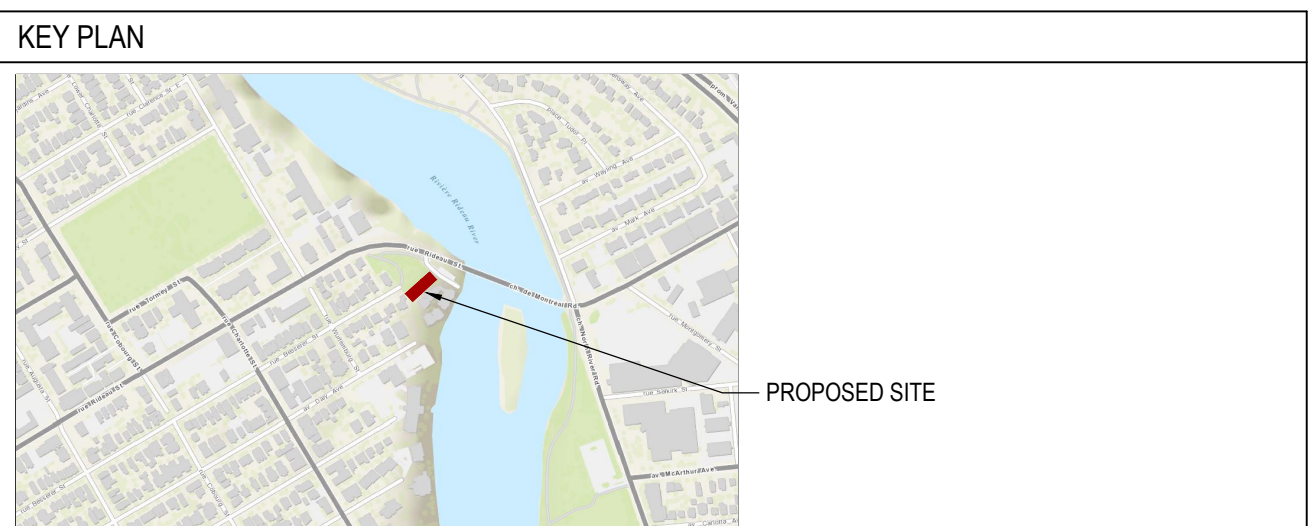


ZONING TABLE	2008 - 250 - R5B H(19) (2637)	
CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	540m ²	715.9m ²
MINIMUM LOT WIDTH	13.9m	13.9m
MINIMUM FRONT YARD SETBACK	0.29 m	1.85m 290mm AT GARAGE (NE CORNER)
MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m for a distance of 30 m from the front lot line, after which the southern interior side yard setback is a minimum of 3.4 m for a distance of 4.6 m, after which the southern interior side yard setback is a minimum of 5.9 m	North side - 0.9m South side - 1.5m
MINIMUM REAR YARD SETBACK	13.5m	14m
MAXIMUM BUILDING HEIGHT	14.5m (LOW-RISE APARTMENT)	10m
MAXIMUM FLOOR SPACE INDEX	N/A	
LANDSCAPED AREA	30% = 214.8m ²	44.8 % = 321 m ²
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 2 spaces	2 SPACES TOTAL
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 0 SPACES REQUIRED	0 SPACES
AMENITY AREA REQUIREMENTS	129m ² (Communal Amenity = 65 m ² w/ 25% soft landscaping (16.25 m ²))	87 m ² REAR YARD AMENITY (Communal) (27% soft landscaping = 17.7 m ²) 45 m ² BALCONIES Total = 132 m ²
BICYCLE PARKING SPACES	0.5 per dwelling unit = 8	10 (8 Interior stacked + 2 exterior)



