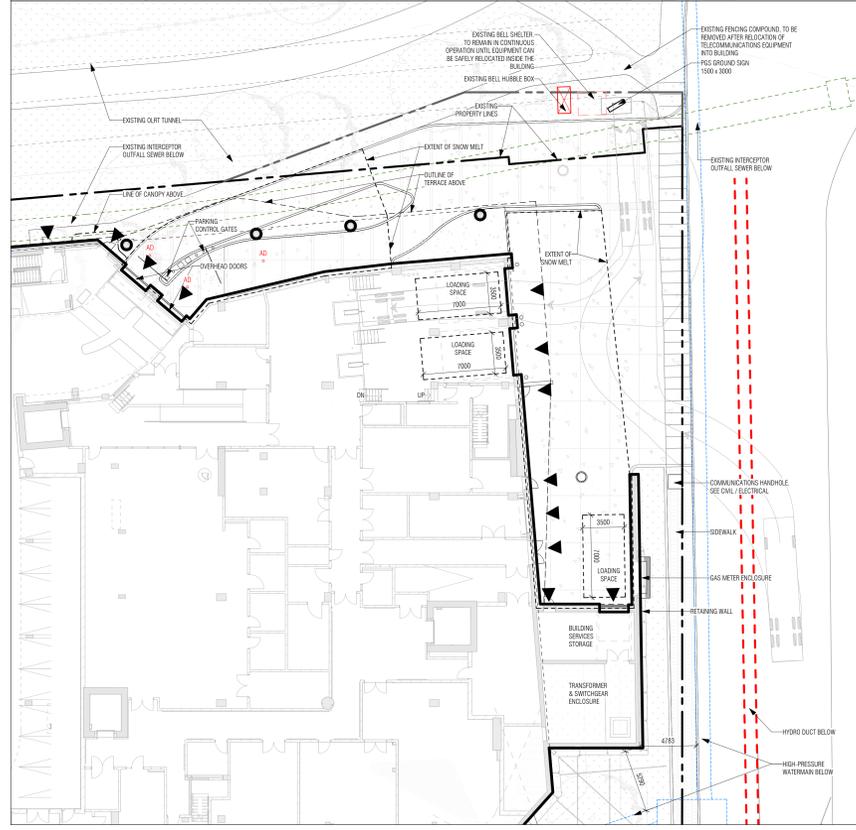


ISSUED

No.	Date	Issued For	Description
0	2020-05-28	ISSUED FOR CD 30%	
1	2020-09-29	ISSUED FOR CD 50%	
2	2020-10-09	ISSUED FOR CD FOR ADDENDUM 11	
3	2020-11-16	RE-ISSUED FOR SITE PLAN CONTROL	
4	2021-01-18	ISSUED FOR CD 90%	
5	2021-02-26	ISSUED FOR COORDINATION	
6	2021-03-19	ISSUED FOR REVIEW	
7	2021-03-23	ISSUED FOR BUILDING PERMIT	
8	2021-04-09	ISSUED FOR CONSULTANT COORDINATION	
9	2021-05-11	ISSUED FOR TENDER	
10	2021-05-11	ISSUED FOR BUILDING PERMIT UPDATE	
11	2021-08-23	ISSUED FOR ADDENDUM NO. 4	
12	2021-08-18	ISSUED FOR ADDENDUM NO. 17	



SITE PLAN
A010 1:200

DJ

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Douglas James at 11:39 am, Oct 28, 2021

Project Zoning Review/Statistics

Municipality: City of Ottawa
Municipal Address: 355 Albert Street
Registered Owner: City of Ottawa
Lot Area: 9,543 m² (2.39 acres)

Zoning Analysis
Ottawa: 2008-250
Zone: M2 (H40)
Proposed Use: Library / Parking Facility

Building Areas	Gross Floor Area (m ²) (By use Zoning By-law, Section 41)
Level P2 - Parking	1,885
Level P1 - Parking	2,450
Level 1	76
Level 2	2,212
Level 3	2,275
Level 4	2,227
Level 5	3,827
Level 5 Mezzanine	
Grand Total	13,826



SURVEY INFORMATION:
STRATA PLAN OF SURVEY OF
LOTS A, B, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 AND 18
PART OF LOT 6
IN BLOCK 'L'
PART OF WELLINGTON STREET
CLOSED BY NOT S. 11734178 AND DC1453912
REGISTERED PLAN 2
CITY OF OTTAWA
SURVEY PREPARED BY STATISTIC GEOMETRICS LTD., DATED NOVEMBER 14, 2019

Development Standards	Required	Provided
Minimum Lot Area	No min.	9,543 m ²
Minimum Lot Width	No min.	179.9m
Minimum Required Yard		
Front Yard (min.)	No min.	0 to < 2.03m Aerial Encroachment @ Albert St. R.O.W.
Corner Side Yard (min.)	No min.	11.9m
Interior Side Yard (min.)	No min.	44.3m
Rear Yard (min.)	No min.	7.65m
Maximum Building Height	40m	28.69m

Parking / Loading / Counting Area 2, Schedule 1A

Within the area shown as Area 2 on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section. (By-Law 2016-249)

Parking Provided (below grade)	P1		P2		Totals
	Level	Level	Level	Level	
Standard Spaces (2.4m x 5.2m)	39	119	158		197
EV Parking Spaces	3	3	6		6
Reduced Spaces (2.4m x 3.7)	1	5	6		6
Reduced Spaces (2.4m x 4.8m)	4	8	12		12
Accessible Type A	3	-	3		3
Accessible Type B	3	4	7		7
Total Provided:	53	139	192		192
Required Spaces:	78				96

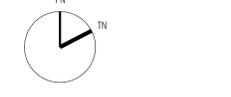
Bicycle Parking

Required: Library (1,500 m²)

Provided:	Totals	
	Exterior	Interior
Horizontal Spaces	62	62
Vertical Spaces	21	21
Total Provided:	83	

Required: 2 (Rate 1150)
Provided: 3

Diamond Schmitt Architects
KWC Architects Inc.
Architects in Joint Venture for the OPLAC Joint Facility
384 Adelaide Street West, Suite 100, Toronto, Canada M5H1R7
Tel: 416 862 8800 Fax: 416 862 5508 info@dsai.ca www.dsai.ca



OTTAWA PUBLIC LIBRARY - LIBRARY AND ARCHIVES CANADA JOINT FACILITY

555 Albert St. Ottawa, ON, K1R 7X3

SITE PLAN

Scale: 1:200
Project No.: 1855
Date: