized.

Design Considerations

- A planning rationale would be required to support the site plan application: It must assess the types and levels of contaminant discharges expected by the specific industry, including those associated with transportation facilities which serve the industries. **Necessary mitigative measures should be identified based upon technical assessments.** Rationalization of site design should be provided. Discussion of existing and proposed D-6 Guidelines needs to be provided. Greater setbacks than the minimums provided in the zoning by-law may be required.
- The city will be looking for recommendations to reduce energy and water consumption through landscaping and lot layout, as per OP section 4.9
- The public frontage of the site should be designed to include high quality landscaping.
- Elevation drawings are required for the proposed buildings.
- A landscape plan is required as part of the submission package.

Engineering Considerations

- Connection will be to the Carlsbad Trickle Feed Water System. A servicing report or brief will be required to confirm that there is capacity in the system to supply the site. There are 3 residential equivalent connections to the Trickle Feed System available to site (combined with 6150 Thunder road lands to the north of the unnamed water course). Staff advise there

are 6 additional connections available on first come first serve basis for site plans at the time of registration.

- Stormwater will need to be controlled post development to the pre-development rates. Quality controls will come from the CA.
- The site will require a septic system. As the flows are expected to exceed 10,000l/d, then the approval will be the MECP and not the Ottawa Septic Office.
- MECP approval for stormwater will most likely be required. You will need to confirm with the MECP.
- You will need to confirm whether this property is in the capture area of the Municipal Drains in the area. There is some Drainage Act Approvals proceeding in this area.
- All approvals from other authorities, including ECA approvals from the MECP should be identified.

Transportation and Noise Considerations

- Please provide a figure to confirm the sight lines for the access close to Boundary on Thunder.
- Any comments related to the site plan that were not addressed previously at ZBLA and OPA applications should be addressed.
- Ensure the throat length at the access is met per TAC standards for a collector road.
- Stationary noise study will be required (site is in close proximity to noise sensitive use).

Environmental Considerations

- Any development will require an EIS as the site is identified as part of the City's Natural Heritage System (Official Plan Schedule L1). The EIS will need to address,
 - Significant woodlands and compensation for any removal
 - Headwater Drainage Feature assessment and watercourse relocation. Consideration of thermal regimes.
 - Potential SAR habitat, OP Section 4.7.4
 - Watercourse Setbacks, OP section 4.7.3. Low impact development cannot be located in these setbacks.
 - Significant wildlife habitat
 - Setbacks from wetlands on adjacent properties.
- Tree Conservation Report (TCR) will be required. TCR can be combined with the EIS to reduce duplications. Guidance for this report can be found on the city's website through the link provided below.
- We encourage the applicant to review and draw design elements from the City's Bird-Safe Design Guidelines to incorporate into their design, especially for the office section

of their proposal where large glass windows are anticipated. <https://ottawa.ca/en/city-hall/public-engagement/projects/bird-friendly-design-guidelines>

- The city will be looking for recommendations to reduce energy and water consumption through landscaping and lot layout, as per OP section 4.9
- Please draw best practices from the City's protocol to protection wildlife during construction into the EIS recommendations
- Here are some relevant links:
https://documents.ottawa.ca/sites/documents/files/documents/eis_guidelines2015_en.pdf
https://documents.ottawa.ca/sites/documents/files/birdsafedesign_guidelines_en.pdf
https://documents.ottawa.ca/sites/documents/files/documents/construction_en.pdf
- The applicant should consult with the with Conservation Authority regarding potential floodplain and if any permits will be required.

Conservation Authority Comments

Environmental

- An EIS with mitigation recommendations for the protection of the adjacent natural features, thermal impacts of the stormwater infrastructure, and offsetting requirements for the loss of headwater drainage features.
- headwater drainage features assessment following standard protocols
- A landscaping plan implementing the requirements of the EIS
- A detail design of the any realigned drainage features

Stormwater Management

- Treatment to achieve 80% TSS removal. The stormwater package should include, at a minimum, a report demonstrating how the standards are achieved, a grading and drainage plan and a sediment and erosion control plan.
- The design must implement the recommendations of the floodplain analysis, environmental studies and plans

Hazards

- Completion of a flood analysis demonstrating that development of the property will have no negative impacts on flooding or erosion upstream or downstream of the property.

Conservation Authority Regulations

- Any interference with a watercourse may require a permit under O. Reg. 170/06 and restrictions may apply

MTO comments

- A building and land use permit is required from the MTO. MTO staff will be looking to review a Transportation Impact Assessment, a Stormwater Management Plan, and a Site Illumination Plan.

Development Applications Required

To move forward with this proposal, an [Site Plan Control, \(standard\)](#) will be required. Please review the fees associated with this [here](#).

Enclosed is a *Study and Plan Identification List*, which identifies the required studies and plans to support your application would be provided with these notes. Staff would be pleased to update this list, upon request should the site zoning be approved. For additional information on preparing studies and plans, please click on the following hyperlink: [Guide to Preparing Studies and Plans](#).

The property is in Ward 19-Cumberland, with Councillor Catherine Kitts It is in your best interest to initiate contact with close neighbours as well as the Councillor and Registered Community Groups. In addition, it may be beneficial to contact key technical agencies that may be involved in this file to discuss the proposal before submitting an application.

You may also want to reference information available on the City's website for building permits/demolition permits and development charges as well. For additional information on these items, please follow the following associated links: [Building Permits](#) or [Development Charges](#). Please contact Building Code Services if you have any questions regarding permits or charges; they can be reached by phoning 311.

The above pre-consultation comments are valid for one year. If you submit a development application after this time, you may be required to meet for another pre-consultation meeting and/or the submission requirements may change.

Please do not hesitate to contact me if you have questions or require clarification.

APPLICANT'S STUDY AND PLAN IDENTIFICATION LIST



– SITE PLAN APPLICATION – private/municipal servicing

For information on preparing required studies and plans refer to:

<http://ottawa.ca/en/development-application-review-process-0/guide-preparing-studies-and-plans>

required	ENGINEERING		required
x	1. Site Servicing Plan	2. Assessment of Adequacy of Servicing / Site Servicing Study / Brief	x
x	3. Grade Control and Drainage Plan	4. Geotechnical Study / Slope Stability Study	X
	5. Composite Utility Plan	6.	
	7. Servicing Options Report	8. Wellhead Protection Study	
x	9. Transportation impact assessment	10. Erosion and Sediment Control Plan / Brief	x
x	11. Storm water Management Report	12. Hydro-geological and terrain analysis	x
	13. Hydraulic Water main Analysis	14. Stationary noise	x
	15. Roadway Modification Design Plan	16. Confederation Line Proximity Study	

required	PLANNING / DESIGN / SURVEY		Required
	17. Draft Plan of Subdivision	18. Plan Showing Layout of Parking Garage	
	19. Draft Plan of Condominium	20. Planning Rationale	x
x	21. Site Plan	22. Minimum Distance Separation (MDS)	
	23. Concept Plan Showing Proposed Land Uses and Landscaping	24. Agrology and Soil Capability Study	
	25. Concept Plan Showing Ultimate Use of Land	26. Cultural Heritage Impact Statement	
x	27. Landscape Plan – on site plan will likely be sufficient	28. Archaeological Resource Assessment Requirements: S (site plan) A (subdivision, condo)	
x	29. Survey Plan	30. Shadow Analysis	
x	31. Architectural Building Elevation Drawings (dimensioned)	32. Design Brief (includes the Design Review Panel Submission Requirements)	
	33. Wind Analysis		

required	ENVIRONMENTAL		required
	34. Phase 1 Environmental Site Assessment	35. Impact Assessment of adjacent Waste Disposal/Former Landfill Site	
	36. Phase 2 Environmental Site Assessment (depends on the outcome of Phase 1)	37. Assessment of Landform Features	
	38. Record of Site Condition	39. Mineral Resource Impact Assessment	
x	40. Tree Conservation Report	41. Environmental Impact Statement / Impact Assessment of Endangered Species	x
	42. Mine Hazard Study / Abandoned Pit or Quarry Study	43. Site illumination plan	x

Meeting Date: August 9, 2021

Application Type: **Site Plan Control**

File Lead: Anissa McAlpine

Engineer/Project Manager:
Kevin Hall

Site Address: 1650 Thunder Road (Southern parcel)

It is important to note that the need for additional studies and plans may result during application review. If following the submission of your application, it is determined that material that is not identified in this checklist is required to achieve complete application status, in accordance with the Planning Act and Official Plan requirements, City Planning will notify you of outstanding material required within the required 30 day period. Mandatory pre-application consultation will not shorten the City's standard processing timelines, or guarantee that an application will be approved. It is intended to help educate and inform the applicant about submission requirements as well as municipal processes, policies, and key issues in advance of submitting a formal development application. This list is valid for one year following the meeting date. If the application is not submitted within this timeframe the applicant must again pre-consult with the City.

**SITE PLAN APPLICATION – PRIVATE/COMMUNAL SERVICING
REQUIRED ENGINEERING STUDIES AND ASSESSMENTS**



Notes:

2. The City requires sufficient information (water, stormwater, sanitary) - required as per Official Plan section 4.4.2. for proposals. May be a brief at submission stage.
4. Geotechnical Study / Slope Stability Study – required as per Official Plan section 4.8.3. All site plan applications need to demonstrate the soils are suitable for development. A Slope Stability Study may be required with unique circumstances (Schedule K or topography may define slope stability concerns).
6. Groundwater Impact Assessment required as per Official Plan sections 4.4.2, 4.7.5 & 4.8.2. When reviewing development applications the City will consider the potential impact on groundwater.
8. Wellhead Protection Plan required as per Official Plan sections 4.4.2, 4.4.2.4, 4.7.5 & 4.8.2. When reviewing development applications, the City will consider the potential impact on wellhead protection areas (municipal wells and wells with an MRA).
10. Erosion and Sediment Control Plan – required with all site plan applications as per Official Plan section 4.7.3.
11. Stormwater Management Report/Brief - required with all site plan applications as per Official Plan section 4.7.6.
12. Hydrogeological and Terrain Analysis Study – required as per Official Plan 4.4.2.1, 4.4.2.4 & 4.7.5. Will be required for a proposed change in land use that would allow residential development or institutional uses (such as schools or seniors homes) on private water and wastewater servicing.
14. Noise and Vibration Study – a Noise Study will be required if noise sensitive development is proposed within 250 metres of an existing or proposed highway or a railway right-of-way, or 100 metres of an arterial or collector roadway or rapid-transit corridor. A Vibration Study will be required if the proposed development is within 75 metres of either an existing or proposed railway ROW. A Noise Study may also be required if the proposed development is adjacent to an existing or proposed stationary noise source..
35. An Impact Assessment of an Adjacent Waste Disposal/Former Landfill Site study is required for development proposals within 500 metres of a solid waste disposal site or other appropriate influence area or former landfill site. For contaminated sites a Record of Site Condition or letter of continued use is required.
39. A Mineral Resource Impact Assessment study is required, as per Official Plan section 3.7.4 adjacent to an unlicensed Limestone Resource or Sand and Gravel Resource Area (very limited uses considered within 500 metres of Limestone Resource Area or 300 metres of Sand and Gravel Resource Area). A study is required
 - adjacent to, or within 300 metres of, a licensed pit
 - adjacent to, or within 500 metres of, a licensed quarry

APPENDIX C

Site Topography





EXISTING TOPOGRAPHY

5368 Boundary Road and 6150 Thunder Road, Ottawa ON

APPENDIX B
DATE:
DECEMBER 2020

SK02

APPENDIX D

Fire Protection Calculations





Fire Flow Calculations as per Ontario Building Code (OBC)

LRL File No. : 200578

Project : Proposed Industrial Development

Location : 6160 Thunder Road, Ottawa

Date : November 25, 2021

Prepared by : V. Johnson

Fire Protection Water Supply Calculations

Q = KVS_{Tot}

where

Q = minimum supply of water (L)

K = water supply coefficient from Table 1 of the OFM guidelines

V = total building volume (m³)

S_{Tot} = total of spatial coefficient values from property line exposures on all sides

S_{Tot} = 1.0 + (S_{side1} + S_{side2} + S_{side3} + S_{side4})

Exposure Distance (m) (For All Buildings)

S _{Side1} =	0.00	>10	(North)
S _{Side2} =	0.00	>10	(East)
S _{Side3} =	0.00	>10	(South)
S _{Side4} =	0.00	>10	(West)
S_{Tot} =	1.00		

1.0 + (S_{side 1} + S_{side 2} + S_{side 3} + S_{side 4}) (Max. value = 2.0)

Building Classification= F-2 (From Table 3.1.2.1)

Water Supply Coefficient (K)= 17 (From Table A3.2.5.7)(Non Combustible w Fire Separation)

Building Information based on Architectural Drawing

	Building A	Building B	Building C	Building D	Building E
Floor Area (m ²)	8,920	8,920	8,920	10,405	3,900
Building Height (m)	7	9	7	9	7
Total Building Volume (m ³)	62,440	80,280	62,440	93,645	27,300
Min Wat Supply Volume -Q (L)	1,061,480	1,364,760	1,061,480	1,591,965	464,100 *

Required Minimum Water Supply Flow Rate (From Table 2) = 9000 L/min

*Assume fire protection for largest demand of 1 building

Minimum Fire Protection Water Supply Volume for 30 min. = 270 000L **

Required Fire Protection water Supply Volume (Highest Between * and **) = **1,591,965 L**

APPENDIX E

Civil Engineering Drawings



INDUSTRIAL PARK 6160 THUNDER RD OTTAWA, ON

REVISION 01



KEY PLAN (N.T.S.)

DRAWING INDEX	
TITLE PAGE	
GENERAL NOTES PLAN	C000
EROSION AND SEDIMENT CONTROL PLAN	C101
GRADING AND DRAINAGE - OVERALL PLAN	C301
GRADING AND DRAINAGE PLAN	C302
GRADING AND DRAINAGE PLAN	C303
GRADING AND DRAINAGE PLAN	C304
GRADING AND DRAINAGE PLAN	C305
SERVICING - OVERALL PLAN	C401
SERVICING PLAN	C402
SERVICING PLAN	C403
STORMWATER MANAGEMENT PLAN	C601
PRE-DEVELOPMENT WATERSHED PLAN	C701
POST-DEVELOPMENT WATERSHED PLAN	C702
CONSTRUCTION DETAIL PLAN	C901



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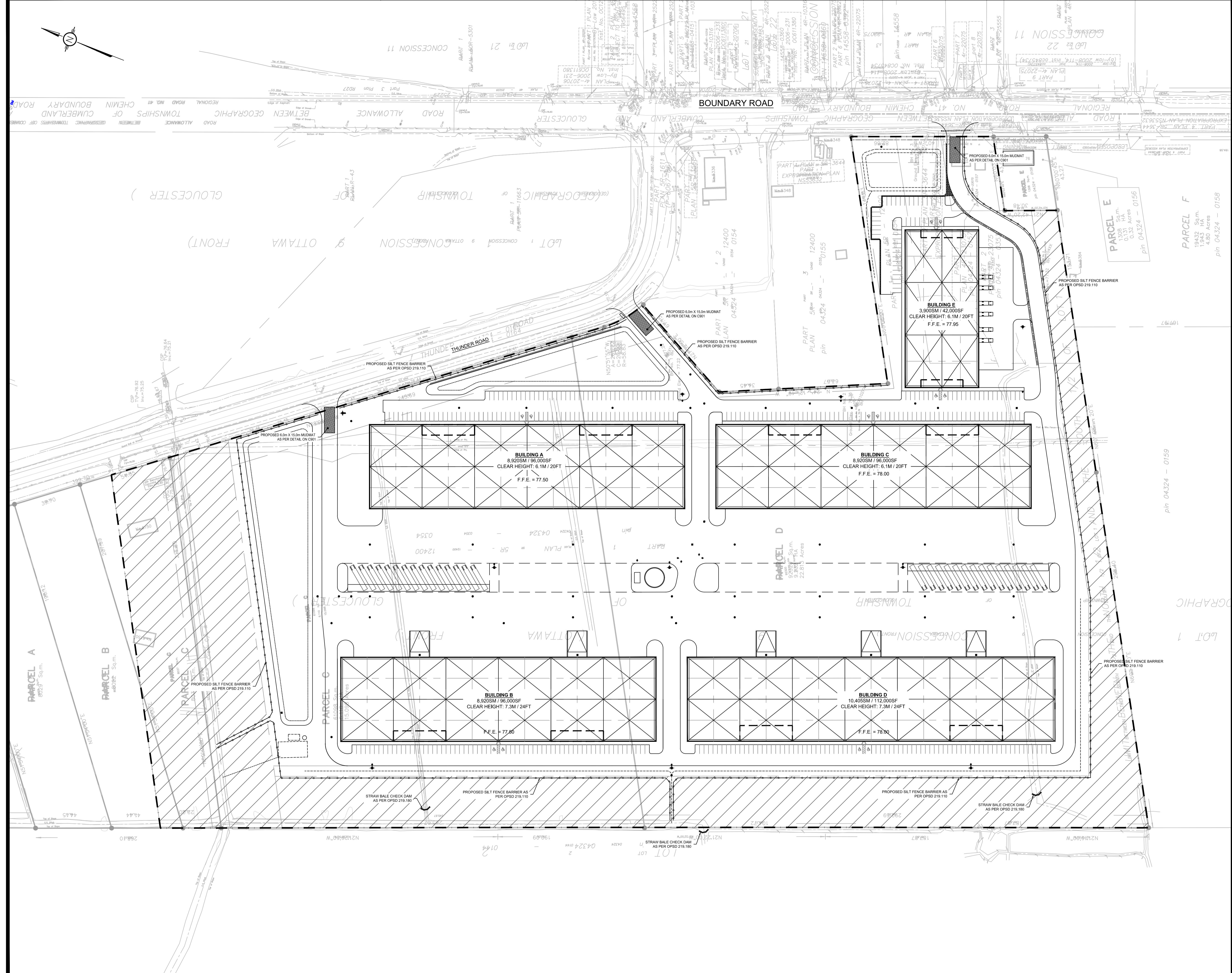
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PROPOSED DEVELOPMENT
6160 THUNDER ROAD
REV.01 - ISSUED FOR APPROVAL - NOVEMBER 2021
LRL PROJECT no: 200578



NOT AUTHENTIC UNLESS SIGNED AND DATED



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No.	ISSUED FOR APPROVAL	V.J.	25 NOV 2021
	REVISIONS	BY	DATE

LICENCED PROFESSIONAL ENGINEER
V. JOHNSON
100510576
NOV 25 2021
PROVINCE OF ONTARIO

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5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT
AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

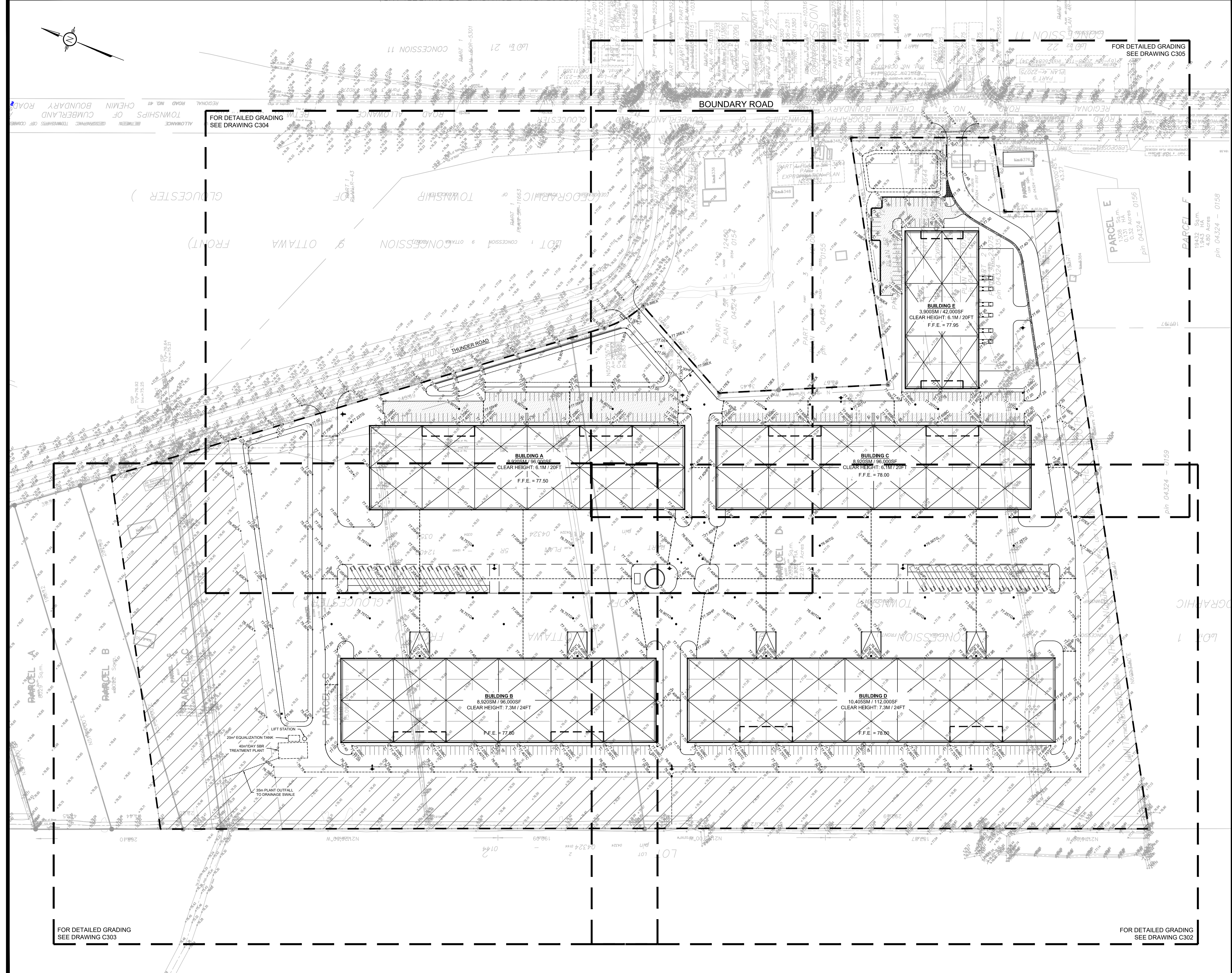
PROJECT
**INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON**

DRAWING TITLE
**EROSION AND SEDIMENT
CONTROL PLAN**

PROJECT NO.
200578

DATE
NOVEMBER 2020

C101



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01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021

LICENCED PROFESSIONAL ENGINEER
V. JOHNSON
100510576
Nov 25, 2021
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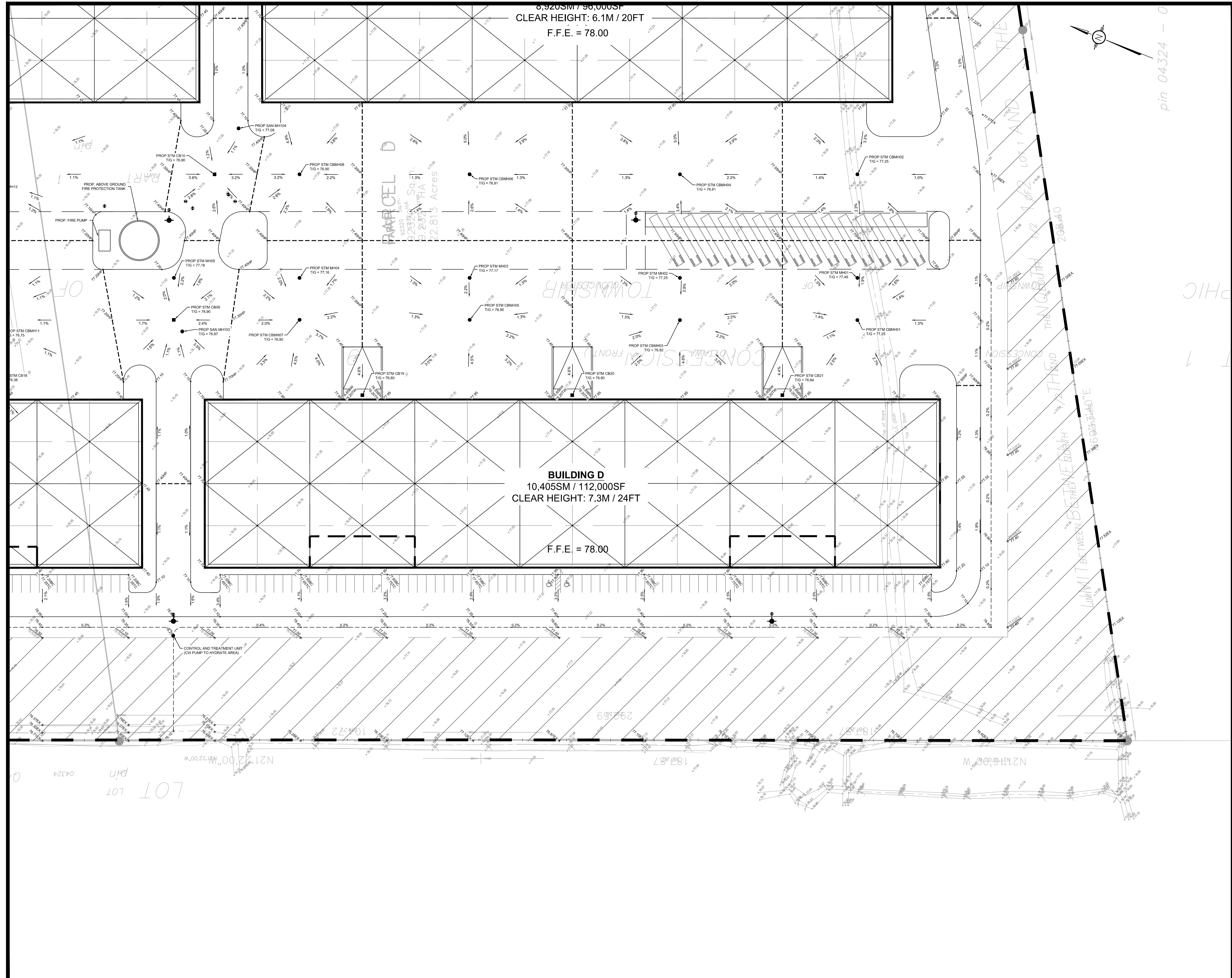
PROJECT
**INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON**

