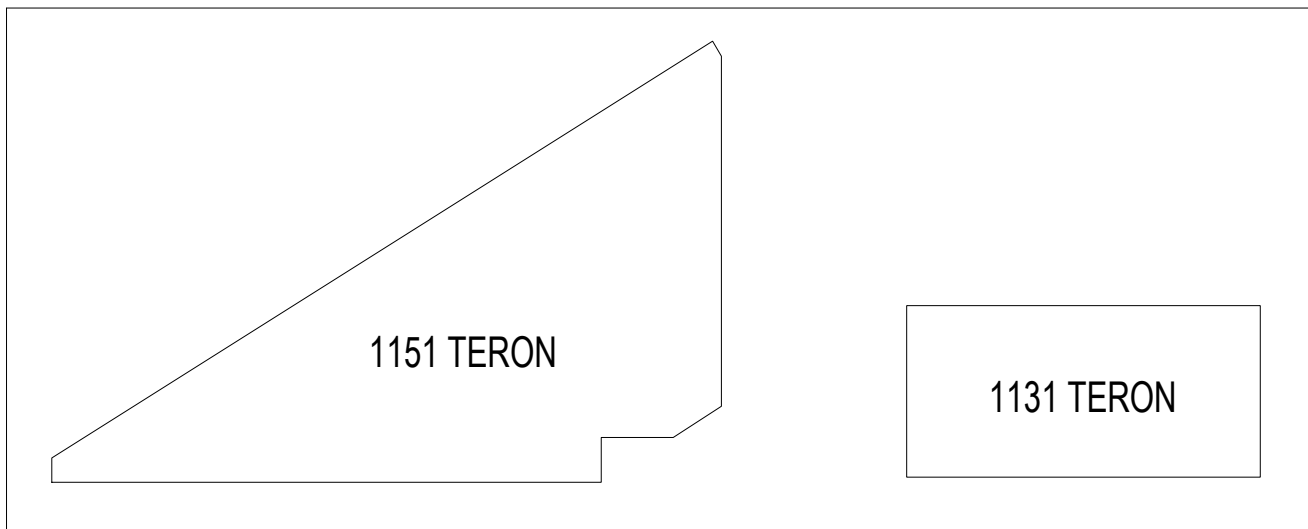


4 LOCATION PLAN
SP-01 SCALE: 1:1



2 REFERENCE PLAN
SP-01 SCALE: 1:1

SITE PLAN SYMBOLS LEGEND	
	BUILDING ENTRANCE
	BUILDING EXIT
	BICYCLE PARKING
	AMENITY AREAS

SYMBOLS LEGEND
SCALE: NTS

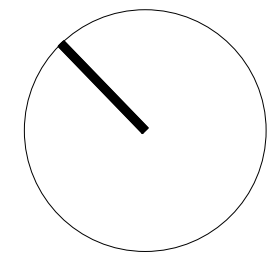
- | | |
|----|--|
| 1 | MONOLITHIC CONCRETE WITH SAW CUT PATTERN |
| 2 | PAVERS |
| 3 | STONE DUST PATH |
| 4 | ASPHALT DRIVE AISLE |
| 5 | PAINTED ASPHALT |
| 6 | SOFT LANDSCAPING |
| 7 | PLANTING BED |
| 8 | BIOSWALE |
| 9 | WALKWAY OVER BIOSWALE |
| 10 | WHEEL STOP |
| 11 | DEPRESSED CURB |
| 12 | "NO LEFT TURN" SIGN |
| 13 | OUTLINE OF P1 BELOW |
| 14 | RETAINING WALL |
| 15 | SOLID FENCE |
| 16 | SIAMISE CONNECTION |

KEYNOTE LEGEND
SCALE: N.T.S.

GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

12	RE-ISSUED FOR SITE PLAN CONTROL	21-10-20
11	ISSUED FOR COORDINATION	21-10-12
10	ISSUED FOR COORDINATION	21-10-04
9	ISSUED FOR COORDINATION	21-09-13
8	ISSUED FOR COORDINATION	21-08-24
7	ISSUED FOR COORDINATION	21-08-09
6	ISSUED FOR SITE PLAN CONTROL	21-04-30
5	ISSUED FOR SITE PLAN CONTROL	21-04-22
4	ISSUED FOR REVIEW	21-04-16
3	ISSUED FOR COORDINATION	21-04-13
2	ISSUED FOR COORDINATION	21-03-30
1	ISSUED FOR COORDINATION	21-03-22

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
[613.884.9339] | mail@project1studio.ca

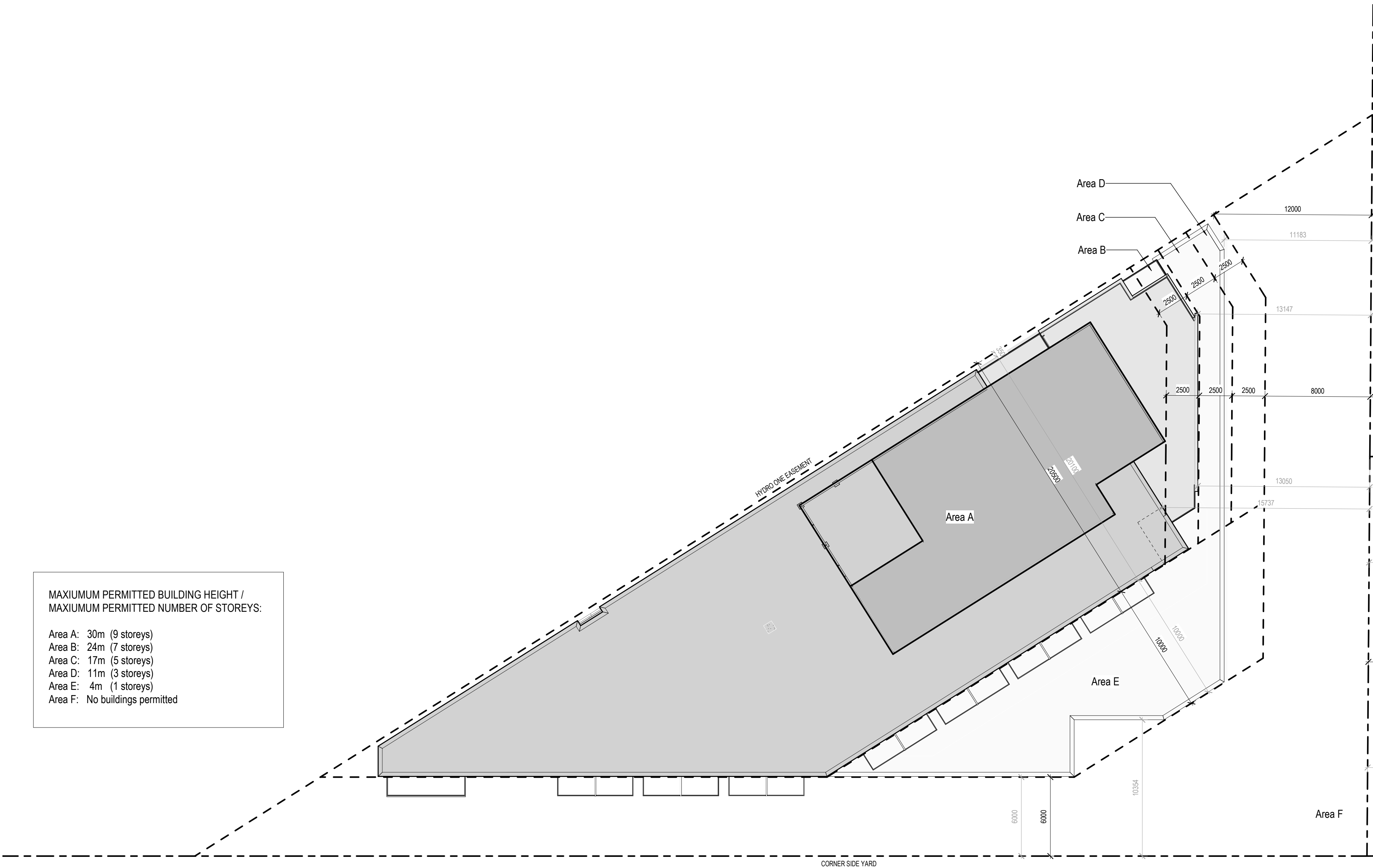
1151 TERON ROAD

1131-1151 Teron Road
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2016	As indicated	AR	CK

SITE PLAN

SP-01



Zoning Mechanism	Required	Provided (1151 Teron)	Provided (1131 Teron)
Maximum Building height <i>Zoning Setback Schedule 131(6)(a)</i>	1151 Teron See <i>Zoning Setback Schedule (SP-02)</i> 1131 Teron 11m	4m (top of Floor 1) 22m (top of Floor 7) 28m (top of Floor 9)	9m
Minimum Width of Private Way <i>107(1)(a)(iii)</i>	6.7m	6.7m	6.7m
Min. Setback of any wall from a private way <i>Table 131(2)</i>	1.8m	1.8m	9.5m
Min. Setback for garage from private way <i>Table 131(3)</i>	5.2m	-	34m
Min. Separation between buildings <i>Table 131(4)(b)</i>	3m	17.8m	-
Width of private way with parallel visitor parking <i>Table 131(5)(b)</i>	8.5m	9.3m	-
Minimum Parking Space Rates <i>Area C</i> <i>Table 101(R11-12)</i>	170 Spaces (142 units x 1.2)	77 Spaces on surface 94 Spaces underground	Total: 171 Spaces
Minimum Visitor Parking Rates <i>Table 102(1)</i>	28 Spaces (142 units x 0.2)	28 Spaces on surface	
Small Car Parking Spaces <i>106(3)(a)</i>	Max. 68 Spaces (40% of 170)	31 Spaces underground	

