

CONTRACTOR MUST CHECK A VERY RARE ALL DIMENSIONS ON THE JOB.

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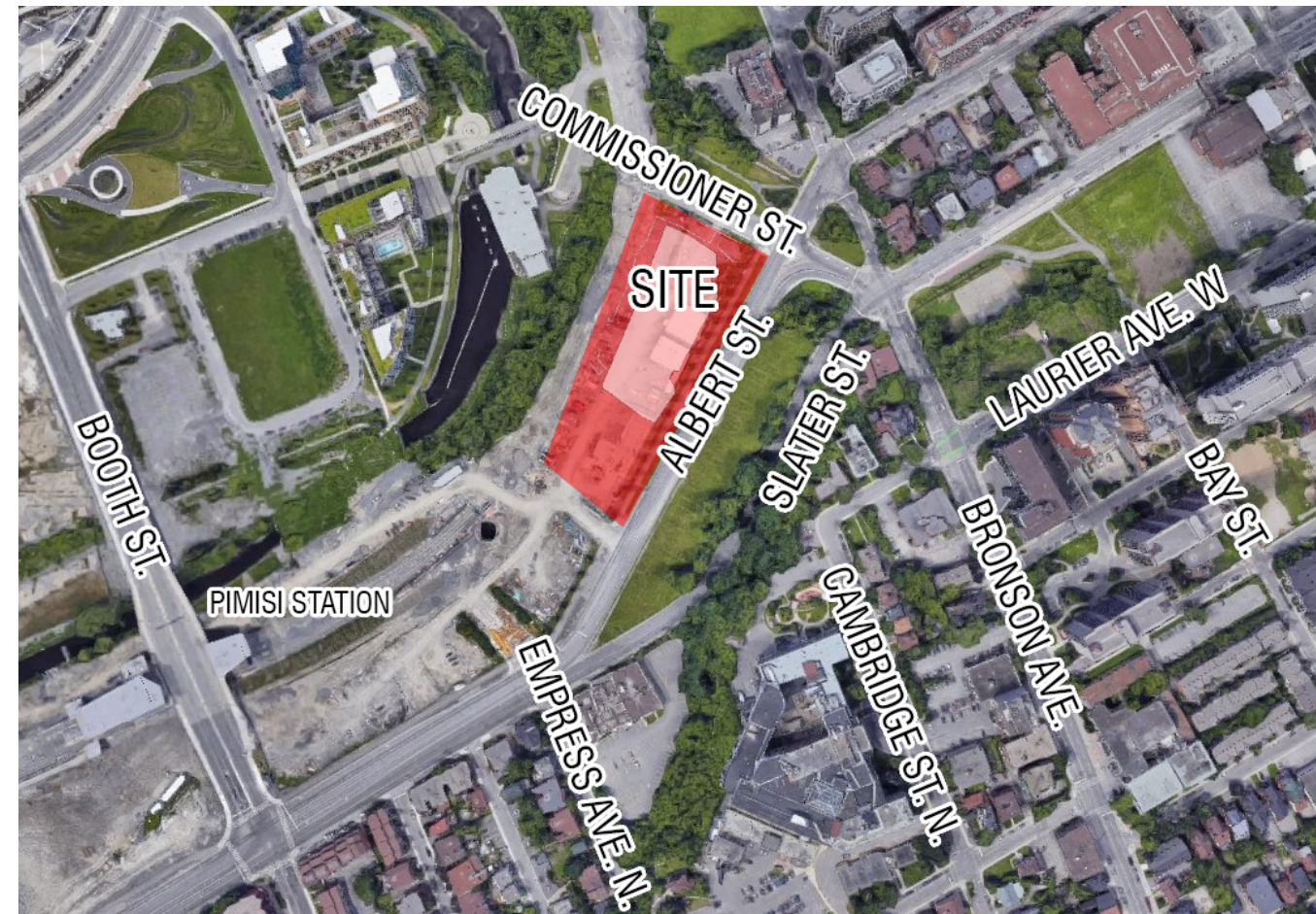
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No.	Date	Description
0	2020-05-28	ISSUED FOR CD 30%
1	2020-08-29	ISSUED FOR CD 60%
2	2020-10-06	ISSUED FOR CD 90% (ACADEMISM 1)
3	2020-11-16	RE-ISSUED FOR SITE PLAN COORDINATION
4	2021-01-18	ISSUED FOR CD 90%
5	2021-02-26	ISSUED FOR COORDINATION
6	2021-03-19	ISSUED FOR REVIEW
7	2021-03-23	ISSUED FOR BUILDING PERMIT
8	2021-04-09	ISSUED FOR CONSULTANT COORDINATION
9	2021-05-11	ISSUED FOR TENDER
10	2021-05-11	ISSUED FOR BUILDING PERMIT UPDATE
11	2021-06-23	ISSUED FOR ADDENDUM NO. 4
12	2021-08-18	ISSUED FOR ADDENDUM NO. 17