PROPERTY DESCRIPTION

TCU - THREE STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	042070051
MUNICIPAL ADDRESS	244 FOUNTAIN PLACE

SITE INFORMATION

LOT AREA:	716m ²
LOT FRONTAGE:	15.68m
LOT DEPTH:	52.2m

BUILDING INFORMATION

BUILDING AREA:	340m ²
BUILDING FLOOR AREA:	1,359m ²
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE
UNIT BREAKDOWN:	
BASEMENT:	3 UNITS 1-STUDIO, 1-1 BD, 1-2 BD
FIRST FLOOR:	4 UNITS 1-1 BD, 3-2 BD
SECOND FLOOR:	5 UNITS 2-STUDIO, 1-1 BD, 2-2 BD
THIRD FLOOR:	4 UNITS 1-1 BD, 3-2 BD
TOTAL:	16 UNITS 3-STUDIO, 4-1 BD, 9-2 BD

LEGEND

- LANDSCAPED AREA REFER TO LANDSCAPE
- RIVERSTONE REFER TO LANDSCAPE
- UNIT PAVERS
- ASPHALT PAVING
- CONCRETE
- FIRE ROUTE
- NEW METAL FENCE
- NEW SCREEN FENCE
- NEW BOARD FENCE
- LOT LINE
- SETBACK LINE
- DESIGNATED BUILDING ENTRANCE / EXIT
- FIRE HYDRANT. REFER TO CIVIL
- CATCH BASIN
- MANHOLE
- FLOOR DRAIN
- ELECTRICAL POST
- LIGHT STANDARD
- DEPRESSED CURB
- EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
- NEW TREE (REFER TO LANDSCAPE DRAWINGS)
- NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
- EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
- PROPOSED GROUND ELEVATION. REFER TO CIVIL