DRAWING TITLE
**GRADING AND DRAINAGE -
OVERALL PLAN**

PROJECT NO.
200578

DATE
NOVEMBER 2020

C301



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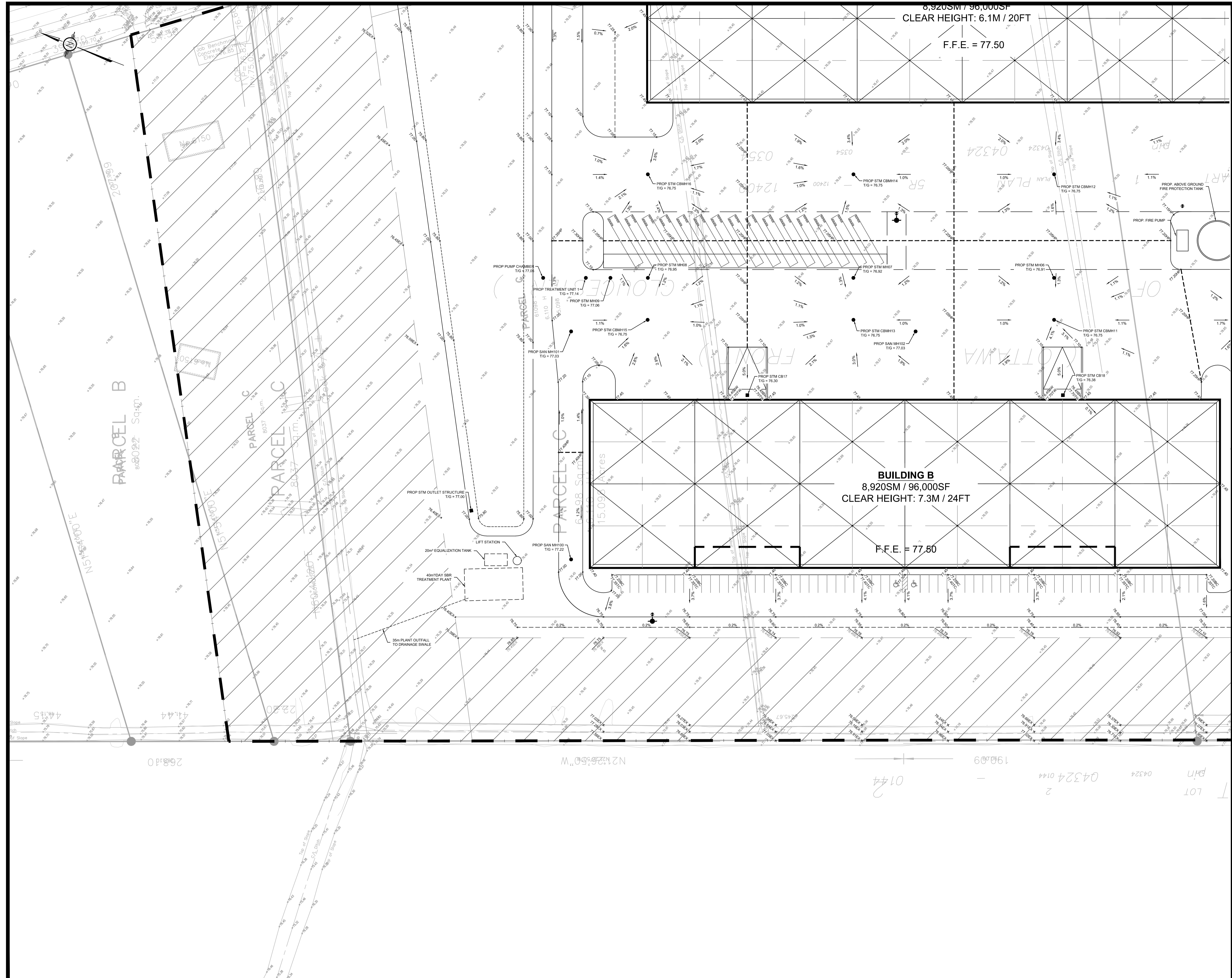
PROJECT
**INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON**

DRAWING TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO.
200578

DATE
NOVEMBER 2020

C302



8,920SM / 96,000SF
 CLEAR HEIGHT: 6.1M / 20FT
 F.F.E. = 77.50

BUILDING B
 8,920SM / 96,000SF
 CLEAR HEIGHT: 7.3M / 24FT
 F.F.E. = 77.50

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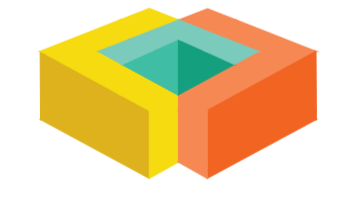
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.



No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021



NOT AUTHENTIC UNLESS SIGNED AND DATED



LRJ
 ENGINEERING | INGENIERIE
 5430 Canotek Road | Ottawa, ON, K1A 9G2
 www.lri.ca | (613) 842-3434

CLIENT
AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

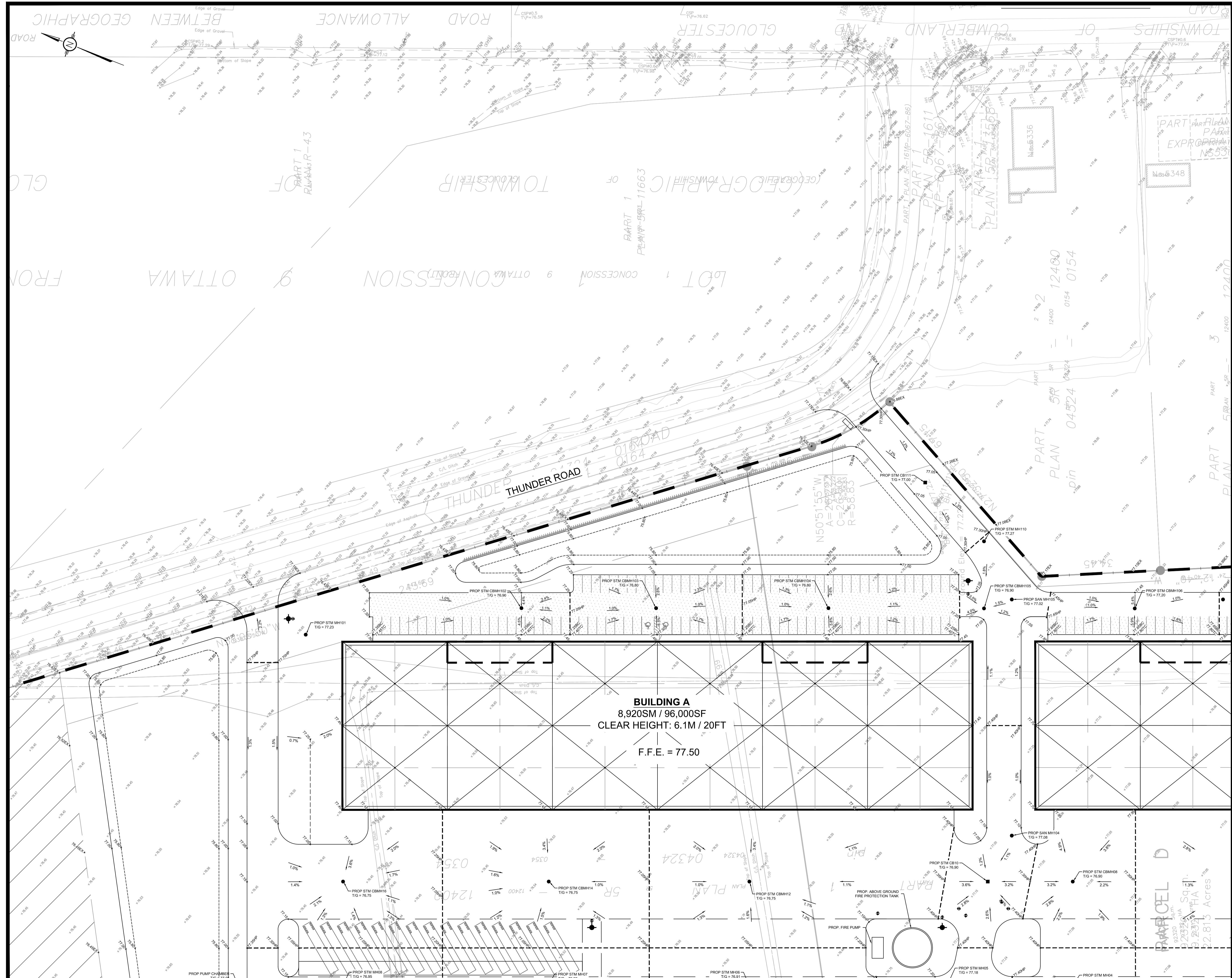
PROJECT
**INDUSTRIAL PARK
 6160 THUNDER RD
 OTTAWA, ON**

DRAWING TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO.
200578

DATE
NOVEMBER 2020

C303



USE AND INTERPRETATION OF DRAWINGS

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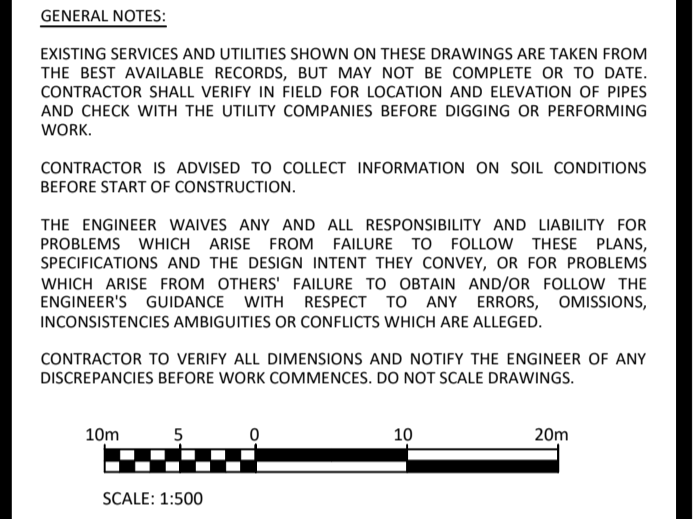
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No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021



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www.lrl.ca | (613) 842-3434

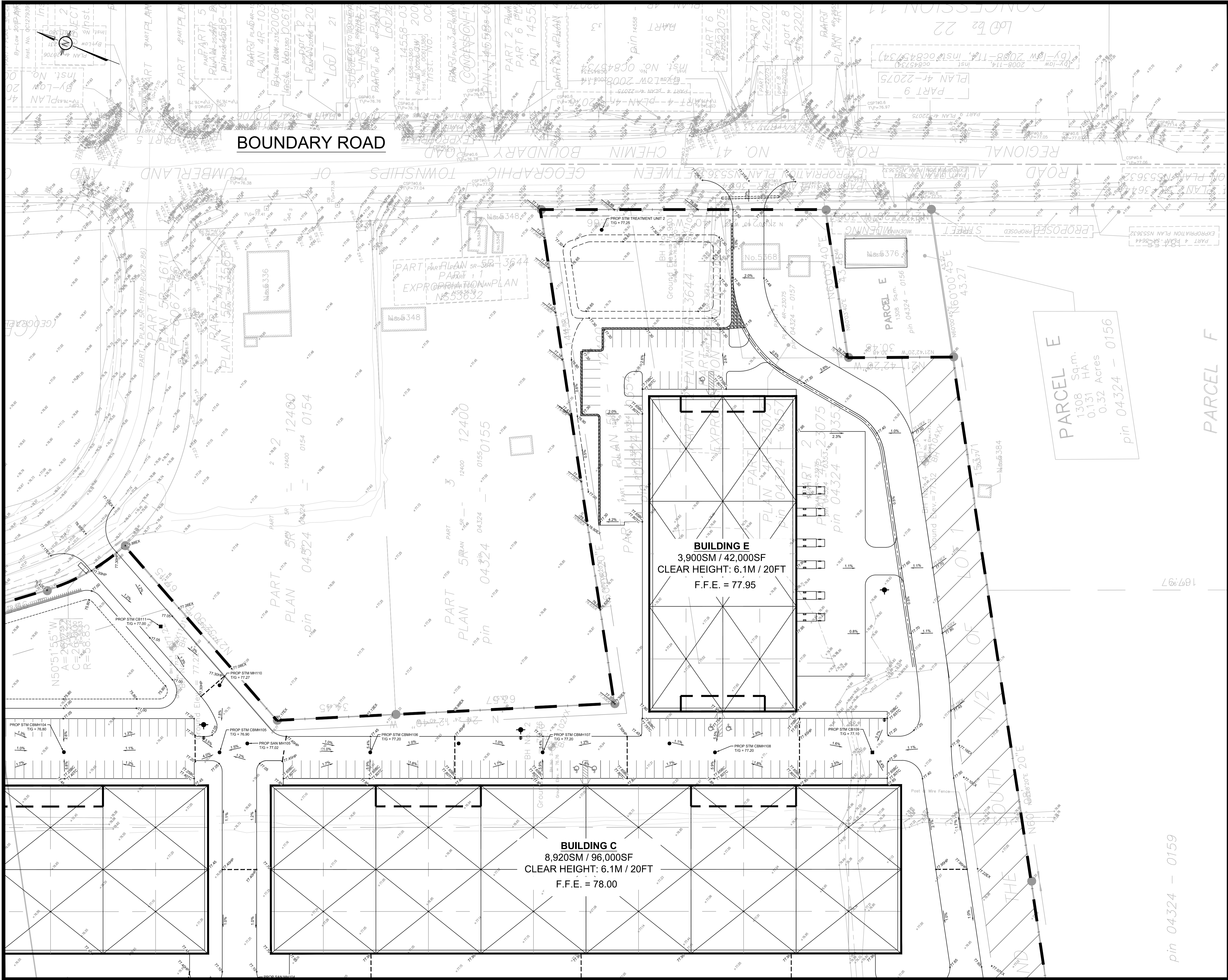
DESIGNED BY:	DRAWN BY:	APPROVED BY:
V.J.	M.L.	V.J.

PROJECT: INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON

DRAWING TITLE: GRADING AND DRAINAGE PLAN

PROJECT NO: 200578
DATE: NOVEMBER 2020

C304



BOUNDARY ROAD

BUILDING E
 3,900SM / 42,000SF
 CLEAR HEIGHT: 6.1M / 20FT
 F.F.E. = 77.95

BUILDING C
 8,920SM / 96,000SF
 CLEAR HEIGHT: 6.1M / 20FT
 F.F.E. = 78.00

PARCEL E
 1308 Sq.m.
 0.131 HA
 0.32 Acres
 pin 04324 - 0156

PARCEL F

USE AND INTERPRETATION OF DRAWINGS
 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE THE WORK AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THESE DRAWINGS ARE COMPLEMENTARY AND NOT TO BE USED IN ISOLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THESE DRAWINGS ARE COMPLEMENTARY AND NOT TO BE USED IN ISOLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK.

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No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021



NOT AUTHENTIC UNLESS SIGNED AND DATED



CLIENT
AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.
 PROJECT
**INDUSTRIAL PARK
 6160 THUNDER RD
 OTTAWA, OM**

DRAWING TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO.
 200578
 DATE
 NOVEMBER 2020

C305

pin 04324 - 0159

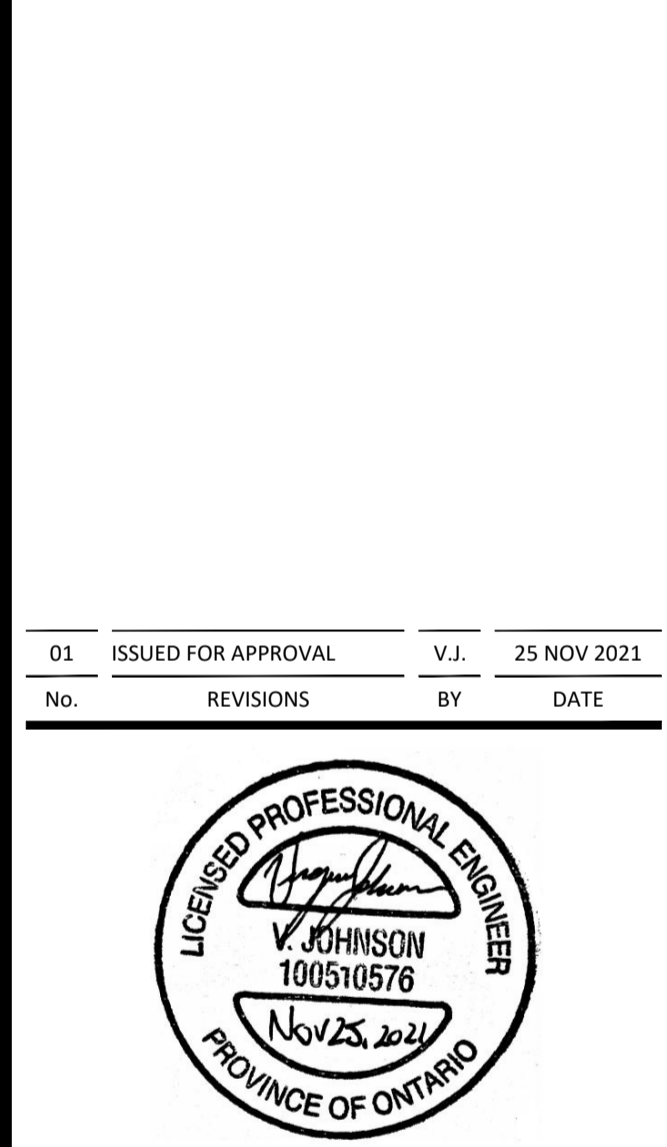
NOTES:
 -WATERMAIN TO BE INSTALLED IN ORDER TO HAVE 2.4m MIN. COVER THROUGHOUT THE SITE.
 -CROSSINGS ARE TO BE AS PER CITY OF OTTAWA DETAIL W25.2 AND W25

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20m 10 0 20 40m
 SCALE: 1:1000

01 ISSUED FOR APPROVAL V.J. 25 NOV 2021
 No. REVISIONS BY DATE

NOT AUTHENTIC UNLESS SIGNED AND DATED



NOT AUTHENTIC UNLESS SIGNED AND DATED

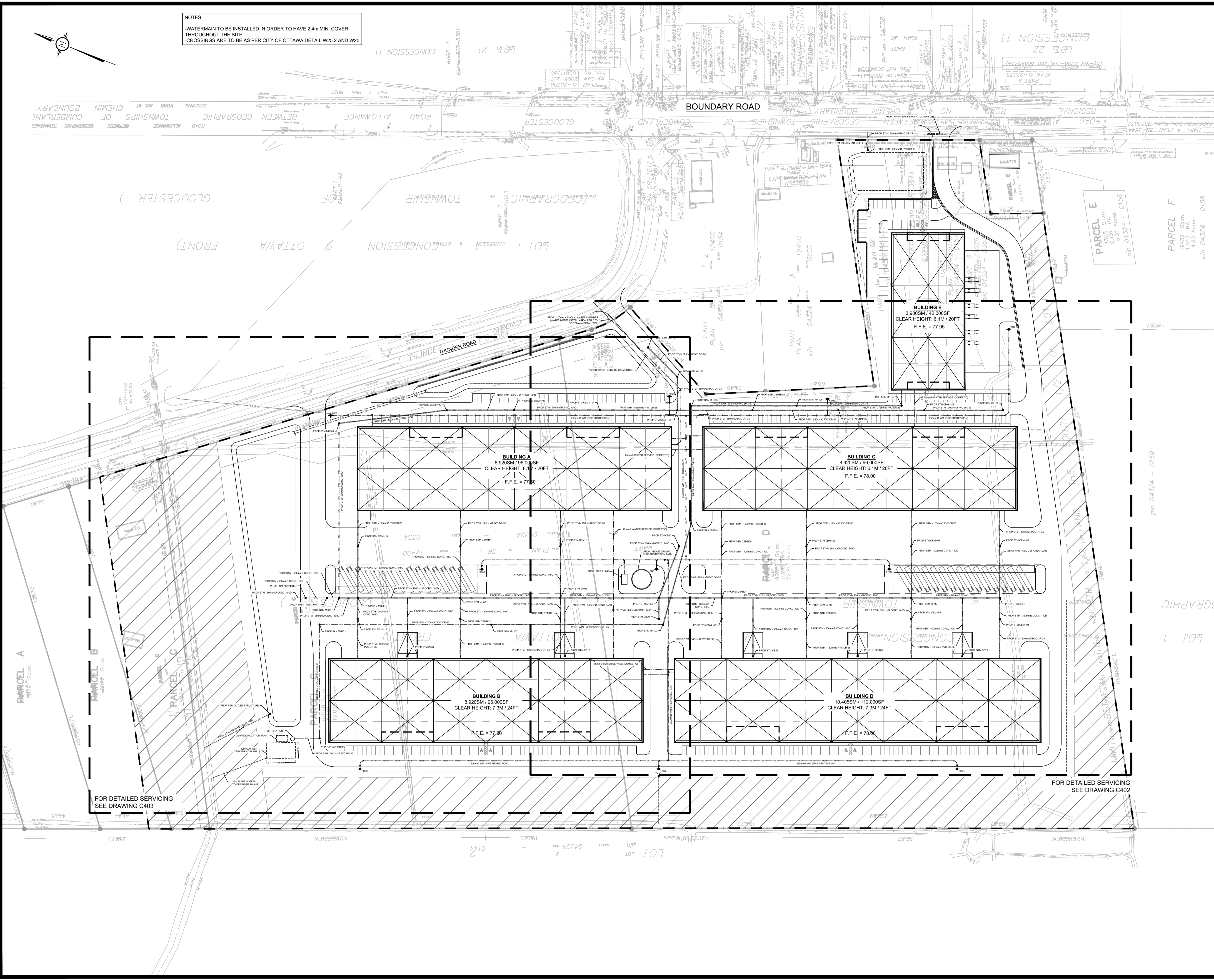


CLIENT AVENUE 31
 DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

PROJECT INDUSTRIAL PARK
 6160 THUNDER RD
 OTTAWA, ON

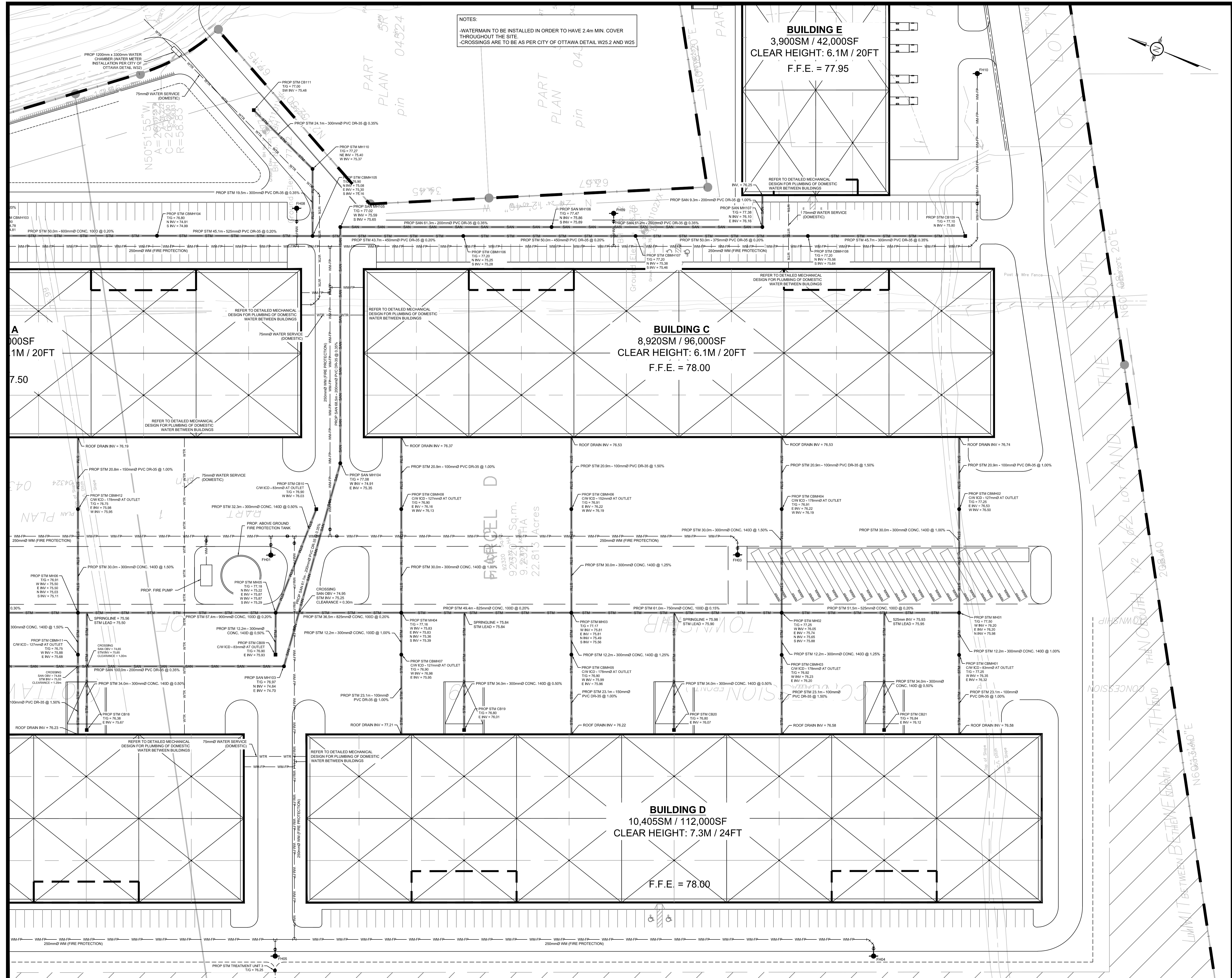
DRAWING TITLE SERVICING - OVERALL PLAN

PROJECT NO. 200578
 DATE NOVEMBER 2020
 C401



FOR DETAILED SERVICING
 SEE DRAWING C403

FOR DETAILED SERVICING
 SEE DRAWING C402



NOTES:
 -WATERMAIN TO BE INSTALLED IN ORDER TO HAVE 2.4m MIN. COVER THROUGHOUT THE SITE.
 -CROSSINGS ARE TO BE AS PER CITY OF OTTAWA DETAIL W25.2 AND W25.3

BUILDING E
 3,900SM / 42,000SF
 CLEAR HEIGHT: 6.1M / 20FT
 F.F.E. = 77.95

BUILDING C
 8,920SM / 96,000SF
 CLEAR HEIGHT: 6.1M / 20FT
 F.F.E. = 78.00

BUILDING D
 10,405SM / 112,000SF
 CLEAR HEIGHT: 7.3M / 24FT
 F.F.E. = 78.00

USE AND INTERPRETATION OF DRAWINGS

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10m 5 10 20m
 SCALE: 1:500

01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021
No.	REVISIONS	BY	DATE

PROFESSIONAL ENGINEER
 V. JOHNSON
 100510576
 Nov 25, 2021
 PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRJ
 ENGINEERING | INGENIERIE
 5430 Canotek Road | Ottawa, ON, K1J 9G2
 www.lri.ca | (613) 842-3434