Zoning Mechanism	Required	Provided (1151 Teron)	Provided (1131 Teron)
Accessible Parking Spaces <i>Traffic and Parking By-law 111(2)</i>	3 Spaces	4 Spaces	1 Space
Landscape for Parking Lots <i>Table 110(b)</i>	1.5m – Landscape Buffer 459m ² – Interior Landscaping (Area of Parking Lot: 3061m ² x 15%)	Min. 2.2m– Landscape Buffer >459m ² – Landscaping	1.5m – Landscape Buffer
Bicycle Parking Rates <i>Table 111A(b)(i)</i>	71 Spaces (142 units x 0.5)	67 Spaces + 9 Visitor Spaces	15 Spaces + 5 Visitor Spaces
		Total: 82 + 14 Spaces	
Amenity Area <i>Table 137(3-4)</i>	Total Amenity Area: 852m ² (6m ² x 142 units) Communal Area: 426m ² (Minimum 50% of Total Amenity Area)	Private Amenity Area: 905m ² Communal Area: 1084m ² - 32m ² Lobby - 856m ² Outdoor path - 57m ² L1 Gym - 66m ² L8 Lounge - 74m ² L8 Terrace	Private Amenity Area: 167m ²
		Total Amenity Area: 2156m ²	
Min. Landscaped Area <i>163(9)</i>	4442m ² (30% of 14,807m ² lot area)	6442m ²	416m ²
		Total Landscaped Area: 7028m ²	

1151 TERON

1151 Teron - Gross Building Area (Per Floor)		
Level	Area (SF)	Area (m2)
LEVEL 01	29479 SF	2739 m²
LEVEL 02	16449 SF	1528 m²
LEVEL 03	17173 SF	1595 m²
LEVEL 04	11425 SF	1061 m²
LEVEL 05	11425 SF	1061 m²
LEVEL 06	11425 SF	1061 m²
LEVEL 07	11402 SF	1059 m²
LEVEL 08	11159 SF	1037 m²
LEVEL 09	10367 SF	963 m²
Total Gross Area:	130304 SF	12106 m²

1151 Teron - Gross Leasable Area (Per Floor)		
Level	Area (SF)	Area (m2)
LEVEL 01	13226 SF	1229 m²
LEVEL 02	15373 SF	1428 m²
LEVEL 03	15372 SF	1428 m²
LEVEL 04	10283 SF	955 m²
LEVEL 05	10283 SF	955 m²
LEVEL 06	10283 SF	955 m²
LEVEL 07	10261 SF	953 m²
LEVEL 08	8543 SF	794 m²
LEVEL 09	9287 SF	863 m²
Total Leasable Area:	102912 SF	9561 m²

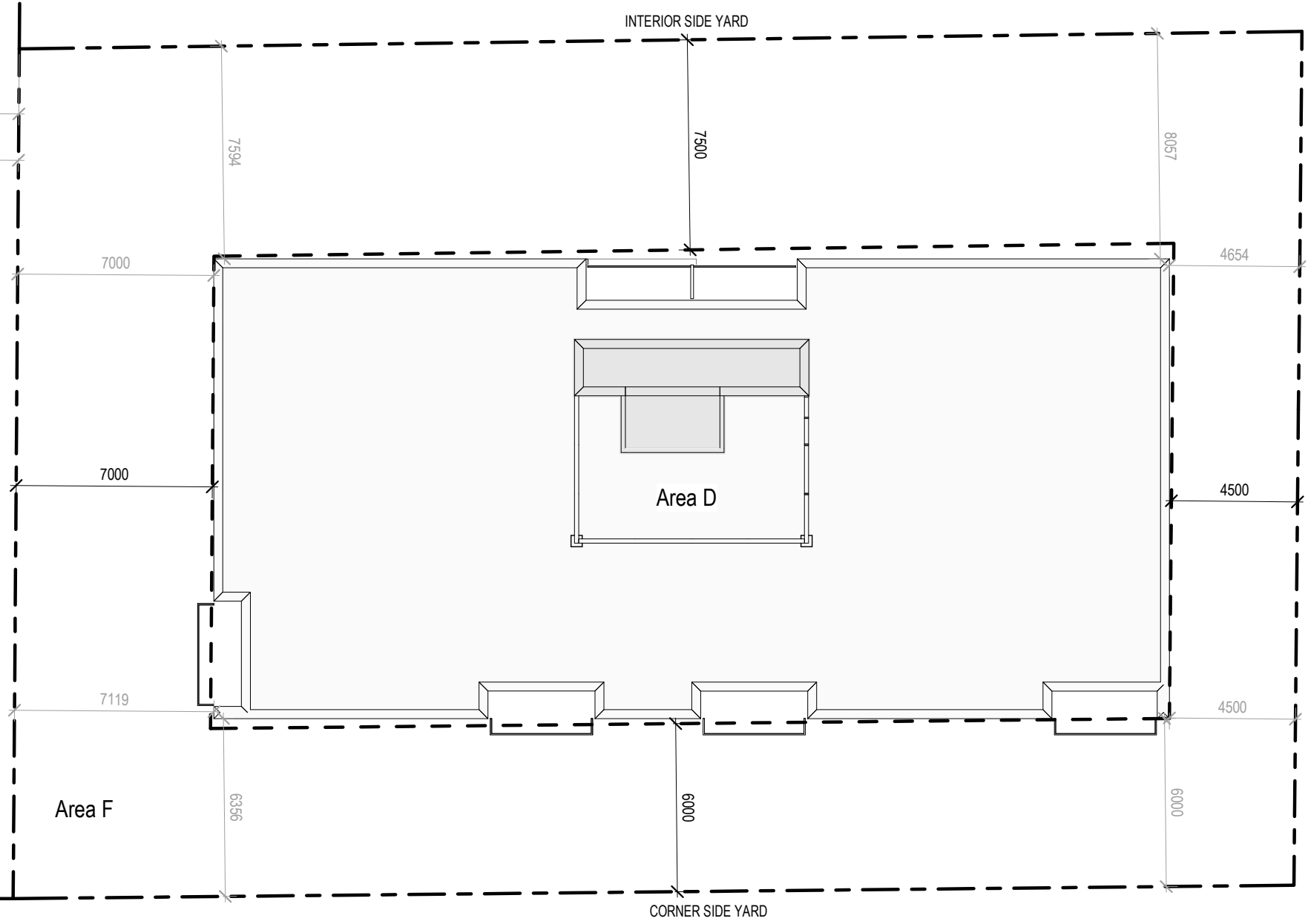
1151 Teron - Unit Breakdown (Per Floor)							
Level	Studio	1 Bedroom	1 Bed + den	2 Bedroom	2 Bed + den	3 Bedroom	Count
LEVEL 01	0	3	0	4	3	0	10
LEVEL 02	1	7	2	4	1	0	15
LEVEL 03	1	7	2	4	1	0	15
LEVEL 04	1	7	2	4	1	0	15
LEVEL 05	1	7	2	4	1	0	15
LEVEL 06	1	7	2	4	1	0	15
LEVEL 07	1	7	2	4	1	0	15
LEVEL 08	1	4	2	4	1	0	12
LEVEL 09	1	4	1	4	1	1	12
Totals:	8	53	15	36	11	1	124
Percentage:	6%	43%	12%	29%	9%	1%	

1131 TERON

1131 Teron - Gross Building Area (Per Floor)		
Level	Area (SF)	Area (m2)
LEVEL 01	5734 SF	533 m²
LEVEL 02	5748 SF	534 m²
LEVEL 03	5748 SF	534 m²
Total Gross Area:	17231 SF	1601 m²

1131 Teron - Gross Leasable Area (Per Floor)		
Level	Area (SF)	Area (m2)
LEVEL 01	4403 SF	409 m²
LEVEL 02	5088 SF	473 m²
LEVEL 03	5088 SF	473 m²
Total Leasable Area:	14580 SF	1354 m²

1131 Teron - Unit Breakdown (Per Floor)				
Level	1 Bedroom	2 Bedroom	2 Bed + den	Count
LEVEL 01	4	1	1	6
LEVEL 02	2	1	3	6
LEVEL 03	2	1	3	6
Totals:	8	3	7	18
Percentage:	44%	17%	38%	

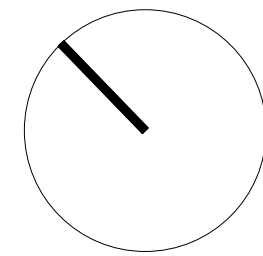


GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

6	RE-ISSUED FOR SITE PLAN CONTROL	21-10-20
5	ISSUED FOR SITE PLAN CONTROL	21-04-30
4	ISSUED FOR SITE PLAN CONTROL	21-04-22
3	ISSUED FOR REVIEW	21-04-16
2	ISSUED FOR COORDINATION	21-03-30
1	ISSUED FOR COORDINATION	21-03-22

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
[613.884.3939 | mail@project1studio.ca]

1151 TERON ROAD

1131-1151 Teron Road
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2016	As indicated	AR	CK

PROJECT STATISTICS AND
ZONING INFORMATION

SP-02