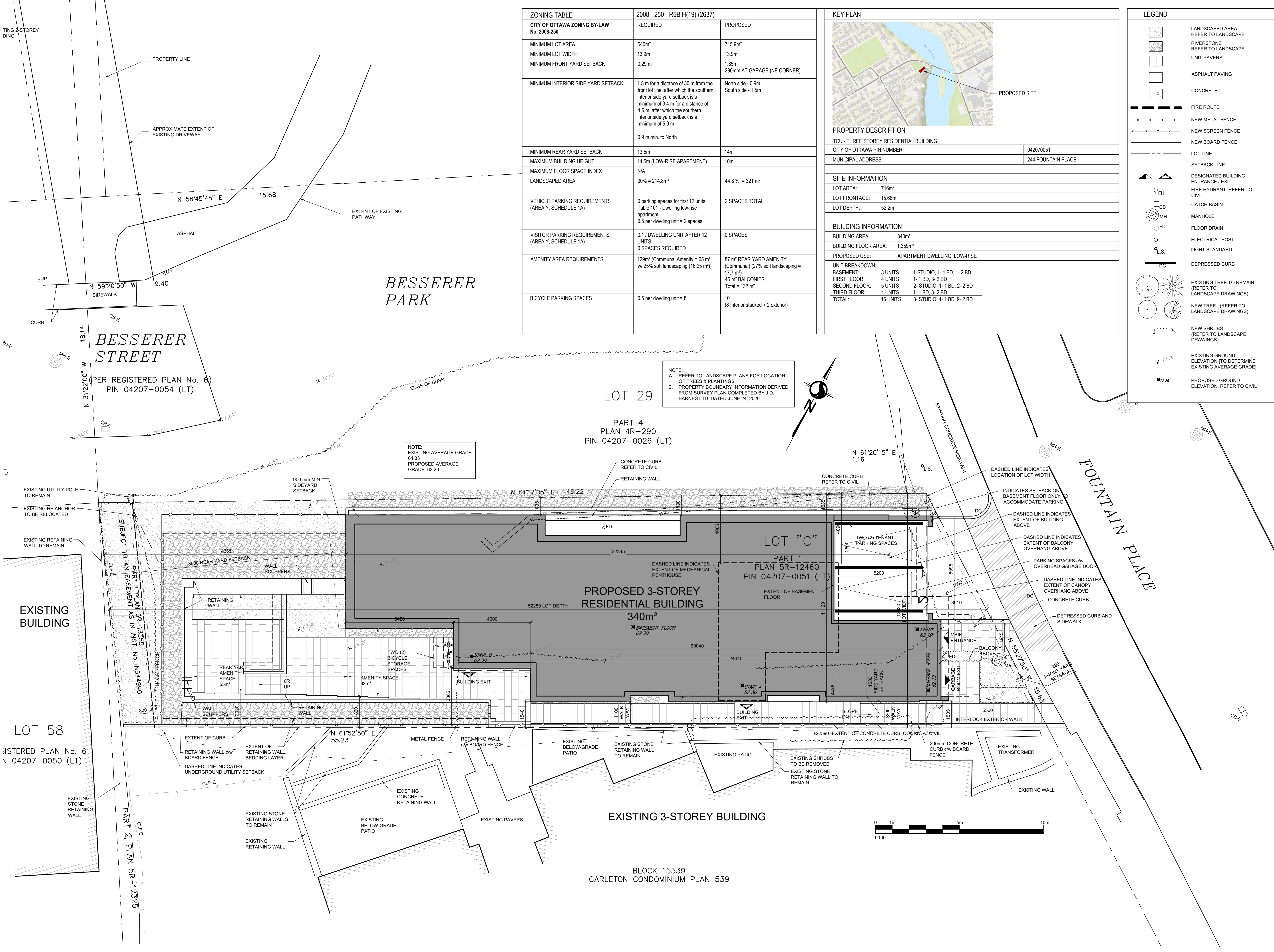
No. Date Émise pour / Object

- 2018-02-16 COORDINATION
- 2018-05-24 COORDINATION
- 2018-08-17 COORDINATION
- 2018-08-28 COORDINATION
- 2018-10-26 SITE PLAN CONTROL
- 2019-03-11 COORDINATION
- 2019-06-14 CITY REVIEW
- 2019-07-24 COORDINATION
- 2019-09-16 COORDINATION
- 2019-10-22 SITE PLAN CONTROL RESPONSE
- 2020-05-21 SITE PLAN CONTROL RESPONSE
- 2020-12-07 SITE PLAN CONTROL RESPONSE
- 2021-03-26 SITE PLAN CONTROL RESPONSE
- 2021-07-08 COORDINATION
- 2021-08-05 COORDINATION
- 2021-09-16 COORDINATION
- 2021-10-22 SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)

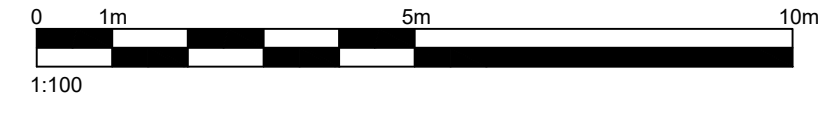
Ingenieur / Engineer (Structure / Structure)

Architecte / Architect (Paysagiste / Landscape)



NOTE:
A. REFER TO LANDSCAPE PLANS FOR LOCATION OF TREES & PLANTINGS.
B. PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY J.D. BARNES LTD. DATED JUNE 24, 2020.

NOTE:
EXISTING AVERAGE GRADE: 64.33
PROPOSED AVERAGE GRADE: 63.20



Ingenieur / Engineer (Civil / Civil)

Client / Client

Architecte / Architect

Collectif d'architectes / Architects Collective

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3500, Saint-Antoine O.
Montréal QC H3C 1A0
T. 514 881-0122

fig. 2
190 Somerset St W #206
Ottawa ON K2P 0A4
T. 613 956-6122

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SCHEU / Scheu

ROBERTO CAMPOS
LICENCE
7401

Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Project / Projet

THREE STOREY APARTMENT BUILDING

244 Fountain Place,
Ottawa ON

Site Plan

Dessiné par / Drawn by: MD No. projet / Project number: 1749

Vérifié par / Verified by: RC No. dessin / Drawing number: 6

Échelle / Scale as indicated

Date de création du dessin / Drawing creation date: 2018-02-16

A105