CLIENT: AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

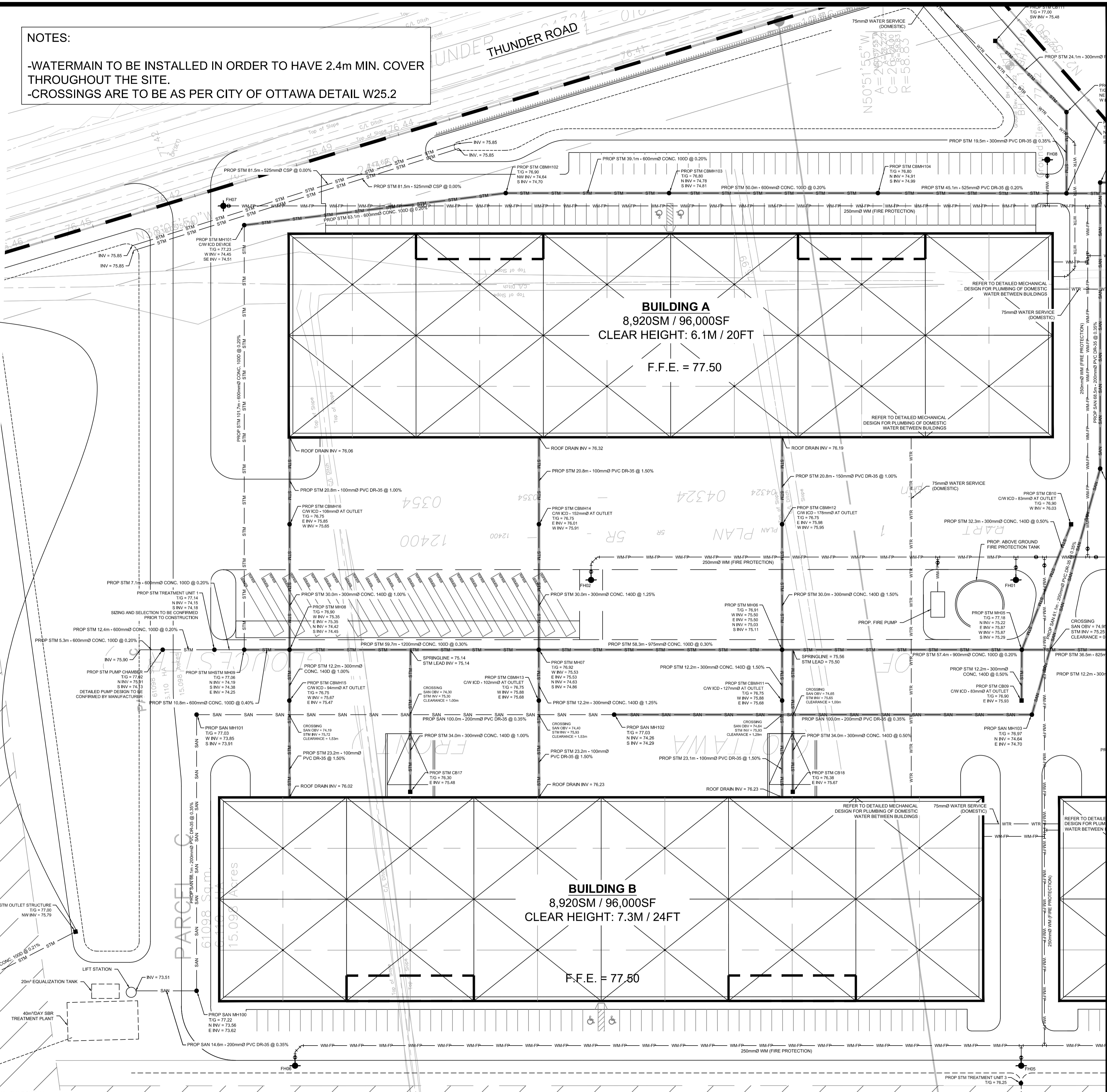
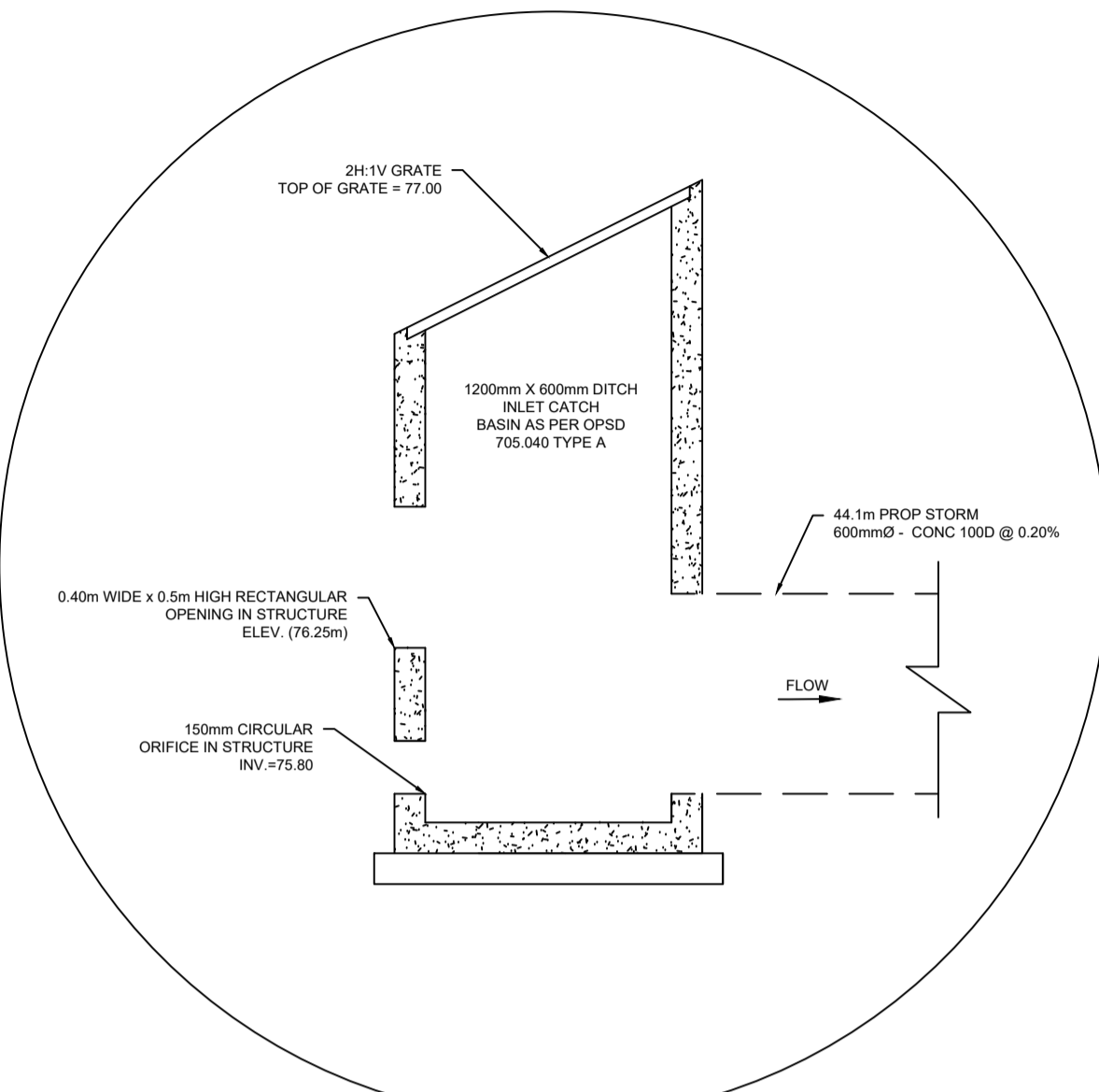
PROJECT: INDUSTRIAL PARK
 6160 THUNDER RD
 OTTAWA, ON

DRAWING TITLE: SERVICING PLAN

PROJECT NO: 200578
 DATE: NOVEMBER 2020

C402

NOTES:
 -WATERMAIN TO BE INSTALLED IN ORDER TO HAVE 2.4m MIN. COVER THROUGHOUT THE SITE.
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IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

GENERAL NOTES:

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

10m 5m 0 5m 10m 20m
SCALE: 1:500

No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021

LICENCED PROFESSIONAL ENGINEER
V. JOHNSON
 100510576
 Nov 25, 2021
 PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRI
 ENGINEERING | INGENIERIE
 5430 Canotek Road | Ottawa, ON, K1J 9G2
 www.lri.ca | (613) 842-3434

CLIENT: AVENUE 31

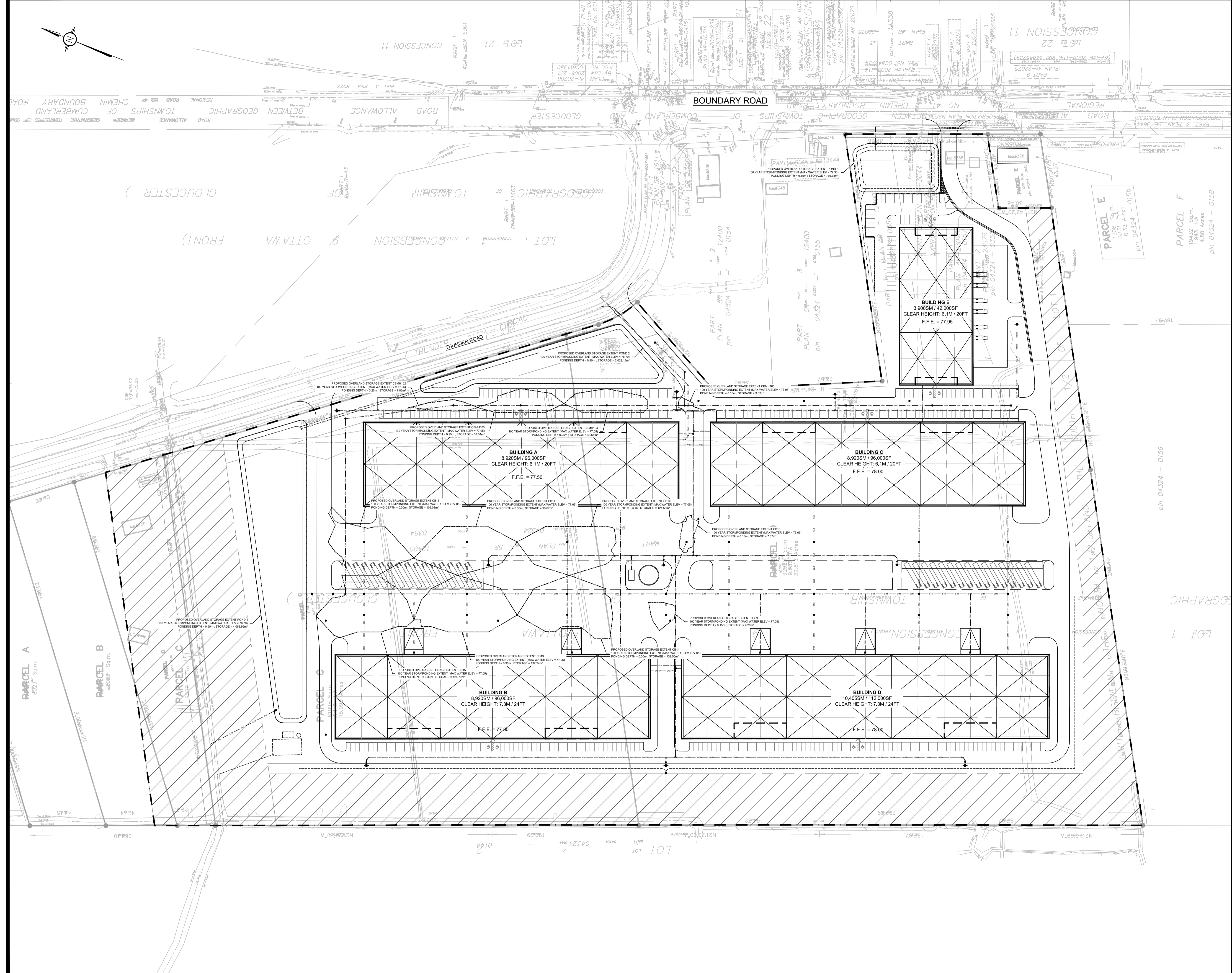
DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

PROJECT: INDUSTRIAL PARK 6160 THUNDER RD OTTAWA, OM

DRAWING TITLE: SERVICING PLAN

PROJECT NO: 200578
 DATE: NOVEMBER 2020

C403



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS ISSUED FOR CONSTRUCTION, THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRI ASSOCIATES LTD. (LRI) WITHOUT OBTAINING LRI'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRI AND TO RELEASE LRI FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRI'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRI AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRI AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

GENERAL NOTES:

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

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20m 10 0 20 40m
SCALE: 1:1000

No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021

LICENCED PROFESSIONAL ENGINEER
V. JOHNSON
100510576
Nov 25, 2021
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

