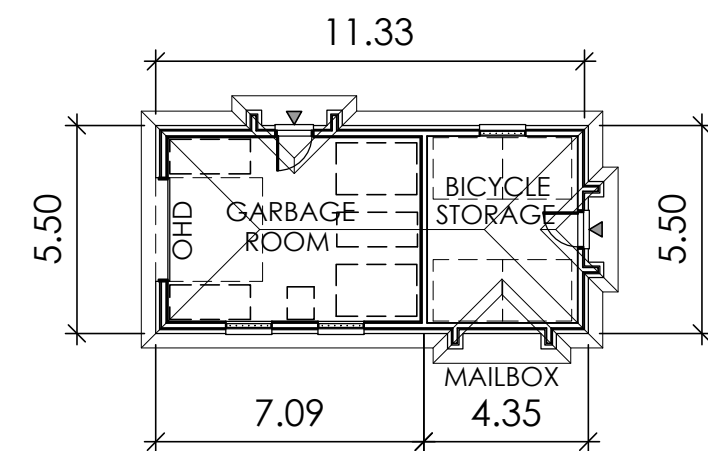
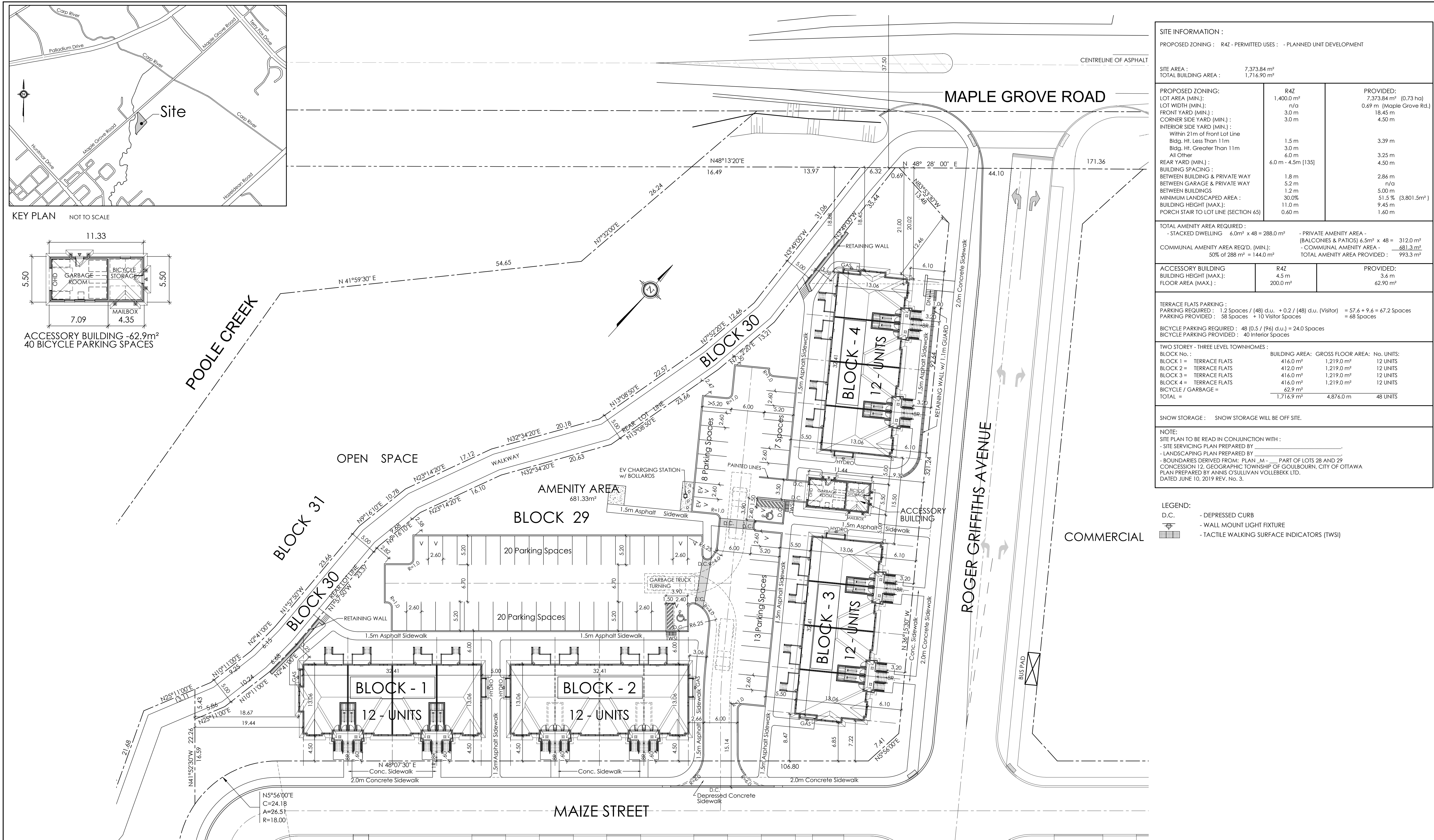


KEY PLAN NOT TO SCALE



ACCESSORY BUILDING - 62.9m<sup>2</sup>  
40 BICYCLE PARKING SPACES



**SITE INFORMATION :**

PROPOSED ZONING : R4Z - PERMITTED USES : - PLANNED UNIT DEVELOPMENT

SITE AREA :	7,373.84 m <sup>2</sup>	PROVIDED:	7,373.84 m <sup>2</sup> (0.73 ha)
TOTAL BUILDING AREA :	1,716.90 m <sup>2</sup>	LOT AREA (MIN.):	n/a
PROPOSED ZONING:	R4Z	FRONT YARD (MIN.):	3.0 m
LOT AREA (MIN.):	1,400.0 m <sup>2</sup>	CORNER SIDE YARD (MIN.):	3.0 m
LOT WIDTH (MIN.):	n/a	INTERIOR SIDE YARD (MIN.):	4.50 m
FRONT YARD (MIN.):	3.0 m	Within 21m of Front Lot Line	
CORNER SIDE YARD (MIN.):	3.0 m	Bldg. Ht. Less Than 11m	1.5 m
INTERIOR SIDE YARD (MIN.):		Bldg. Ht. Greater Than 11m	3.0 m
Within 21m of Front Lot Line		All Other	3.25 m
Bldg. Ht. Less Than 11m	1.5 m	REAR YARD (MIN.):	4.50 m
Bldg. Ht. Greater Than 11m	3.0 m	BUILDING SPACING :	
All Other	3.0 m	BETWEEN BUILDING & PRIVATE WAY	1.8 m
REAR YARD (MIN.):	6.0 m - 4.5m [135]	BETWEEN GARAGE & PRIVATE WAY	5.2 m
BUILDING SPACING :		BETWEEN BUILDINGS	1.2 m
BETWEEN BUILDING & PRIVATE WAY	1.8 m	MINIMUM LANDSCAPED AREA :	30.0%
BETWEEN GARAGE & PRIVATE WAY	5.2 m	BUILDING HEIGHT (MAX.):	11.0 m
BETWEEN BUILDINGS	1.2 m	PORCH STAIR TO LOT LINE (SECTION 65)	0.60 m
MINIMUM LANDSCAPED AREA :	30.0%	TOTAL AMENITY AREA REQUIRED :	
BUILDING HEIGHT (MAX.):	11.0 m	- STACKED DWELLING 6.0m <sup>2</sup> x 48 = 288.0 m <sup>2</sup>	- PRIVATE AMENITY AREA -
PORCH STAIR TO LOT LINE (SECTION 65)	0.60 m		(BALCONIES & PATIOS) 6.5m <sup>2</sup> x 48 = 312.0 m <sup>2</sup>
TOTAL AMENITY AREA REQUIRED :		COMMUNAL AMENITY AREA REQ'D. (MIN.):	50% of 288 m <sup>2</sup> = 144.0 m <sup>2</sup>
- STACKED DWELLING 6.0m <sup>2</sup> x 48 = 288.0 m <sup>2</sup>			TOTAL AMENITY AREA PROVIDED : 993.3 m <sup>2</sup>
- PRIVATE AMENITY AREA -		ACCESSORY BUILDING	R4Z
(BALCONIES & PATIOS) 6.5m <sup>2</sup> x 48 = 312.0 m <sup>2</sup>		BUILDING HEIGHT (MAX.):	4.5 m
COMMUNAL AMENITY AREA REQ'D. (MIN.):		FLOOR AREA (MAX.):	200.0 m <sup>2</sup>
50% of 288 m <sup>2</sup> = 144.0 m <sup>2</sup>		PROVIDED:	3.6 m
TOTAL AMENITY AREA PROVIDED : 993.3 m <sup>2</sup>			62.90 m <sup>2</sup>
ACCESSORY BUILDING	R4Z	TERRACE FLATS PARKING :	
BUILDING HEIGHT (MAX.):	4.5 m	PARKING REQUIRED :	1.2 Spaces / (48) d.u. + 0.2 / (48) d.u. (Visitor) = 57.6 + 9.6 = 67.2 Spaces
FLOOR AREA (MAX.):	200.0 m <sup>2</sup>	PARKING PROVIDED :	58 Spaces + 10 Visitor Spaces = 68 Spaces
PROVIDED:	3.6 m	BICYCLE PARKING REQUIRED :	48 (0.5 / (96) d.u.) = 24.0 Spaces
62.90 m <sup>2</sup>		BICYCLE PARKING PROVIDED :	40 Interior Spaces
		TWO STOREY - THREE LEVEL TOWNHOMES :	
TERRACE FLATS PARKING :		BLOCK No. :	
PARKING REQUIRED :	1.2 Spaces / (48) d.u. + 0.2 / (48) d.u. (Visitor) = 57.6 + 9.6 = 67.2 Spaces	BLOCK 1 = TERRACE FLATS	BUILDING AREA: 416.0 m <sup>2</sup> GROSS FLOOR AREA: 1,219.0 m <sup>2</sup> No. UNITS: 12 UNITS
PARKING PROVIDED :	58 Spaces + 10 Visitor Spaces = 68 Spaces	BLOCK 2 = TERRACE FLATS	416.0 m <sup>2</sup> 1,219.0 m <sup>2</sup> 12 UNITS
BICYCLE PARKING REQUIRED :	48 (0.5 / (96) d.u.) = 24.0 Spaces	BLOCK 3 = TERRACE FLATS	416.0 m <sup>2</sup> 1,219.0 m <sup>2</sup> 12 UNITS
BICYCLE PARKING PROVIDED :	40 Interior Spaces	BLOCK 4 = TERRACE FLATS	416.0 m <sup>2</sup> 1,219.0 m <sup>2</sup> 12 UNITS
		BICYCLE / GARBAGE =	62.9 m <sup>2</sup>
		TOTAL =	1,716.9 m <sup>2</sup> 4,876.0 m 48 UNITS
		SNOW STORAGE :	SNOW STORAGE WILL BE OFF SITE.
		NOTE:	
		SITE PLAN TO BE READ IN CONJUNCTION WITH :	
		- SITE SERVICING PLAN PREPARED BY :	
		- LANDSCAPING PLAN PREPARED BY :	
		- BOUNDARIES DERIVED FROM: PLAN "M - " PART OF LOTS 28 AND 29	
		CONCESSION 12, GEOGRAPHIC TOWNSHIP OF GOULBOURN, CITY OF OTTAWA	
		PLAN PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD.	
		DATED JUNE 10, 2019 REV. No. 3.	

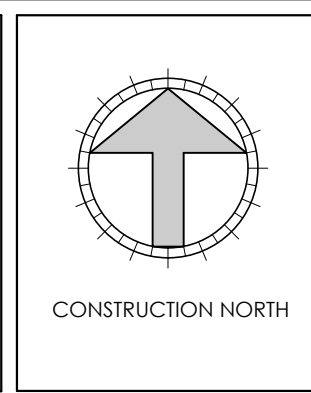
**LEGEND:**

- D.C. - DEPRESSED CURB
- [Symbol] - WALL MOUNT LIGHT FIXTURE
- [Symbol] - TACTILE WALKING SURFACE INDICATORS (TWSI)

**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
- THIS REPRODUCTION SHALL NOT BE ALTERED

**M. David Blakely Architect Inc.**  
2200 Prince of Wales Dr., Suite 101  
Ottawa, Ontario K2E 6Z9  
Phone (613) 226-8811 Fax (613) 226-7942



SEAL

No.	DATE	DESCRIPTION	INIT.
10.	12/07/21	REV. SIDEWALK @ ENTRANCE	SM
9.	18/06/21	AS PER CITY COMMENTS	SM
8.	17/03/21	RELOCATED BLKS. 3, 4 & SIDEWALK	SM
7.	09/02/21	ACCESSORY BLDG. DETAIL ADDED	SM
6.	22/01/21	RELOCATED BLOCKS 3 & 4, 0.5m WEST	SM
5.	07/12/20	REVISED AS PER RICHCRAFT	SM
4.	05/11/20	REVISED AS PER RICHCRAFT	SM
3.	10/09/20	GATEWAY FEATURE ADDED	SM
2.	31/08/20	FOR REVIEW	SM
1.	26/05/20	FOR REVIEW	SM

No.	DATE	DESCRIPTION	INIT.
20.			
19.			
18.			
17.			
16.			
15.			
14.			
13.			
12.	07/10/21	REV. BLOCKS 1, 3 & 4 - END ELEVATION	SM
11.	23/07/21	REVISED SIDEWALKS & CURBS	SM

PROJECT: **BLOCK 29, KANATA WEST PLANNED UNIT DEVELOPMENT OTTAWA, ONT.**

CLIENT: **RICHCRAFT Group Of Companies**

DRAWING TITLE: **SITE PLAN**  
1620 MAPLE GROVE ROAD

DATE: **MAY., 2020.** SCALE: **1:300** SHEET No.: **SP-1**

DRAWN BY: **SBM** CHECKED: **MDB**

D07-12-21-0042