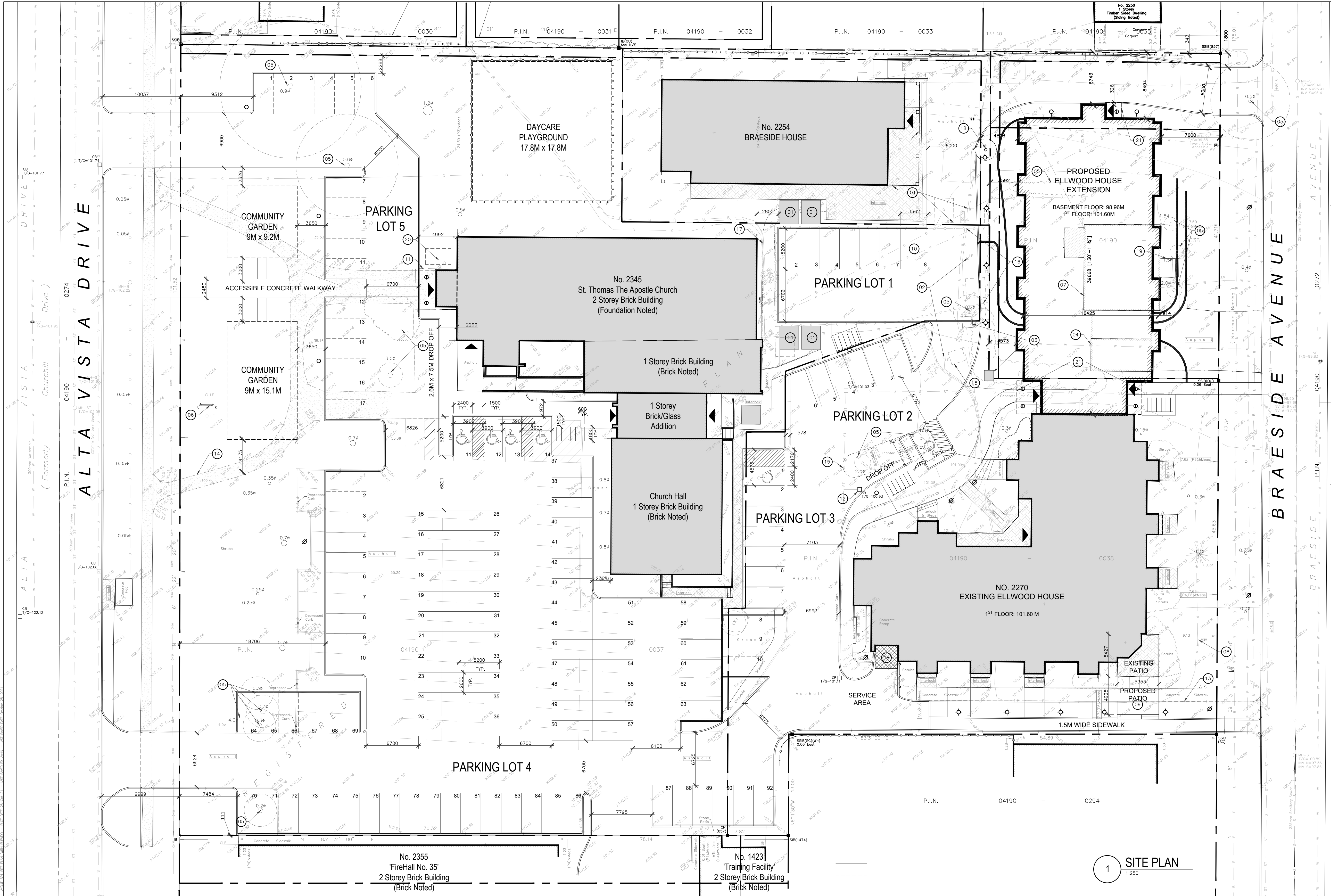




DRAWING LEGEND:

	EXISTING CONSTRUCTION
	EXISTING FENCE
	TREES TO BE REMOVED
	NEW 1.8M HIGH FENCE
	RETAINING WALL
	BIKE RACKS

DRAWING NOTES:

(1) EXISTING SHEDS TO BE RELOCATED	(15) EXISTING CONCRETE SIDEWALK TO BE REMOVED
(2) RELOCATE LIGHT POLES	(14) EXISTING WALKWAY TO BE REMOVED
(3) RELOCATE HYDRO TRANSFORMER	(15) EXISTING PLANTER TO BE REMOVED
(4) EXISTING RECTORY TO BE DEMOLISHED	(16) EXISTING CHAIN LINK FENCE TO BE REMOVED
(5) REMOVE EXISTING TREES	(17) EXISTING CONCRETE RETAINING WALL TO BE REMOVED
(6) EXISTING SIGNS	(18) EXISTING FIRE HYDRANT
(7) EXISTING HOME TO BE DEMOLISHED	(19) EXISTING CONCRETE PORCH AND STEPS TO BE REMOVED
(8) POSSIBLE GARBAGE ROOM EXTENSION	(20) LOCATION OF MEMORIAL
(9) PATIO EXTENSION	(21) LINE OF NEW CANOPY ABOVE
(10) VAN PARKING	
(11) REMOVE PART OF EXISTING CANOPY	
(12) EXISTING CATCH BASIN	

SITE LIGHTING NOTES:

1. ONLY FIXTURES THAT MEET THE CRITERIA FOR FULL CUT-OFF (SHARP CUT-OFF) CLASSIFICATION, AS RECOGNIZED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA OR IES), AND;

2. IT MUST RESULT IN MINIMAL LIGHT SPILLAGE ONTO ADJACENT PROPERTIES. AS A GUIDELINE, 0.5 FC IS NORMALLY THE MAXIMUM ALLOWABLE SPILLAGE.

LIGHTING LEGEND:

	EXISTING LIGHTING
	LIGHTING STANDARD
	WALL MOUNTED LIGHTING
	SOFFIT LIGHTING
	PEDESTAL LIGHTING

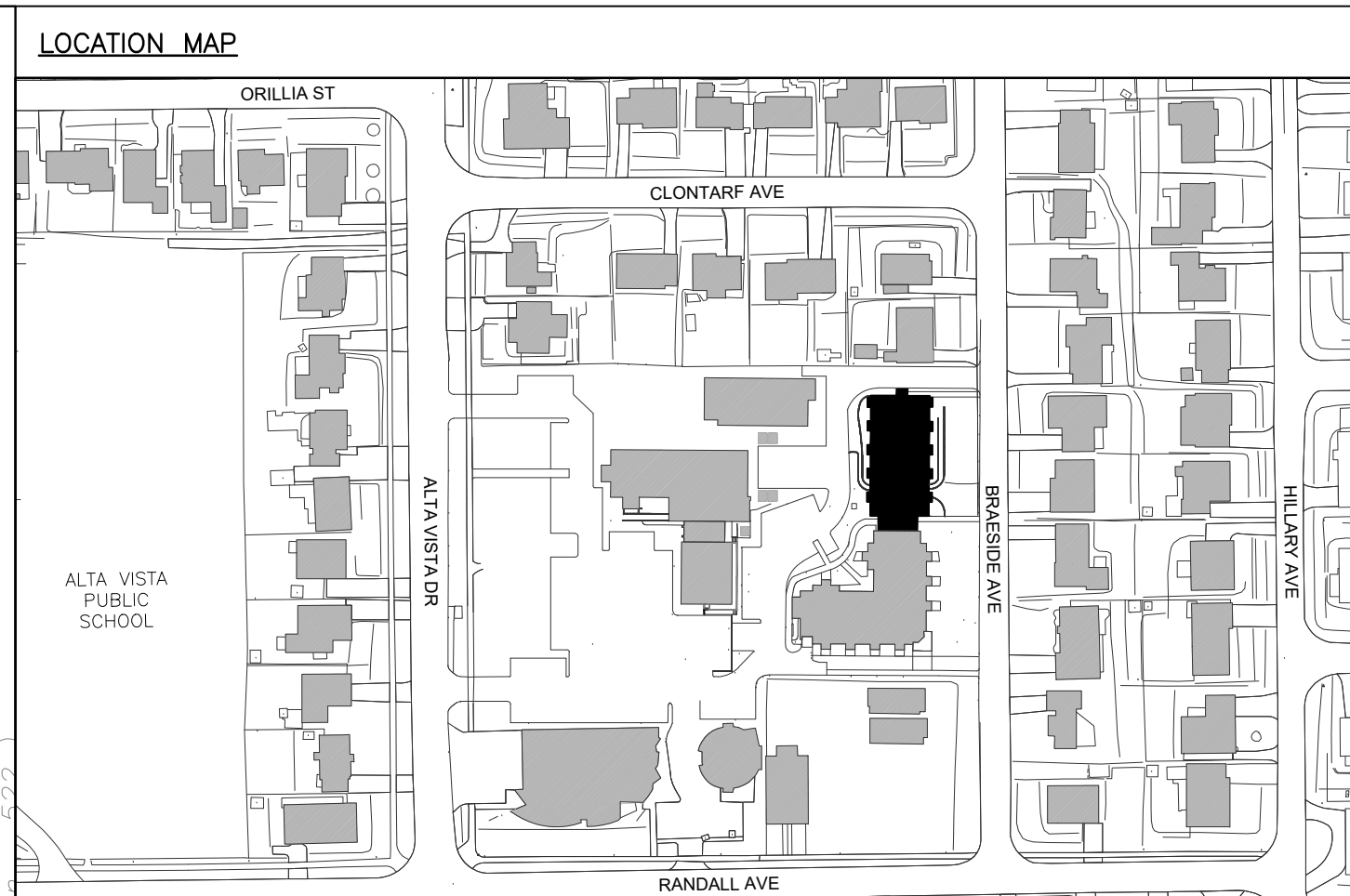
PARKING LOT LANDSCAPE:

AREA OF PARKING LOT 1+2+3: 1,909 M²
LANDSCAPED AREA: 651 M² (34.10%)

AREA OF PARKING LOT 4+5: 5,120 M²
LANDSCAPED AREA: 1,929 M² (37.68%)

DESIGNATION:

	PARKING LOT
	LANDSCAPED AREA



DEVELOPMENT INFORMATION:

ZONING:
11A (1485)

UNITS:
28x TYPE A
1 BDRM UNIT
(NET) 47.26 M² / 508.7 FT²

6x TYPE B
1 BDRM BARRIER FREE
(NET) 47.28 M² / 508.9 FT²

4x TYPE C
1 BDRM
(NET) 44.6 M² / 479.9 FT²

38 IN TOTAL

BUILDING FOOTPRINT AREA:
630.5 M² / 6,787 FT²

BUILDING GROSS AREA:
(INCLUDING BASEMENT)
2,459 M² / 26,476 FT² (NET)

COMMON AREAS (GFA)
479 M² / 5,156 FT² (NET)

EFFICIENCY:
80%

PARKING INFORMATION:

NUMBER OF PARKING SPACES AT 2.6M x 5.2M:
REQUIRED: 130
PROVIDED: 134 (6 BARRIER FREE)

LINE DENOTES:

----- EXISTING PARKING SPACES: 104
----- PROPOSED PARKING SPACES: 30

NUMBER OF BICYCLE PARKING AT 0.6M x 1.8M:
REQUIRED: 21
PROVIDED: 21

OUTDOOR AMENITY AREAS:

REQUIRED MIN. TOTAL AMENITY: 228 M²
PROPOSED AMENITY AREAS:
COMMUNITY GARDENS: 218.7 M²
EXISTING PATIO: 20.87 M²
PROPOSED PATIO: 25.95 M²
IN TOTAL: 265.52 M²

PERCENTAGE OF TOTAL SITE OCCUPIED BY VEGETATION AND LANDSCAPING:
41%

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWING. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.

02	OCT 13/21	REVISED FOR SPA
01	SEP 21/21	APPROVED CONCEPT SITE PLAN
NO.	DATE	DESCRIPTION

COLIZZA BRUNI
architecture

76 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9
T 613.236.2944 • F 613.236.6777 • www.colizzabruni.com

PROJECT NAME

ELLWOOD HOUSE
EXTENSION

OTTAWA, ON

DRAWING TITLE

SITE PLAN

SCALE
AS NOTED

DRAWN BY

DATE
10/25/21

PROJECT NO.
001-16

DRAWING NO.

SP1