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www.lri.ca | (613) 842-3434

CLIENT
AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

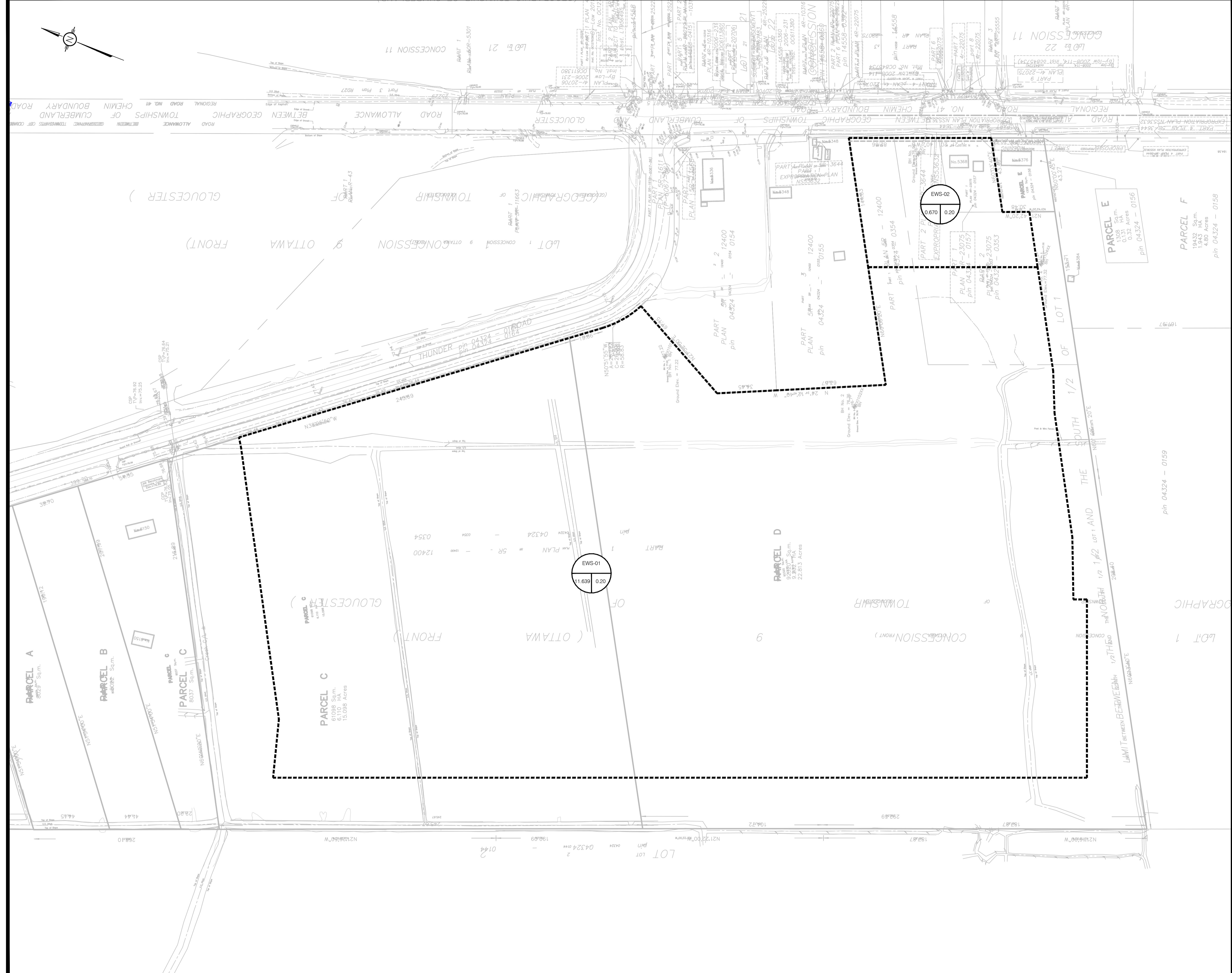
PROJECT
**INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON**

DRAWING TITLE
STORMWATER MANAGEMENT PLAN

PROJECT NO.
200578

DATE
NOVEMBER 2020

C601



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAIL AS SHOWN OR WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

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THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

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IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES, THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

01 ISSUED FOR APPROVAL V.J. 25 NOV 2021

No.	REVISIONS	BY	DATE

Licensed Professional Engineer
V. JOHNSON
 100510576
 Nov 25, 2021
 PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

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 www.lrl.ca | (613) 842-3434

CLIENT
AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

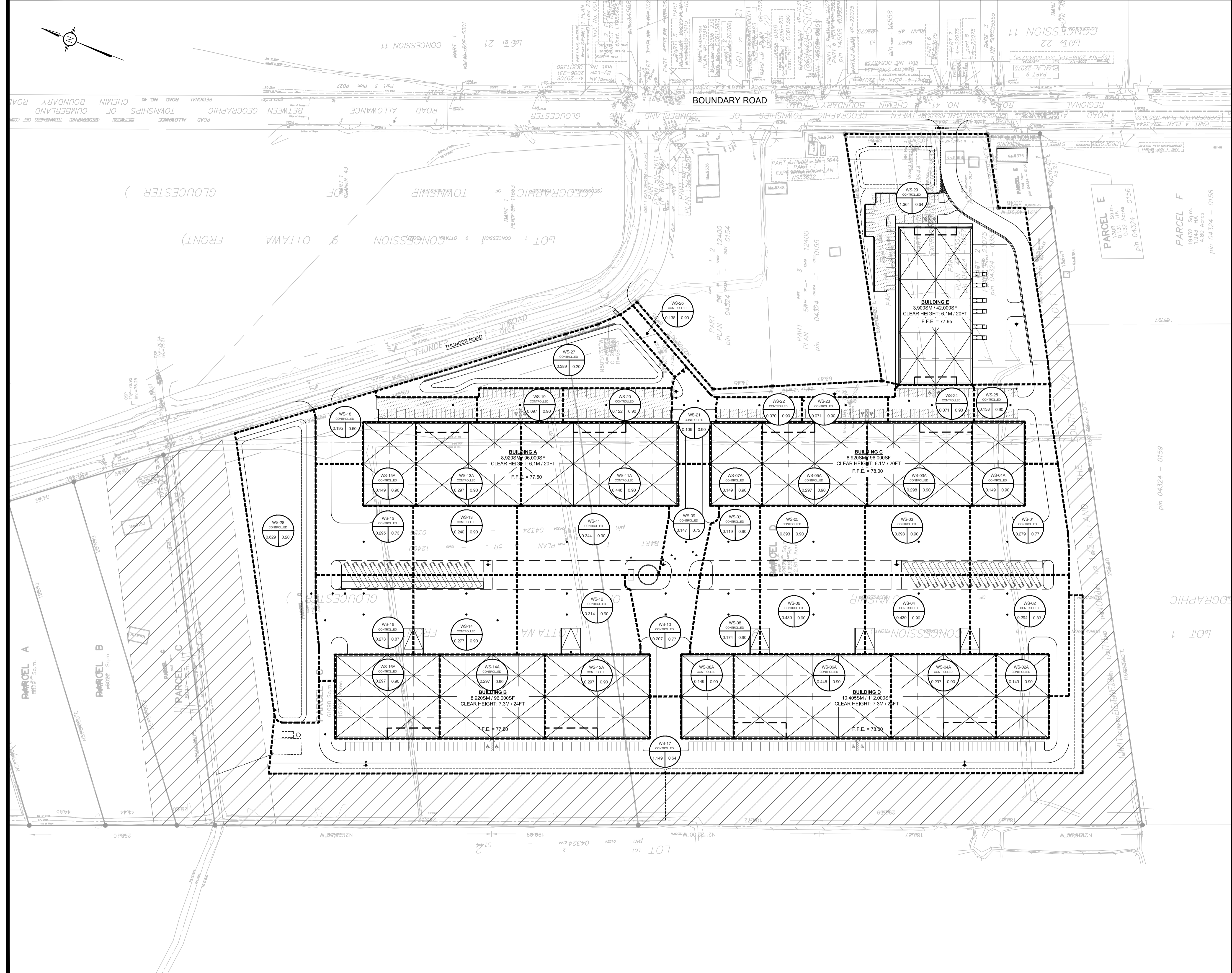
PROJECT
**INDUSTRIAL PARK
 6160 THUNDER RD
 OTTAWA, ON**

DRAWING TITLE
**PRE-DEVELOPMENT
 WATERSHED PLAN**

PROJECT NO.
200578

DATE
NOVEMBER 2020

C701



USE AND INTERPRETATION OF DRAWINGS

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SCALE: 1:1000

No.	REVISIONS	BY	DATE
01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021

LRI
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: AVENUE 31

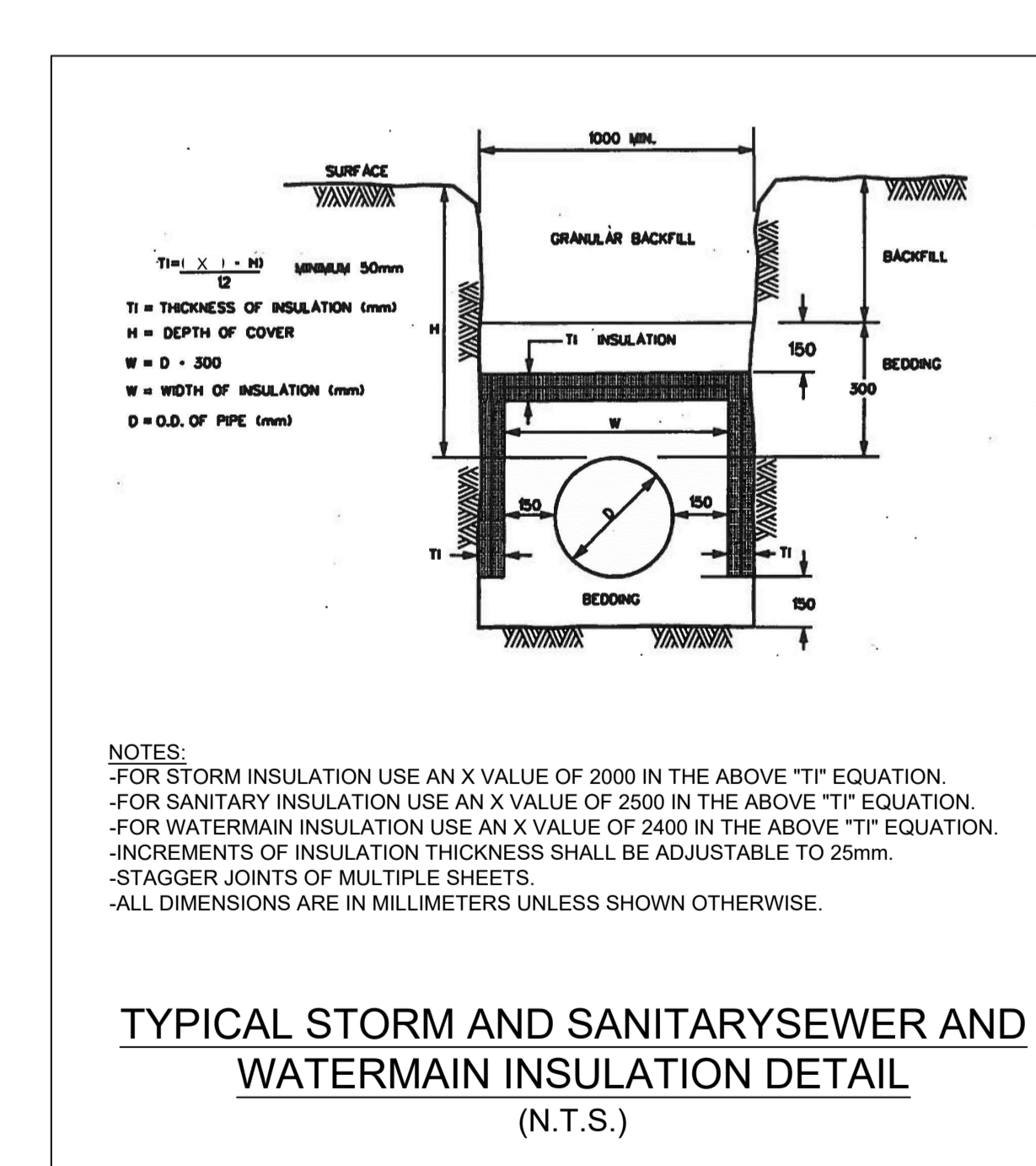
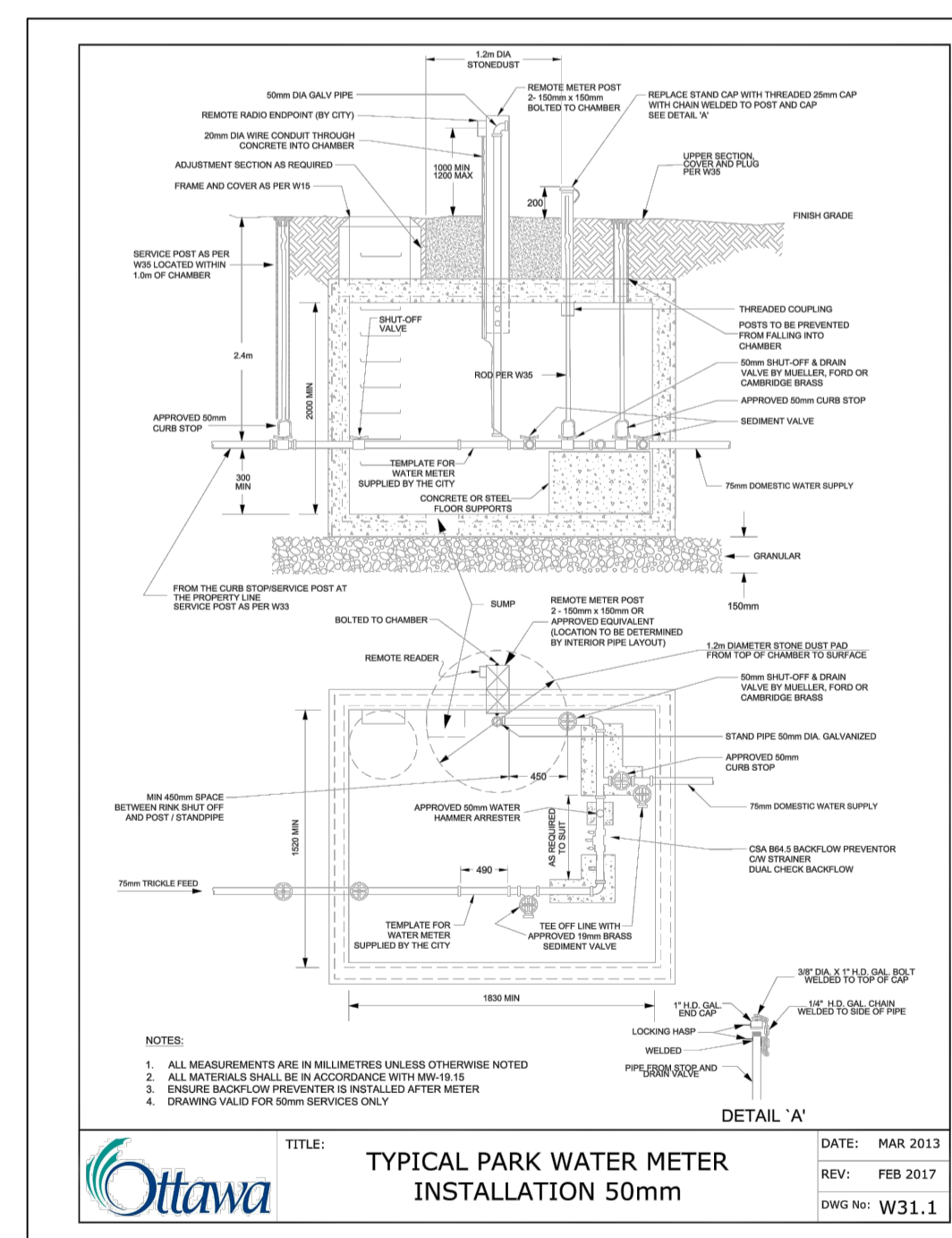
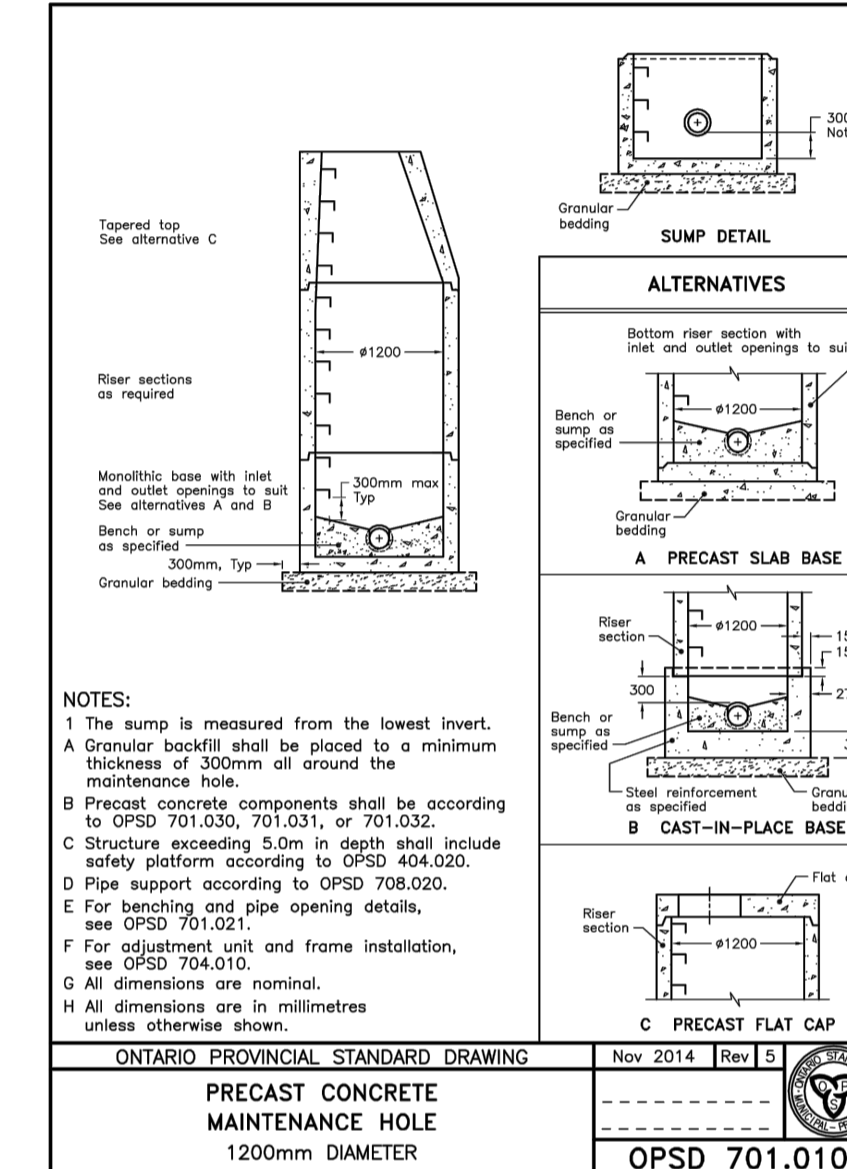
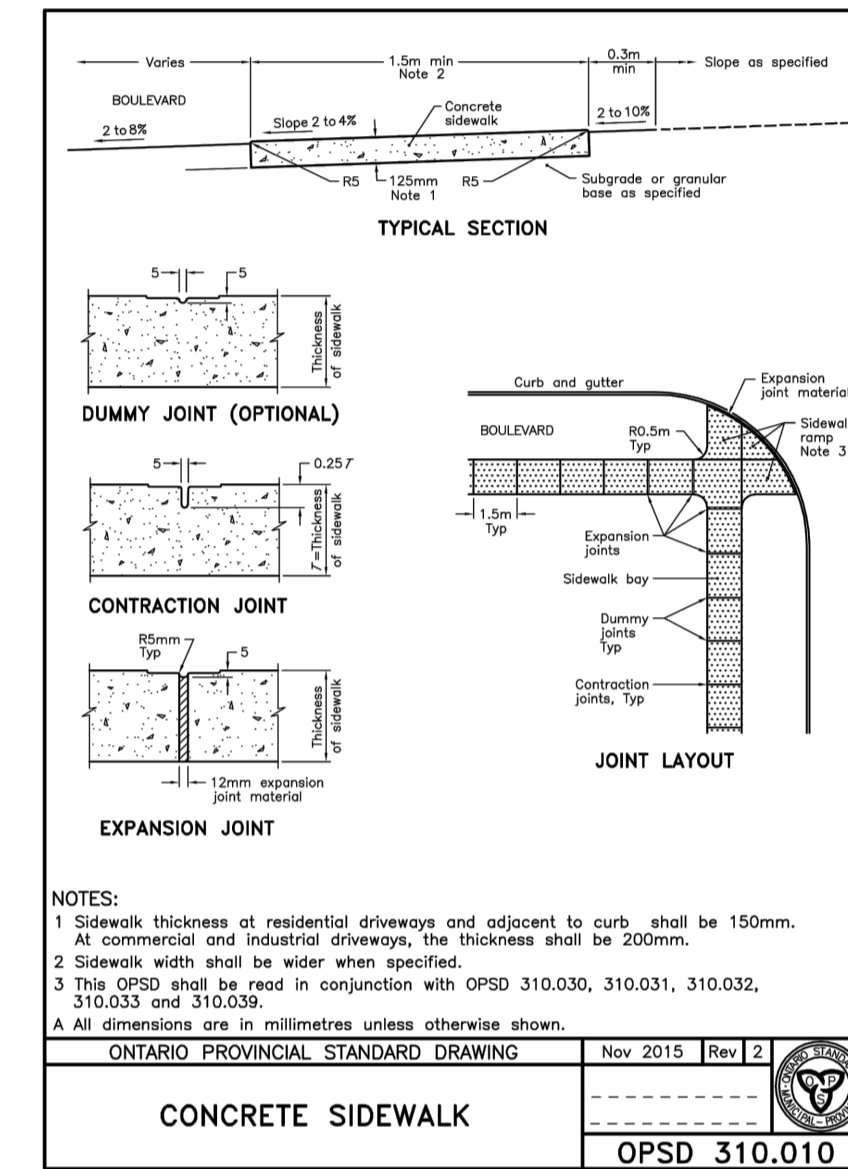
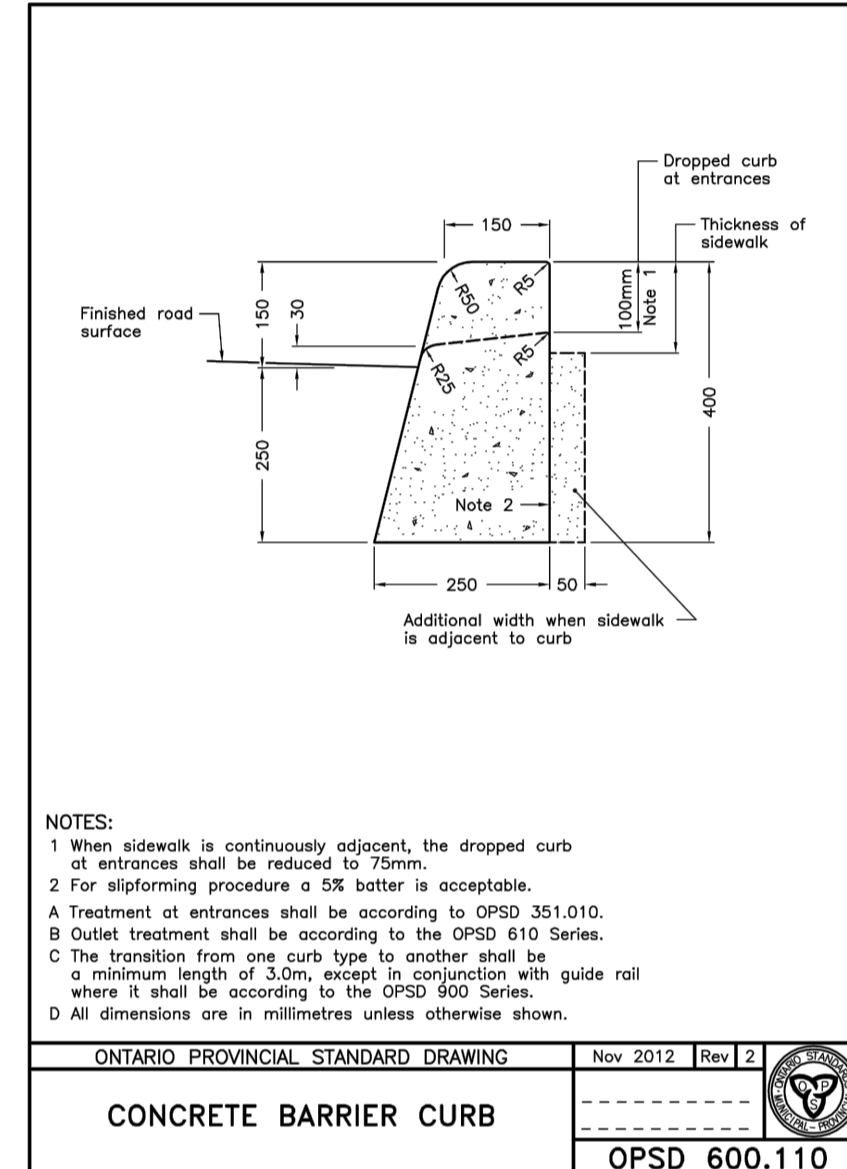
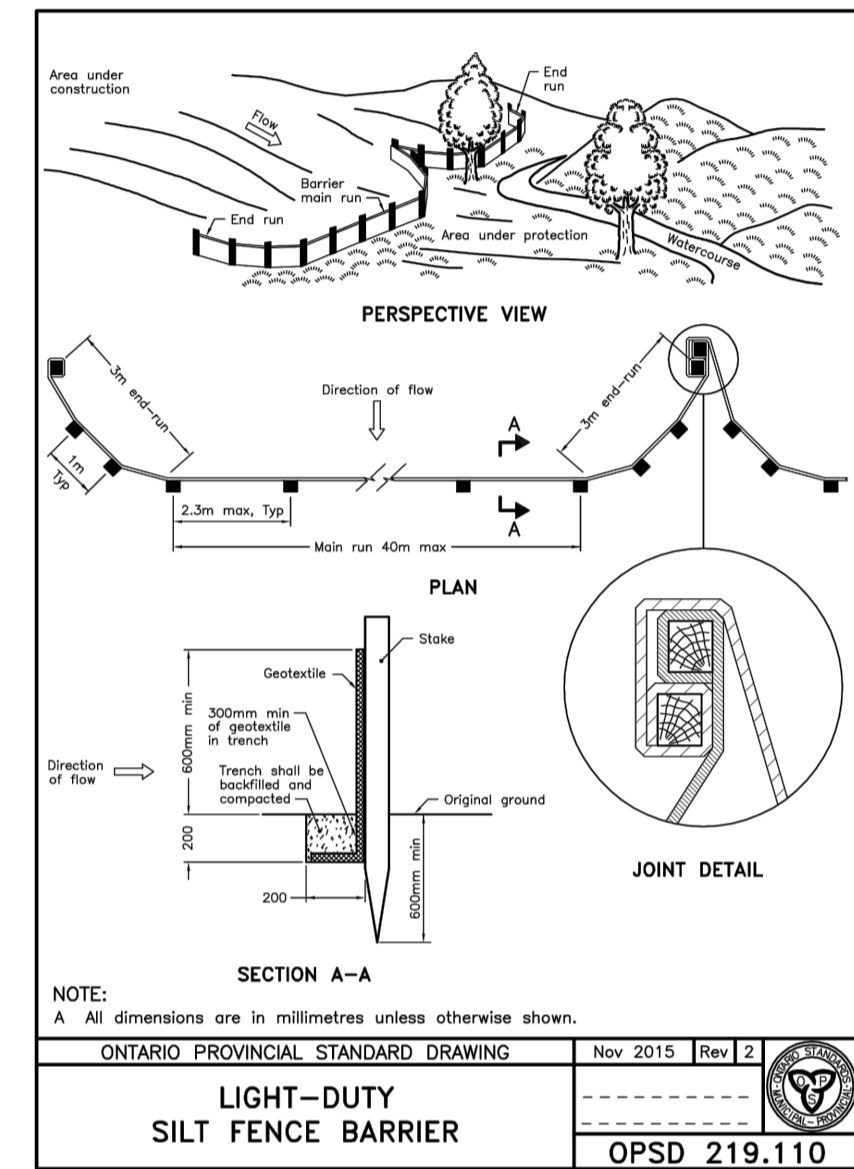
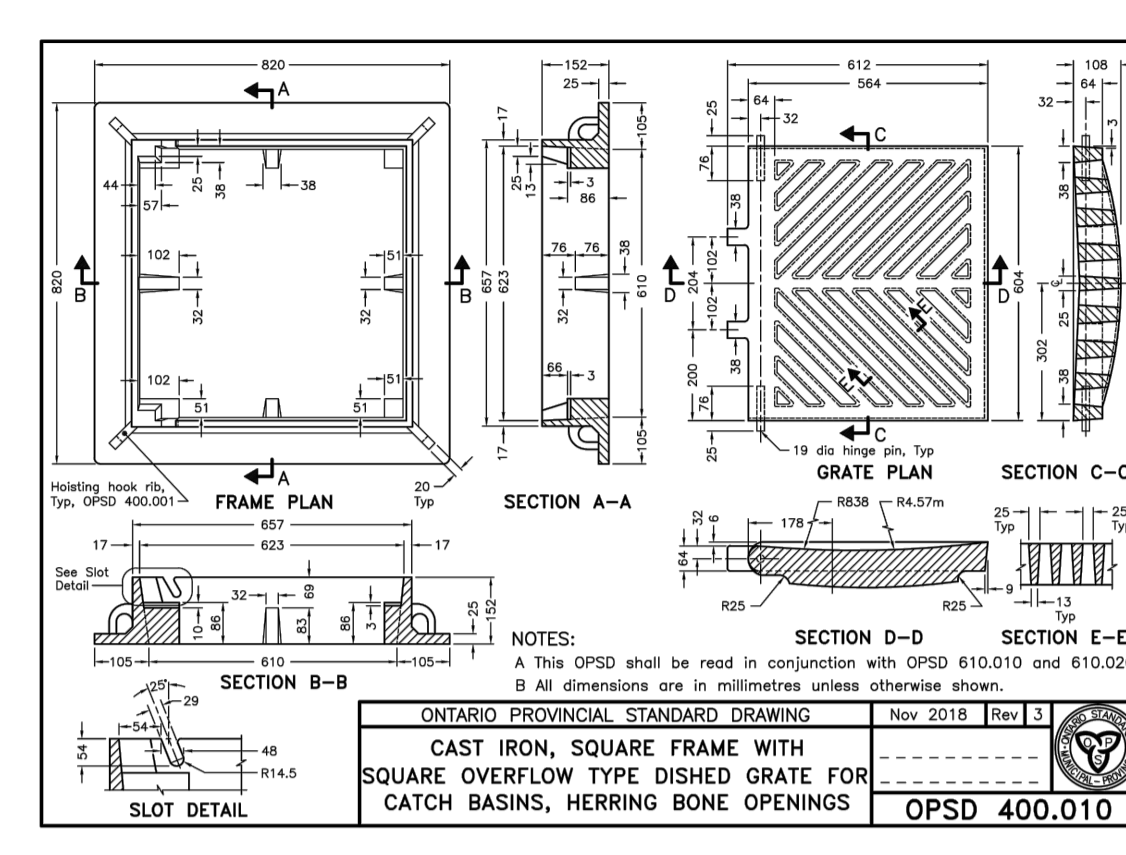
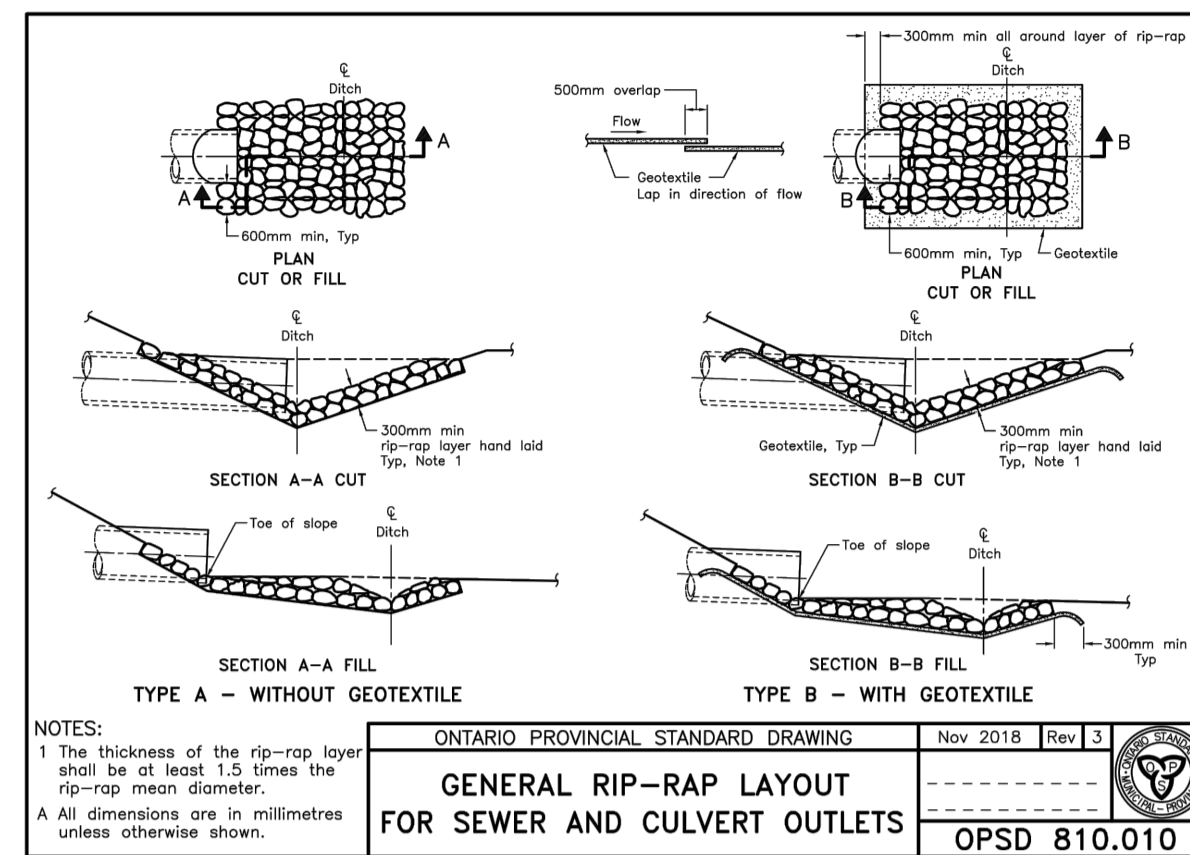
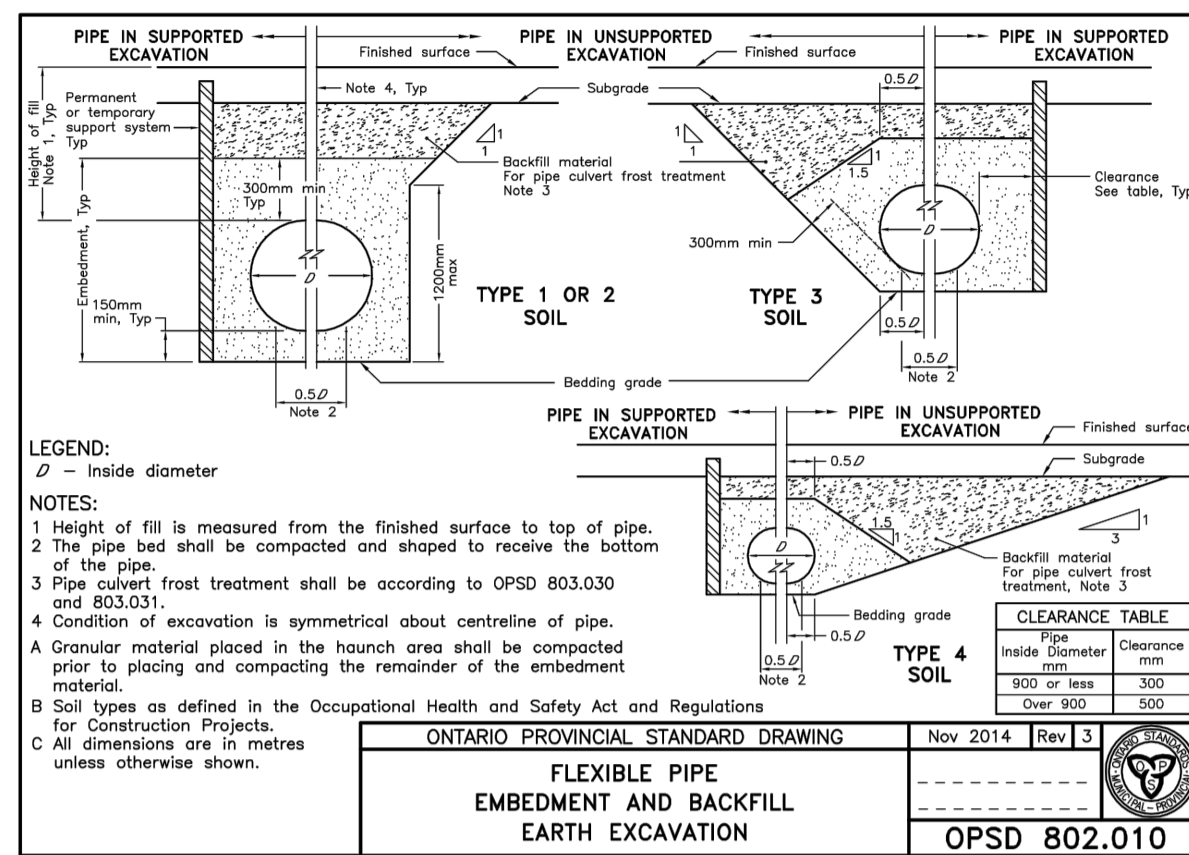
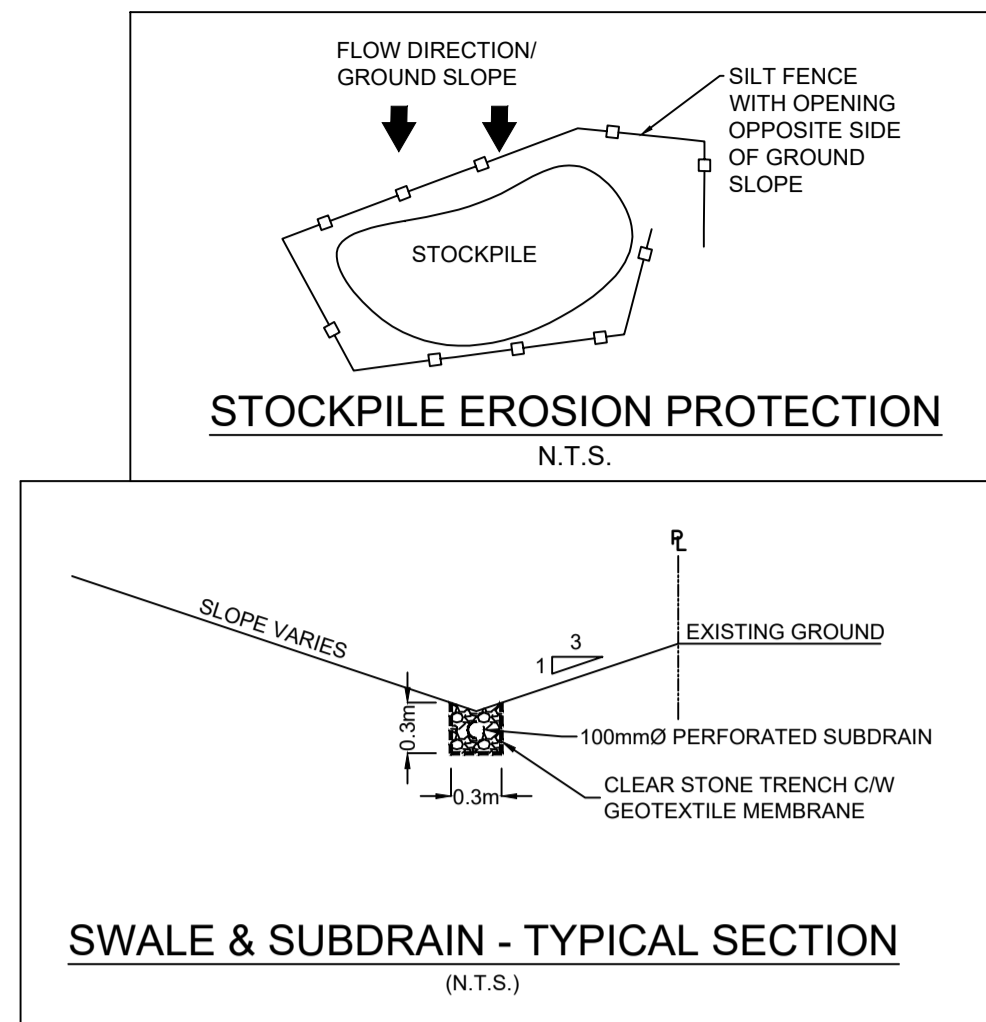
DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

PROJECT: INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON

DRAWING TITLE: POST-DEVELOPMENT WATERSHED PLAN

PROJECT NO: 200578
DATE: NOVEMBER 2020

C702



USE AND INTERPRETATION OF DRAWINGS

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01	ISSUED FOR APPROVAL	V.J.	25 NOV 2021
No.	REVISIONS	BY	DATE



NOT AUTHENTIC UNLESS SIGNED AND DATED

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5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: AVENUE 31

DESIGNED BY: V.J. DRAWN BY: M.L. APPROVED BY: V.J.

PROJECT: INDUSTRIAL PARK
6160 THUNDER RD
OTTAWA, ON

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO: 200578
DATE: NOVEMBER 2020
C901