Project Zoning Review/Statistics	
Municipality:	City of Ottawa
Municipal Address:	550 Albert Street
Registered Owner:	City of Ottawa
Lot Area:	9,543 m ² (2.39 acres)
Zoning Analysis	
Ottawa	
Zoning By-law:	2006-250
Zone:	MD(H40)
Proposed Use:	Library / Parking Facility
Building Areas	
	Gross Floor Area (m ²) (as per Zoning By-Law, Section 1.6)
Level P2 - Parking	
Level P1 - Parking	1.66
Level 1	2.45
Level 1 Mezzanine	1
Level 2	2.71
Level 3	2.71
Level 4	2.75
Level 5	1.58
Level 5 Mezzanine	
Grand Total	13.63

Development Standards		Required	Provided
Minimum Lot Area	No min.	9,543 m ²	
Minimum Lot Width	No min.	178.9m	
Minimum Required Yard			
Front Yard (min.)	No min.	0 to 2.63m	Aerial Encroachment @ Albert St. R.O.W
Corner Side Yard (min.)	No min.	11.9m	
Interior Side Yard (min.)	No min.	44.3m	
Rear Yard (min.)	No min.	7.65m	
Maximum Building Height	40m	26.68m	

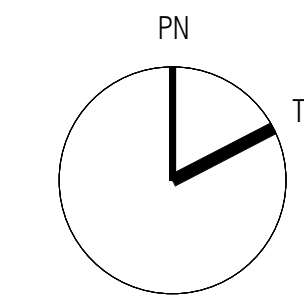
Parking, Loading, Queuing		Area 2, Schedule 1A	
Parking Spaces			
Within the area shown as Area 2 on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section. (By-Law 2016-245)			
Parking Provided: (vehicle grade)			
	P1 Level	P2 Level	Totals
Standard Spaces (2.0m x 5.2m)	39	119	158
EV Parking Spaces	3	3	6
Reduced Spaces (2.4m x 5.2)	1	5	6
Reduced Spaces (2.0m x 4.6m)	4	8	12
Accessible Type A	3	3	3
Accessible Type B	3	4	7
Total Provided:	57	139	192
Reduced Spaces:	10	=	9%
Bicycle Parking			
Required: Library (1 / 500 m ²)			27 (Area 1/Zone)
Provided:	Exterior	Interior	Totals
Horizontal Spaces	62	—	62
Vertical Spaces	—	21	21
Total Provided:			83
Loading Spaces (3.0m x 7.0m)		Required:	2 (Area 1/Zone)
		Provided:	3



SURVEY INFORMATION:
STRATA PLAN OF SURVEY of
LOTS A, B, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 AND 18
PART OF LOT 6
IN BLOCK "L"
PART OF WELLINGTON STREET
(CLOSED BY INST. S L71243128 AND OC1457912)
REGISTERED PLAN 2
CITY OF OTTAWA

SURVEY PREPARED BY STANTEC GEOMATICS LTD., DATED NOVEMBER 14, 2019

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SITE PLAN

Scale: 1:200
Project No: 1855
Date: